

Terms of Supply

Property: 22 Wando Lane East Tamaki

Information Supplied: Council Property File

By accepting the information above from FIVE AM REALTY Ltd Raywhite Howick, or an authorised licensee in conjunction with FIVE AM REALTY Ltd Raywhite Howick, I acknowledge I have read, understood and accepted the terms on which the information is made available.

Terms upon which the information is supplied:

- 1. Where information is supplied by FIVE AM REALTY Ltd to customers, the information is information in the possession of the Vendor(s) that the Vendor(s) are making available to the customer without endorsement
- 2. No representation is made by FIVE AM REALTY Ltd or by the Vendor(s) as to the accuracy, or to the reliability, of any information made available to the customers.
- 3. The customer will seek such advice and explanation the customer may require from an independent specialist of their choosing.
- 4. Should the purchaser decide not to obtain their own specialist advice they are deemed to have satisfied themselves on all aspects of the property and are buying solely in reliance on their own judgment and contrary to the recommendation of FIVE AM REALTY Ltd or its agents.

BUILDING INSPECTIONS

Purchasers are advised to secure their own Building Inspection Report regardless of construction type, to ensure that they are fully informed as to the standard of the property they intend to invest in.

QUERIES OR REQUESTS

It will be a pleasure to assist you further should you require any additional information, or have any queries regarding the property or content of this booklet, please do not hesitate to contact us.

								
		·				BCN-(025 Issue 8 - 1	Page I of I
TB		Α	PPLICATIO	N	B/ARMS REF			
ı	РІМ: 014237				1,12.		-	
	Related to : BLA335							
	Date Rec'd : 31/10/2001 Legal Desc : Lot 126 DP 207625 Contact : ,TAYLOR,MRS Notes : 2 DWELLINGS/GARAC	Site : 2 Ward : 0 Phone : (TAYLOR,MRS 22 WANDO LAN DTARA ()626-3936/()			et Ref : 960 ap Ref : 7/4!		
LIR	WIND	ZONE 10	CAD	No		les - Ind - Con lisc - Rural	nm	
Condit	ions of Consent (Yes/No		* * * * * * * * * * * * * * * * * * * *					
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REI	FER FOR	2		11/	- N	~		
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	APPROVED		INITIALS	DATE			MATION RE	
_ 1	PLUMBING - DRAINAGE		Λ_0	1.1.1.	Date As	sкеа 	Date Re	ceived
2	BUILDING	N CK-5	N.	11 /2/01			SEN	i
3	RC PLANNING		Haril	110			EME	
4	FIRE & EGRESS		Jusey	11/12			<u>†</u> (-
5		Ps no - 26					S	
6			OV	31/10	31/10/0		'	
7	POOLS		Cur	2410	3/10/6		<i>7</i> 5	
9	HEALTH		-					
	MANUKAU WATER		4 7	27/11			PRODU(APPLIES	
12	BACKFLOW PREVENTION		\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	 			A A	
36	RC ENGINEERING/HAZARD	DS	10~	7/12	26	<u> </u>		9
			FRY -	,,,,,,		c. V!	-	——————————————————————————————————————
		·	 		<u> </u>		 	

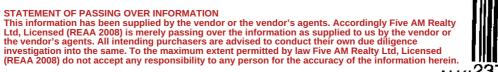
NATURE OF BUILDING WORK (eg NEW UNITS, ADDITIONS, FACTORY etc)

PIM ISSUED

Completion Check

Applicant Notified

Fees Checked



Documents Uplifted

Consent Written



DATE

INITIAL

INITIALS

DATE

12



Name:

mas TAYLOR

(PLEASE PRINT)

Date:

PLEASE NOTE

Building Consent lodgements are by appointment only Please telephone 262.5227 for an appointment time

BCN-001 Page 1 of 4 DC 10

APPLICATION FOR BUILDING CONSENT

BIK 335

Section 33, Building Act 1991 Cross each applicable box and attach all relevant documents in triplicate, or duplicate if not completing Part B of this form]

APPLICATION NUMBER:

PART A: GENERAL (Complete Part A in all cases) Correspondence:

conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the

land, while the agreement remains in force (or their lawful

Private Bag Manukau City New Zealand Telephone: (09) 263 7100 Facsimile: (09) 262 5154

		[Complete i	DX EP 75557
1 OWNER			2 CONTACT (if not owner)
Name*: M6	15 TAYKOL	<u>l</u> .	Contact Name: MA TAYNOL
Postal Address: #	TEP BLOG	ota ich lusca	doj Postal Address:
14	and food	. la pivanos	4
		10000	
Phone Number:	676 -2470	-	Phone Number: 626-3936
Fax Number:			Fax Number:
	72		·
3 PROJECT LOCA	EDOTO SAL LA	CANTO LA	the Homele.
Address:	-770 · 180 ·	A HILLS	Here it has some
4 LEGAL DESCRIP	TION		
4 LEGAL DESCRIP Valuation Number:	Zoning:	Cadastral No:	OFFICE USE ONLY WARD:
Tulber.			Property ID: 9 608 22 OTARA
	MR	7145	1800 22
			Holding No: 1+157526
	· · · · · · · · · · · · · · · · · · ·	'	
Lot/s: (Section)	DP/S: (Block)	71-25	Lot Area(s): 950 square metres
126	(5,000) AC	,,,,,,,,,,	hectares
5 PROJECT		 	
5.1	5.2		5.3 Owelling
New Building	Intended Life:		Description of Work: 5.4 Intended Uses(s) (in detail): Leside to a
Alteration	Industria had		5.4
Altoration	Indefinite, but than	not less	Intended Uses(s) (in detail): <u>Lesidetal</u>
Relocation	50 years	j	
Demolition	OR		5.5
Demonion ,	Specified as 1	☐ years	Estimated Value: 48.500 (GST included)
			Stage of
	d an hoholf af the a		*I Index Section 23 of the Building Act 4004, the sentioset must
Signed by or for an	d on behalf of the owr	ier:	*Under Section 33 of the Building Act 1991, the applicant must be owner of the land on which building work is contemplated or
Signature:	<u> </u>		a person who or which has agreed in writing, whether

agent).

BCN-001 Issue No 9 Page 2 of 4 E4 734	
stormwater	
ork is to take close	
er supply,	
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nce	
nsent or	
sued by the	
sued by the ne Building	
·	
ne Building	
ne Building	

PART B: PROJECT DETAILS Page 2 [Complete Part 8 only if you have NOT applied separately for a project information memorandum]					
The project involves the following matters. Tick each applicable box, if any, and attach relevant information in duplicate.	(e) Provisions to be made for disposing of stormwater and wastewater.				
(a) Location in relation to legal boundaries, and external dimensions of new, relocated or altered buildings. (Site plan with elevations, topography drawn to	(To be shown on site plan). (f) Precautions to be taken where building work is to take				
scale). (b) Details of any known or potential erosion, avulsion,	place over existing drains or sewers, or in close proximity to wells or watermains.				
falling debris, filled ground, subsidence, slippage, alluvion, inundation, hazardous contaminants on or near the site.	(g) New connections to public utilities, ie water supply, stormwater system, wastewater system.				
(c) Provision to be made for vehicle access, including parking.	(h) Provisions to be made in any demolition work for the protection of the public, suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.				
(To be shown on site plan). (d) Provisions to be made in building over or adjacent to any road or public place.	(i) Details of any cultural or heritage significance				
any toda of public place.	(j) Copy or reference to, of any resource consent or planning approval for this project.				
	t C in all cases]				
This application is accompanied by (tick each applicable box, attach relevant documents in duplicate):	9 Producer statements.				
7 The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the New	10 References to accreditation certificates issued by the Building Industry Authority.				
Zealand Building Code, with supporting documents, if any, including:	11 References to determinations issued by the Building Industry Authority.				
8 D Building certificates.	12 Proposed procedures, if any, for inspection during construction.				
PART E: COMPLIANC	CE SCHEDULE DETAILS				
E1: SYSTEMS NECESSITATII	NG A COMPLIANCE SCHEDULE and alterations, except single residential dwellings]				
The building will contain the following (cross each applicable box and attached proposed inspection, maintenance and report procedures):	Any automatic back-flow preventer connected to a potable water supply				
Automatic sprinkler systems or other systems of automatic fire protection.	Lifts, escalators or travelators, or other similar systems.				
Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.	Mechanical ventilation or air conditioning system serving all or a major part of the building. Any other mechanical, electrical, hydraulic or				
Emergency warning systems for fire or other dangers.	electronic system whose proper operation is necessary for compliance with the building code.				
Emergency lighting systems.	Building maintenance units for providing access to the exterior and interior walls of buildings.				
Escape route pressurisation systems. Riser mains for fire service use.	Such signs as are required by the building code in respect of the above-mentioned systems.				
	None of the above.				

	E: OTHER SYSTEMS AND FEATURES TO BI [Complete Part E2 only if the building contain		
box an	uilding will contain the following (cross each applicable and attached proposed inspection, maintenance and ng procedures):		Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975
	Means of escape from fire.		Hand-held hoses for fire fighting.
	Safety baπiers.		Such signs as are required by the New Zealand Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.
	PART F: EN	IERGY '	WORKS DETAIL
	Does this proposal require a	ny gas i e compl	or electrical installation? Yes / No lete the following questions
	ELECTRICAL WORK INFORMATION		GAS WORK INFORMATION
(a)	Is there a compliance schedule system or feature that involves prescribed electrical work included in this proposal?		(a) Is there a compliance schedule Yes system or feature that involves gasfitting included in this
(b)	Would a waiver or modification be required from the Building Code or any approved documents for any prescribed work?	_	(b) Would a waiver or modification be Yes required from the Building Code or
(c)	If the answer to both (a) and (b) is 'no', do Ye you wish prescribed electrical work to be	-	any approved documents for any gasfitting? No
1992	included in this application? Note: Prescribed electrical work is defined in the Electricity Arand is generally all work connected to a supply exceeding lits AC or 110 volts DC.	ct	(c) If the answer to both (a) and (b) Yes is 'no', do you wish gasfitting to be included in this application? No
	[Complete as far a Give names, addresses, telephone number NoTE Exactly S	ame	ible in all cases) + Deunested AS UNDIZAST e relevant registration numbers it known. By copies Plan as used Prenown + Facul
	BIGNER(S) B: NSS Design		unit 2 39 Hattaway Builders Beau I AIRE WEBSTER.
A -1 -1	12 2265 1, 70	μ_{ill}	showed ad
Phon	ie Number: 626-3936 Fax	Number	09 627.2976
BUIL	DER		
Nam	e:	<u>e</u> a	idused.
Addr	ess:		
Phor	ne Number: Fax N	lumber:	
	···		umber:
Nam	e: To Be	Ade	used
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Phor	ne Number: Fax N	Number	
l	· · · · · · · · · · · · · · · · · · ·		umber:
Nam	ne:	<u>e</u> 0	adused.
Add	ress:		subject to Quotation
Pho	ne Number: Fax Nu	imber:	

· .	•						
							
GASFITTER	Re	egistered Nu	mber:				
Name:							
Address:							
			 -	· · · · · · · · · · · · · · · · · · ·			
Phone Number:	rax	Number: _					
ELECTRICIÁN	Re	egistered Nu	mber:				
Name:							
Address:	o B	e ada	and subject	10			
		ax Number:	~ 1 1	<u> </u>			
Phone Number:	F&	ax Number:					
PRODUCER STATEMENTS	Re	gistered Nu	mber:				
Name:		-		-			
	•		•				
Address:			····				
Phone Number:			4-1				
Certifying:							
If more than num	ber allowed fo	r, please pro	ovide details on a separate sheet				
foor area of proposed work	Area sq.	Floor are	a of proposed work	Area sq. m			
	m	Buildings other than detached buildings: Second floor Additional floors (total)		,			
buildings other than detached buildings:							
Basement, 1 1 11 11 11 11 11	sq.m			sq.m			
Ground floor	sq.m			\$q.m			
First floor	sq.m	Decks	,	sq.m			
otal:	sq.m			sq.m			
etached accessory buildings:	sq.m	 	accessory buildings:	sq.m			
Garage	sq.m	Other t	ouildings	sq.m			
Carport 1149 8/	m.ps	-	····				
otal 149.86	m.pa						
CONFIDENTIALITY			RECEIPT	HERE			
. Plans and Specifications:		,					
I / we require that my / pur							
plans Specifications	,		·				
be treated as confidential in order to pr	\sim		54464 PHT	DING COMSENT FEES \$35			
the security of the building	copyright		30-10-01-1	molaren CASH			
Names and Address				e/Receift GST Amt: \$5			
// we require that my name / our n	ames and add	dress be					
treated as confidential other than for memorandum enquiries.	or information	'					
		_	54671 MOTE	R CONNECTION FEES \$114			
Notification of Progress By Phone/Fax/Letter (delete n/a)	40 626-3	3936.	0				
I/We wish to be contacted during the	ne processing	of the	30-10-01 1	molaren CASH			
Building Consent when items are identi	ified, which re	quire	lax invoic	e/Receipt GST Amt: \$			
addressing, in addition to notification at the completion of			· ·				
processing.				ı			
processing. I/We wish to be contacted only at the processing of the Building Consent of a							



ENVIRONMENTAL SERVICES

TO ARRANGE INSPECTIONS PLEASE PHONE 262.5108 and quote Consent No: BEFORE 4 PM THE DAY PRIOR TO INSPECTION

Inspections of the building aspects of this project will be carried out from KOTUKU HOUSE,

MANUKAU COURT, Manukau City Centre. Please contact that office for the inspections listed below.

NOTE: Two working days' notice is required of the intended commencement of construction.

One working day's notice is required to be given for all inspections.

('working day' means one Council working day)

PIM: 014237 Related to: BLA335

Date Rec'd: 31/10/2001

11

Special Instructions

Legal Desc : Lot 126 DP 207625

Contact:,TAYLOR,MRS

Notes: 2 DWELLINGS/GARAGES

Owner:,TAYLOR,MRS

Site: 22 WANDO LAN HOWICK

Ward: OTARA

Phone: ()626-3936/() -

Street Ref: 9608/22

Map Ref : 7/45

1		oles : Z DWELLINGS/OAKA	
17.	1	Siting	Ensure boundaries are defined (survey pegs and string lines)
2	2	Foundations	When reinforcing is in place and prior to placement of concrete
(:	3/	Bond Beams RC Beams Columns Floor Slabs	When all steel is placed (prior to placement of concrete) Also see plumbing and drainage requirements below
	4	Fire Walls and Fire Partitions	Prior to exterior cladding and interior taping and stopping
	5	Insulation	Skillion roofs, solidwall construction etc (where insulation cannot be seen at prelining inspection)
)	6 <i>\</i>	Exterior Cladding	Brick veneer half height - sheet cladding prior to solid plastering
	7	Prelining including Fire Partitions	At a stage where exterior claddings are in place, but prior to the fixing of internal linings. Also see plumbing & drainage requirements below
	8	Nailing of Internal Linings	All linings forming part of bracing systems fixed in place but prior to fixing of finishing materials
	9	Plumbing & Drainage	Please ensure that your contractor arranges for inspection and passing of installations before work is back-filled or concealed
1	10	COMPLETION	Prior to issue of Code Compliance Certificate and prior to refund of the street damage

NOTE: Any amended plans must be accompanied by the original approved documents

deposit (Building and Plumbing & Drainage)
REFER TO PLANS FOR ENDORSEMENT

No open burning permitted - including waste building materials

I, the undersigned, as an authorised agent of the applicant, acknowledge that I have been advise	d of the inspections
required and accept all endorsements added to plans and specifications by Manukau City Council.	۸

Signed by / for and on behalf of owner Name:	For Soffer	Famely	
Position: Bulleton	Date:	22 M	002

Field Card

TB No: BLA335

22 WANDO OTARA

Date Rec'd: /10/2001

Lot: 126

Street Ref: 9608/22

ARMS/PIM: 014237

DP: 207625

Mee Map:

45 / 7

Type of Project: 2 DWELLINGS/GARAGES

Owner: ,TAYLOR,MRS

Builder: MRS, TAYLOR,

Owner Phone: ()626-3936/() -

Builder Phone:

Est Value:

250000

Determin: /01/2002

Engineer: AK

Property Notes: FEE ADJUSTED AFTER COMPLAINT. REFER MAGDALENE MCLEAN (TEAM LEADER).

S/D CCC

٤

W/D FEES = \$240.00

1/ MIN 1.2M CLEAR REQD FROM INVERT LEVEL OF THE PUBLIC W/W DRAIN-TO THE LOWER OF THE

OVERFLOW RELIEF GULLY OF THE LOWEST FF.

2/ P&D TO COMPLY WITH NZBC OR AS3500 OR AN-APPROVED SYSTEM 1

3/ SURFACE WATER TO BE CONTAINED WITHIN THE SITE BOUNDARY.

HOT AND COLD WATER.SUPPLY TO COMPLY WITH G12 OF NZBC

PIM CONDITIONS

COUNCILS LIR IS TO BE REFERRED TO

History of Inspections for 014237

Requested/Ir	spected Date	Туре		•	Complied
-	_	PLUMBERS NAME:		•	Y/N
		JIM 0274 950647			
08/08/2002	-	EXTERIOR SHEATHING		•	Y / N
		GRANT TAYLOR JOB - MILES OR	IOHN		3
14/01/2003	-	BUILDING COMPLETE		\mathcal{C}	ÝN
14/01/2003	-	*CEILING INSULATION		•	Y / N
14/01/2003	-	*GLAZING CERTIFICATE		•	Y/N
14/01/2003	-	*GROUND HEIGHTS		,	Y / N
/01/2003	-	*VEHICLE CROSSING - INSTALLE	D	•	Y/N
-4/01/2003	-	*STREET DAMAGE - REFUND			Y / N
14/01/2003	-	*C/SCHEDULE DOCS			Y / N
29/01/2002	29/01/2002	ADVICE			Υ
		FOUNDATIONS ADVICE REQUIRE ENG TO VCHECK FOOT Mr Taylor 025482823 Builder Geri 0256252678	ING		*
30/01/2002	30/01/2002	SITING UNIT 2 CHECK FFL LATER RIGHT HAND UNIT LOOKING FRO FOUNDATIONS	M REDÇAS ILE DR		Υ
30/01/2002	30/01/2002	FOUNDATIONS UNIT 2		COMPLIANCE TIFICATE	7
31/01/2002	31/01/2002	FOUNDATIONS UNIT 1 OK SITING UNIT 2 OK	IOSOFD	41/2003.	·
014237 HOWICK 13/01/200		1 of 4		Signed	

History of Inspections for 014237

01/10/2002	01/10/2002	BUILDING PRELINE 3GROUND FLOOR BRACING ELEMENTS 6, 4 & 5 TO BE FULLY NAILED OFF. 13 & 15 STRAPS REQUIRED AT BOTH ENDS OF ELEMENT. BRACING ELEMENT 16 BR9 MISSING. BRACING ELEMENT 2 FIXINGS MISSING FIRST FLOOR BRACING ELEMENT 9 BR5 MISSING, 1 MISSING, 2 STRAPS MISSING ELEMENT 8 ELEMENTS 2 & 3 METAL ANGLE BRACING MISSING. I DON'T BELIEVE THE BR6'S HAVE BEEN STRAPPED CORRECTLY. SOME LINTELS DO NOT HAVE UNDERSTUDS OR ARE CHECKED IN \ CHANGE IN BED 4 NO BALCONY AND WINDOW CHANGES. NOTE: I WAS IN FEAR OF MY OWN SAFETY AND DECIDED TO LEAVE THE SITE. I COULD NOT FINISH THE INSPECTION.	N
03/10/2002	03/10/2002	BUILDING PRELINE NOT NICK KUMAR OR GARY LAKE WOULD LIKE JOHN HUTT	N
04/10/2002	04/10/2002	BUILDING PRELINE BOLTS REQUIRED TO STEEL BEAM IN GARAGE DOUBLE JOIST TO BE PROVIDED UNDER FLOOR AS DISCUSSED	N
07/10/2002	07/10/2002	BUILDING PRELINE	Y
18/10/2002	18/10/2002	INTERNAL LININGS/GIBNAIL	Υ
11/12/2002	11/12/2002	1. SEAL AROUND PIPES EXTERIOR 2. UNABLE TO TEST TEMPERING VALVE (NO POWER ON) 3. GULLY TRAP - PIPE OUTLETS UNDER WATER 4. NO HANDRAILS 5. FINISH TO FLOOR/WALL TILES UPSTAIRS BATHROOM AND AROUND BATH (SPLASH BOARD) 6. AS ABOVE FOR ENSUITE 7. FLEXITILE (FULLERS) USED UNDER CERAMIC TILES ON FLOOR 8. GARAGE DOOR FACINGS TO COMPLETE (PAINT) 9. FACING BACKDOOR/GARAGE WINDOW	N
•		2/22 1. AS ABOVE ITEM 5/6 2. SKIRTINGS TO FINISH 3. HANDRAILS TO PROVIDE 4. CHECK TEMPERING VALVES 5. GARAGE DOOR FACINGS TO PAINT LANDSCAPING BOTH UNITS COMPLETE	

Plumbing and Drainage Inspections

Requested/Inspected D	ate Type		Complied
01/03/2002 01/03/200	2 P&D - CONCRETE FLOOR		N
28/03/2002 28/03/200	1/ NOT ONE ON SITE 2/ NO PLANS 3/ INSTALLATIONS NOT FILLE D2 P&D - DRAINAGE	CENTIFICATE	E
	1.2 DEEP BOTH UNITS TESTED OK ASBUILT TO COME	ISSUED .	

014237 HOWICK 13/01/200 Signed

History of Inspections for 014237

•	,		
15/02/2002	15/02/2002	BLOCKWORK	Y
		UNITS 1/2	
		SUBJECT TO	
		1. MORTAR REMOVED FORM BASE OF RODS AT FOOTING LEVEL 2. 9ML ROD TO CLOSE TO BLOCKWORK, REMOVE BLOCK TO	
		ENSURE 50MM CONCRETE COVER	
25/02/2002	25/02/2002	CONCRETE FLOOR SLAB	N
		NOBODY ON SITE,	
		METAL ONLY PREPARED TO TOP OF FLOOR (NO POLYTHENE)	
		MESH ETC	
07/03/2002	07/03/2002	CONCRETE FLOOR SLAB	N
		THICKNESS OF SLAB OUTSIDE ???, SUGGESTED ADDING PACKING TO EDRMWORK TO INCREASE THICKNESS & INSTALL CHAIRS TO ENDS OF STARTERS	
08/03/2002	08/03/2002	CONCRETE FLOOR SLAB	· Y
		USED 668 MESH, REQUIRE CRACK MATE AT 12.00 METRE LENGTH	
		0.25 POLYTHEN	
		COMP CERT NOT REQ'D FOR UNIT 1	
a		08/03/02 NOTE; UNITS 1 & 2 BLDG SLAB	
		THICKNESS SLAB OUTSIDE BLDG SUGGESTED ADDING PACKING	
		TO GROUNDWORK TO INCREASE THICKNESS & INSTALL CHAIRS	
		TO ENDS OF STARTERS	
09/03/2002	09/03/2002	CONCRETE FLOOR SLAB	N
		NO APPROVED PLAN (UNIT 2) 150MM DROP BETWEEN FAMILY / GARAGE AREA REQD	
		STRIP FOOTING REQD BETWEEN GARAGE/FAMILY	
		COMPACTION CERT TO BE SUPPLIED 800MM HIGH WALL	
12/08/2002	12/08/2002	BRICK VENEER	Υ
		UNIT 2	
20/08/2002	20/08/2002	BUILDING PRELINE	Υ
		BRACE GIB 3 TO REPLACE GIB 1	
		F.J. TIMBER	
0.240040000	07/09/0000	BATTS WALLS INSULATION	Υ
2770872002	2770672002	EXTERIOR SHEATHING ASKED FOR BUILDING WRAP TO BE WELL FIXED AGAINST	•
		FRAMING TO PRESERVE THE 40MM CAVITY	
109/2002	11/09/2002		Υ
		BACK UNIT	
11/09/2002	11/09/2002	VEHICLE CROSSING - INSTALLED	Υ
		ASKED CONTRACTOR TO ENSURE SUBGRADE WAS SPREAD OUT	
		TO MAKE EVEN THICKNESS OF CONCRETE BEFORE PLACING	
		CONCRETE	
13/09/2002	13/09/2002		Y
		UNIT 12 ?	

2 of 4

014237 HOWICK 13/01/200 igned

History of Inspections for 014237

20/08/2002	20/08/2002	P&D - PRELINE	Y
		PLUMBING UNDER TEST 1500 KPA	
13/09/2002	13/09/2002	P&D - PRELINE	Y
		UNIT D POLYBUTYLENE	
17/09/2002	17/09/2002	P&D - DRAINAGE TEST	Υ
		PRESSURE TEST WATER SERVICE PIPES FRON UNIT ON CORNER	

014237 HOWICK 13/01/200 igned

CODE COMPLIANCE CERTIFICATE NO: 01/4237

Section 43(3), Building Act 1991

ISSUED BY: MANUKAU CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents.)

APPLICANT	PROJECT
Name: MRS TAYLOR Mailing Address: DX EP 82004 HIGHLAND PARK PROJECT LOCATION	All Stage No X of an intended stages of: New Building or Relocated Building Alteration Intended Use(s) (in detail):
Street Address: 22 WANDO LAN HOWICK	2 DWELLINGS/GARAGES
LEGAL DESCRIPTION Property Number: H157526 Valuation Roll Number: Lot: DP: 207625 Section: Block: 7 Survey District: 7	Intended Life X Indefinite, but not less than 50 years Specified as years Demolition
A final code compliance certificate issued in respect of all of work under the above building consent. This certificate is issued subject to the conditions specified "Conditions of Code Compliance Certificate No	in the attached in the attached particulars, of the building in the attached

issue 6 Page 1 of 4 CI 741

PROJECT INFORMATION MEMORANDUM

Processing Sheet

PIM: 014237 Related to: BLA335

Date Rec'd: 31/10/2001

Legal Desc : Lot 126 DP 207625

Contact: ,TAYLOR,MRS

Notes: 2 DWELLINGS/GARAGES

Owner: ,TAYLOR,MRS

Site: 22 WANDO LAN HOWICK

Ward: OTARA

Phone: ()626-3936/() -

Street Ref: 9608/22

Map Ref: 7/45

	о 2	EPARTMENTS	NOTES	VIEWED INITIALS	VIEWED DATE	APPROVED INITIALS	APPROVED DATE	INFORMATION ATTACHED
	5	PIM Vetting				ac	22/11/01	
	3)	Planning				Med	23/11	\sim
7	15	Transport				Ν,	7 (1	
7	11	Aircraft Noise						`
Ţ	38	Asbestos		clech	where in	hale cr	ermy is .	reant to be
Ī	8	Dangerous Goods			RC 192	96 9	P 7400	neant to be neant to be not clear or
-	9	Health						plan
	36)Hazards				IM	2604	4
	22	Amalgamation					,	UM
(10)w & D				47	17/11	
-	12	Backflow				l C		
	26	Reserve Contr. Subdivisions	٠					
						_		
								·
		-						
.	29	Finish						

APPROVED FOR ISSU	JE:	W	DATE: 09/11/97
			<u> </u>
433	36 16	27	
7	7		<u></u>

The Project Information Memorandum includes the following information which affects the proposed project and which is known to the Council (cross each applicable box, attached relevant documents, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings):

PIM IN No 1: Information identifying hazards and other special features of the land:
₩ind zones:
The site is located in a □low □medium □high □very high, □specific design wind zone for buildings designed to NZS 3604:1999 (guide only)
☐ Wind zone unknown. Design calculations required for buildings designed to NZS 3604:1990, or specific design.
Seaspray zone Ye No
Council Land Information Register: Lot 126 DP 207625 Register C2346
□ No known records
Notes: Vehicle access Faindahous Cerricing
PIM IN No 2: Information about the land or buildings concerned notified to the Council by any statutory authority having the power to classify land or buildings:
□ DETAILS attached
•
☐ PIM IN No 3: Details of relevant utility systems:
Services sheet attached YeS No
☐ DETAILS attached

BCN-013 155úe 6 Page 3 of 4 CI 741

	PIM IN No 4: Details of authorisations which have been granted:
	Complies with the provisions of the Proposed District Plan
	Resource Consent granted \$ 1 1/101 for 2 muts and subdivining SP 7490
	Resource Consent granted / / for
	•
Not	es:
COI	PIM IN No 5: Details of authorisations which must be obtained before building estruction can commence:
	Resource Consent required / application received / /) for:
	dwelling units on site
	☐ Front / rear / side yard encroachment
	☐ Height in relation to boundary infringement
	☐ Acoustic insulation for habitable rooms within Airport Outer Control Area / Airport Noise Area - Construction Type A / B / C
	☐ Land modification involving earthworks exceeding 200m³ of material, (or exceeding 50m³ on steep slopes)
	☐ Building site coverage exceeding 35%
	Permission is required for building under or near electricity transmission lines. It is the owner's responsibility to obtain this approval prior to the commencement of work. Contact: The Engineer Northern North Island, Electrix Ltd, PO Box 1688, Auckland. (Phone 270-1711, fax 270-1701).
	Watercare Services Ltd approval required for works within 10m (15m if blasting involved) of Watercare's sewers and water mains.
	It is the owner's responsibility to obtain this approval prior to the approval and issue of the Building Consent. Contact Watercare Services Ltd, 273a Church Street, Onehunga (phone 634.7840, fax 634.7691).
	Reserve development contribution required
No	otes:
PI	M IN No 6: Details of authorisations which have been refused:
	DETAILS attached
_	

PROJECT DETAILS

The project involves the following matters [cross each applicable box, if any, and attach relevant information in duplicate]

Yes No

Δ	· D	Location in relation to legal boundaries and external dimensions of new, relocated or extended buildings
	Ø	New provisions to be made for vehicle access, including parking buildings
	Ů∕	Provisions to be made in building over or adjacent to any road or public place
	₽ /	Any cultural heritage significance of the building or building site, including whether it is a marae or wahi tapu
	ø	Proximity to gas mains or oil pipelines
	F	FILTER FOR HAZARDS (FLOODING, LAND STABILITY) INPUT
	ⅎ	All buildings (excluding minor consents) on sites prior to DP 90000
		Proposals in rural zones
		Proposals within in blue or red areas of hazard maps
		All sites recorded on LIR or secondary screens, for floor levels, flooding, foundations, or other items.
		FILTER FOR SUBDIVISION INPUT
	"	C & I over \$5,000 - Reserve Development Contribution applicable (not schools, public hospitals, recreation facilities)
		Commercial and industrial proposals, where any boundary of site immediately adjoins the mean high water mark of the sea ,or the bank of any river, or lake, or existing esplanade reserve
		FILTER FOR WATER AND DRAINAGE INPUT
		Consents where existing connections require sealing off. (Demolition consents, connections under buildings, etc)
		Consents requiring new connections to sanitary sewers and/or stormwater drains.
		Buildings in close proximity to public drains. (Also refer to special cases for exemptions)
		New multiple dwellings and new cross-lease sites. (Does not include minor household units)
		Consents indicating drains crossing boundaries, where drains are not already public
		Sites recorded on LIR or secondary screens for floor level restrictions associated with sanitary sewer and/or stormwater servicing
		Very limited drainage / limited drainage

PROJECT INFORMATION MEMORANDUM NO:01/4237

Section 31 Building Act 1991

ISSUED BY

MANUKAU CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents.)					
APPLICANT	PROJECT				
Name: MRS TAYLOR	New or Relogated Building Alteration				
Mailing Address: DX EP 82004	Intended Use(s) (in detail):				
HIGHLAND PARK	2 DWELLINGS/GARAGES				
	Intended Life:				
PROJECT LOCATION	Indefinite, but not less than 50 years				
Street Address:	Specified as years				
22 WANDO LAN HOWICK	This is:				
	Confirmation that the proposed building work may be				
LEGAL DESCRIPTION	undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.				
H157526					
Property Number:					
Lot: 126 DP: 207625 Section: 45 Block: 7	Not yet applied for				
Section: Block: ' Survey District:	No: alu237 attactied				
COUNCIL CHARGES	Notification that other authorisations must be obtained				
The Council's total charges payable on the uplifting of this project information memorandum, in accordance with the	before building can commence.				
	Notification that the proposed building work may not				
tax invoice are \$ 0.00	be undertaken because a necessary authorisation has been refused.				
ALL FEES ARE G.S.T. INCLUSIVE	<u> </u>				
This project information memorandum includes (cross each applica relevant network utility operators and organisations having the pow	able box, attach relevant documents, and send a copy to any er to classify land and buildings):				
, colored transfer and a second transfer and	•				
Information identifying relevant special features of the land	d concerned				
Information about the land or buildings concerned notified	to the Council by any statutory organisation having				
the power to classify land or buildings.					
Details of relevant utility systems,					
Details of authorisations which have been granted.					
	.42				
Details of authorisations which must be obtained before be	unding can commence,				
Details of authorisations which have been refused.					
THIS IS NOT AN AUTHORISATION T	O START BUILDING				
•					
Signed for and on behalf of the Council:					
Name (WAton					

Date: 37,11,0



PROJECT INFORMATION MEMORANDUM

PIM No: 01/4237

TEMPORARY BAG: 335 BLACK

27 November, 2001

Council is aware of the following information which is relevant to this project:

- The site is located in a HIGH wind zone (for buildings designed to NZS 3604:1999) (guide only).
- The layout of public drainage and water supply is shown on the attached MCC map (scale 1: 500).
- The local utility operators should be contacted for details of electricity and gas services; any electrical or gas work will be subject to the requirements of the Electricity and Gas Acts.
- 4 Resource consent 19896 granted 8/11/01 for 2 units and subdivision SP7400.
- 5 Council's Land Information Register held in the Customer Centre on the ground floor of Kotuku House contains information which needs to be referred to as per the attached sheet.
- 6 Please make this information available to your agent or professional advisor if applicable.

If you have any queries relating to this memorandum, please contact Building & Resource Services

Central Processing Unit

Manukau City Council, telephone 262.8900 ext 8476

BUILDING CONSENT NO: 01/4237

Project Information Memorandum No: 01 4237

Section 35, Building Act 1991

ISSUED BY:

MANUKAU CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents).

Name: MRS TAYLOR Mailing Address: DX EP 82004 HIGHLAND PARK New Building Alteration PROJECT LOCATION Intended use(s) (in detail): 2 DWELLINGS/GARAGES HOWICK LEGAL DESCRIPTION Property Number: H157526 Valuation Roll Number: All Stage No x of an intended stages of: New Building Alteration Intended use(s) (in detail): 1 DWELLINGS/GARAGES Intended Life: Indefinite, but not less than 50 years Specified as years	
Mailing Address: DX EP 82004 HIGHLAND PARK New Building Alteration PROJECT LOCATION Intended use(s) (in detail): 2 WANDO LAN HOWICK LEGAL DESCRIPTION Intended Life: Indefinite, but not less than 50 years Specified as years	
Mailing Address: DX EP 82004 HIGHLAND PARK New Building Alteration Intended use(s) (in detail): 2 WANDO LAN HOWICK LEGAL DESCRIPTION Property Number: H157526 of: New Building Alteration Intended use(s) (in detail): 2 DWELLINGS/GARAGES Intended Life: Specified as years	
HIGHLAND PARK New Building Alteration Intended use(s) (in detail): 2 WANDO LAN HOWICK LEGAL DESCRIPTION Property Number: H157526 New Building Alteration Intended use(s) (in detail): 2 DWELLINGS/GARAGES Intended Life: Specified as years	
New Building Alteration Intended use(s) (in detail): Street Address: 22 WANDO LAN HOWICK LEGAL DESCRIPTION Intended Life: Intended Life: Indefinite, but not less than 50 years Specified as years	
PROJECT LOCATION Intended use(s) (in detail): 2 WANDO LAN	
PROJECT LOCATION Intended use(s) (in detail): 2 WANDO LAN	
Intended use(s) (in detail): Street Address: 22 WANDO LAN HOWICK Intended Life: LEGAL DESCRIPTION Indefinite, but not less than 50 years Specified as years	
22 WANDO LAN HOWICK Intended Life: LEGAL DESCRIPTION Property Number: H157526 Specified as years	
Intended Life: LEGAL DESCRIPTION Indefinite, but not less than 50 years Property Number: H157526 Specified as years	
Property Number: H157526 Property Number: H157526 Specified as years	
Property Number: H157526 Property Number: H157526 Specified as years	
Property Number: H157526 Property Number: H157526 Specified as years	
Specified as years	X
Lot: 126 DP: 207625 Demolition	
Section: 45 Block: 7 Estimated Value: \$ 240,000.00	
Survey District:	·
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice	
are: Name:	
Position:	
Total: \$ 0.00	
	•
ALL FEES ARE G.S.T. INCLUSIVE Date:	

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent Not / 1237

CONDITIONS OF BUILDING CONSENT NO: 01/4237

Street Ref: 9608/22

- 1 All energy work that is comprised in this consent is subject to compliance with the Electricity Act 1992 and the Gas Act 1992. Energy work certificates for the energy work must be provided prior to the issue of a code compliance certificate.
 - This consent is given on the basis that no waiver or modification for the building code has been sought or approved in relation to energy work.
- 2 All plumbing and drainage work to be carried out by registered tradesmen.
- 3 Site inspections required as per inspection sheet attached to approved plans. Additional or reinspections will be invoiced prior to issue of Code Compliance Certificate.
- 4 Any other authorisations identified in the Project Information Memorandum must be obtained prior to the commencement of work.
- 5 All endorsements on or attached to the plans form part of this consent and are to be adhered to.
- 6 This consent will lapse if building work has not commenced within 6 calendar months after the date of issue. Council may extend this time frame if application to do so is received prior to the expiry date.
- 7 All plumbing and drainage to comply with NZBC or AS 3500 or an approved system.
- 8 All surface water to be contained within the site boundary as in accordance with NZBC E.I.
- 9 Hot and cold water supply to comply with G12 of NZBC.

10A minimum of 1.2m clearance is required from the invert level of the public wastewater drain to the lower of the overflow relief gully or the lowest floor level. This clearance is to be confirmed prior to floor construction.

Prior to commencement of building operations, please complete and return this form to:

Manukau City Council Environmental Services Building Compliance Level 4, Kotuku House Private Bag 76917 MANUKAU CITY

Date:	 	_

PIM/CONSENT No: 01/4237 Street Ref: 9608/22 Site: 22 WANDO LANE, OTARA

	NAME	ADDRESS	TEL NO	REG NO
Builder				
Plumber				
Drainlayer				

BCN-044/ISSUE 5

BCN-043

CONDITIONS OF CONSENT

Issue 3 Page 1 of 1

s/PIM No 9 /	Temp F	Sag No
	ENDUKSEMEN!	the
A minimum of 4.	ENDURSEMENT 2m clearance is required from the public wastewater drain to the public wastewater drain for the lowest flowest f	ne lower or level
of: the overnow This clearance construction.	is to be comm	
	CHUULEENER	·
All plumbing and drainage	worth cold	
AS 3500 or an approved	to compay	All surface water to be contained within the si boundary as in accord
system.	with 612	with NZBC E.I.
	4 NSEC	-



VEHICLE CROSSING FORM

City Council

3

The Customer Information Manager Manukau City Council Private Bag 76917 MANUKAŬ CITY

Application has been made for a consent to carry out building construction at the property described below. Note: If access to this property is from a Primary Network road, then a Resource Consent may be required. I, the undersigned, hereby certify that an approved form of vehicle crossing exists at the property described, and that this crossing is in a position enabling access to the property and to a garage/carport/offstreet parking area located or to be located on the site. I am satisfied that the footpath/roadway is in good order at the time of lodging this permit application and agree that upon completion of the work referred to, I shall accept the Engineer's ruling as to the damage which may have been done to the road/footpaths, kerb or other services or things. If damage caused, is damage form complete? In accordance with the provisions of the Manukau Consolidated Bylaw 1992 Chapter 25 I hereby make application for a permit to install a vehicle crossing fully complying with the requirements of the said Bylaw. FORM OF AGREEMENT AGREEMENT AGREEMENT made this	ANUKAU	
Paid by: Receipt No. Date: Application has been made for a consent to carry out building construction at the property described below. Note: If access to this property is from a Primary Network road, then a Resource Consent may be required I, the undersigned, hereby certify that an approved form of vehicle crossing exists at the property described, and that this crossing is in a position enabling access to the property and to a garage/carport/offstreet parking area located or to be located on the site. I am satisfied that the footpath/roadway is in good order at the time of lodging this permit application and agree that upon completion of the work referred to, I shall accept the Engineer's ruling as to the damage which may have been done to the road/footpaths, kerb or other services or things. If damage caused, is damage form complete? In accordance with the provisions of the Manukau Consolidated Bylaw 1992 Chapter 25 I hereby make application for a permit to install a vehicle crossing fully complying with the requirements of the said Bylaw. FORM OF AGREEMENT AGREEMENT AGREEMENT made this	•	Inquestion Eco-
Application has been made for a consent to carry out building construction at the property described below. Note: If access to this property is from a Primary Network road, then a Resource Consent may be required I, the undersigned, hereby certify that an approved form of vehicle crossing exists at the property described, and that this crossing is in a position enabling access to the property and to a garage/carport/offstreet parking area located or to be located on the site. I am satisfied that the footbath/rocdway is in good order at the time of lodging this permit application and agree that upon completion of the work referred to, I shall accept the Engineer's ruling as to the damage which may have been done to the road/footpaths, kerb or other services or things. If damage caused, is damage form complete? In accordance with the provisions of the Manukau Consolidated Bylaw 1992 Chapter 25 I hereby make application for a permit to install a vehicle crossing fully complying with the requirements of the said Bylaw. FORM OF AGREEMENT AGREEMENT made this		
Application has been made for a consent to carry out building construction at the property described below. Note: If access to this property is from a Primary Network road, then a Resource Consent may be required. I, the undersigned, hereby certify that an approved form of vehicle crossing exists at the property described, and that this crossing is in a position enabling access to the property and to a garage/carport/offstreet parking area located or to be located on the site. I am satisfied that the footpath/roadway is in good order at the time of lodging this permit application and agree that upon completion of the work referred to, I shall accept the Engineer's ruling as to the damage which may have been done to the road/footpaths, kerb or other services or things. If damage caused, is damage form complete? In accordance with the provisions of the Manukau Consolidated Bylaw 1992 Chapter 25 I hereby make application for a permit to install a vehicle crossing fully complying with the requirements of the said Bylaw. FORM OF AGREEMENT AGREEMENT AGREEMENT made this		Receipt No.
Note: If access to this property is from a Primary Network road, then a Resource Consent may be required. I, the undersigned, hereby certify that an approved form of vehicle crossing exists at the property described, and that this crossing is in a position enabling access to the property and to a garage/carport/offstreet parking area located or to be located on the site. I am satisfied that the footpath/roadway is in good order at the time of lodging this permit application and agree that upon completion of the work referred to, I shall accept the Engineer's ruling as to the damage which may have been done to the road/footpaths, kerb or other services or things. If damage caused, is damage form complete? In accordance with the provisions of the Manukau Consolidated Bylaw 1992 Chapter 25 I hereby make application for a permit to install a vehicle crossing fully complying with the requirements of the said Bylaw. FORM OF AGREEMENT AGREEMENT made this		Date:
and that this crossing is in a position enabling access to the property and to a garagercar point instead area located on the site. I am satisfied that the footpath/roadway is in good order at the time of lodging this permit application and agree that upon completion of the work referred to, I shall accept the Engineer's ruling as to the damage which may have been done to the road/footpaths, kerb or other services or things. If damage caused, is damage form complete? In accordance with the provisions of the Manukau Consolidated Bylaw 1992 Chapter 25 I hereby make application for a permit to install a vehicle crossing fully complying with the requirements of the said Bylaw. FORM OF AGREEMENT AGREEMENT made this	Note: If access to this property is from	arry out building construction at the property described below. Primary Network road, then a Resource Consent may be
that upon completion of the work referred to, I shall accept the Engineer's ruling as to the damage which may have been done to the road/footpaths, kerb or other services or things. If damage caused, is damage form complete? In accordance with the provisions of the Manukau Consolidated Bylaw 1992 Chapter 25 1 hereby make application for a permit to install a vehicle crossing fully complying with the requirements of the said Bylaw. FORM OF AGREEMENT AGREEMENT made this	and that this crossing is in a position enabli	proved form of vehicle crossing exists at the property described, against a true property and to a garage/carport/offstreet parking
In accordance with the provisions of the Manukau Consolidated Bylaw 1992 Chapter 25 1 hereby make application for a permit to install a vehicle crossing fully complying with the requirements of the said Bylaw. FORM OF AGREEMENT AGREEMENT made this	that upon completion of the work referred to	o, I shall accept the Engineer's ruling as to the damage which may
AGREEMENT made this	If damage caused, is dam	age form complete?
AGREEMENT made this	In accordance with the provisions of the application for a permit to install a vehicle cr	Manukau Consolidated Bylaw 1992 Chapter 25 I hereby make ossing fully complying with the requirements of the said Bylaw.
(hereinafter called the "Applicant") of	FO	RM OF AGREEMENT
(hereinafter called the "Applicant") of	AGREEMENT made this(200) between	day of two thousand
and the MANUKAU CITY COUNCIL (hereinafter called the "Council") whereby the Applicant, in consideration of the granting by the Council to the applicant of a permit for the installation of a vehicle crossing pursuant to Manukai Consolidated Bylaw 1992 Chapter 25, to serve the Applicant's tand as described as: agrees that if the installation of the vehicle crossing to serve the land has not been completed in accordance with the provisions of the said Bylaw within twenty-eight (28) days of: the granting of the said permit (where no building is being erected on the land the completion of the building being erected on the land the Council may install the said vehicle crossing and the applicant will pay to the Council the amount payable to under the said Bylaw for the installation thereof which may be recovered from him by the Council as a liquidate debt. SIGNED by the above-named: AHLON FAMILY. in the presence of: ROAD: SAASNA CANE HELDING HELDIN	•	
• the granting of the said permit (where no building is being erected on the land (delete whichever is inapplicable) • the completion of the building being erected on the land the Council may install the said vehicle crossing and the applicant will pay to the Council the amount payable to under the said Bylaw for the installation thereof which may be recovered from him by the Council as a liquidate debt. SIGNED by the above-named: IAYKOR FAMILY. in the presence of: ROAD: SRASNA CANE H-AAK	and the MANUKAU CITY COUNCIL (hereinafte	r called the "Council") whereby the Applicant, in consideration of the ermit for the installation of a vehicle crossing pursuant to Manukau
erected on the land the completion of the building being erected on the land the Council may install the said vehicle crossing and the applicant will pay to the Council the amount payable to under the said Bylaw for the installation thereof which may be recovered from him by the Council as a liquidate debt. SIGNED by the above-named: IATHOR FAMILY. in the presence of: LOT: 346 DP:	agrees that if the installation of the vehicle cross provisions of the said Bylaw within twenty-eight (ng to serve the land has not been completed in accordance with the 28) days of.
under the said Bylaw for the installation thereof which may be recovered from him by the Council as a inquisite debt. SIGNED by the above-named: IAYhor FAmikY. in the presence of: LOT: 346 DP:ROAD:	 erected on the land the completion of the building being erected or 	(delete whichever is inapplicable) the land
In the presence of: LOT: 346 DP: ROAD: SAASNA LANE H. LALL	under the said Bylaw for the installation thereo	and the applicant will pay to the Council the amount payable to it which may be recovered from him by the Council as a liquidated
In the presence of: LOT: 346 DP: ROAD: SAASNA LANE H. LALL	SIGNED by the above-named:	
in the presence of: LOT: 346 DP: ROAD: SAASNA LANE H LALL		V
LOT: 346 DP: ROAD: SAASNA LANE	TAYROK PATON	<u>1· </u>
LOT: 346 DP: ROAD: SAASMA LANG OWNER: WARD: HO WILL	in the presence of:	
OWNER: HOWILL	LOT: 346 DP:F	ROAD: SRASNA LANE
	OWNER:	WARD: Howice

INSPECTION FEE: \$56.25

Covers:

Siting

Excavation

Completion

WHEN COMPLETING THIS NOTE: FORM APPLICANTS DELETE WHAT IS NOT APPLICABLE



ENVIRONMENTAL SERVICES

Building Consent Fees

BUILDING CONSENT READY TO COLLECT

APPLICANT

MRS TAYLOR DX EP 82004 HIGHLAND PARK TAX INVOICE

(When Receipted) GST No 51-963-660

DATE:

18/01/02

BEFORE WORK CAN COMMENCE PLEASE CHECK ALL PIM CONDITIONS HAVE BEEN ADHERED TO

CONSENT

01/4237

OWNER'S NAME

, TAYLOR, MRS

PROJECT STREET ADDRESS 22 WANDO LAN

BLDG INSP PREPAID BLDG RESEARCH LEVY BLDG AUTHORITY LEVY WATER METER MICROFILMING CODE COMPLIANCE CERT VEHICLE CROSSING INS	3410-1261	NET 133.33 622.22 222.22 144.44 773.33 80.00 26.67 50.00	GST 16.67 77.78 27.78 18.06 96.67 10.00 3.33 6.25	GROSS 150.00 700.00 250.00 162.50 870.00 90.00 30.00 56.25
VEHICLE CROSSING INS PRODUCER STATEMENT	0999-8115	10.00	1.25	11.25

2,062.21

257.79

2,320.00

FEES ALREADY PAID = \$

870.00

BALANCE OF FEES TO PAY \$

1,450.00

22.01.02 owallis CASH

Project Information	150.00
Rev In Advance-blds	700.00
Buildins Research As	250.00
Buildins Industry Le	162.50
Microfilm - Buildins	90.00
Code Compliance Cert	30.00
Crossins Inspection	56.25

Tax Invoice/Receipt GST Amt: \$161.1

BUILDING CONSENT FEES

TB No B14 335 RESIDENTIAL - BLACK BAGS

BCN-102

≥ \$50,000

01/4237

Issue 2 Page 1 of 1 CI No 731

INITIAL PIM FEE COLLECTED 3210-1245 D99810 INITIAL DEPOSIT COLLECTED 3210-1251 D99810 AMOUNT PAID \$ 350

SERVICES PROVIDED	A/C CODE	TIME / No	X / RATE = (GST incl)	TOTAL	CREDIT +/-	AMOUNT OUE
PIM	3210-1245 D99810		\$	\$		\$1500
Building Processing	3210-1251 D99810			2/80.00	770-00	
Building Inspections hrs	0999 8151 D99810	16	\$ 70.00	1/10-00	-70.90	1050 a
GHD Checking	3210-1253					65.10
BRANZ Levy	0999-8112				• - (250.00
Building Industry Authority Levy	0999-8113	<u></u> :				162.57
Sanitary Connection Inspection	3410-1265		\$ 49.00			7 50
S-Water Connection Inspection	3410-1266		\$ 49.00			
Street Damage Deposit	0999-8128		1			
Microfilm Fee	6750-1038					90.00
Code Compliance Certificate	3410-1273	/				30.00
Vehicle Crossing Inspection	3410-1261	(\$ 56.25		**	56.25
Dev Reserve Contribution	0999-9430 C25030			1		55
Flooding / Stability	1250	·*	\$ 78.75		·	·····

PIM: 014237 Related to: BLA335

Date Rec'd: 31/10/2001

Legal Desc : Lot 126 DP 207625

Contact : ,TAY LOR,MRS

Notes : 2/DWELLINGS/GARAGES

Owner:,TAYLOR,MRS

Site: 22 WANDO LAN HOWICK

Ward: OMARA

Phone ()626-3936/() -

Street Ref: 9608/22

Map Ref : 7/45

Plan Copying	3140-1560					
Producer Statement Audit	(0999) – 8116 -	NO-26				11.25
<u>-</u>		<u> </u>				
*Miscellaneaus Inspection Fees Swimming Pool Fencing						oice.
Marquees	\$140.00				- lette	· .

BALANCE OF FEES PAYABLE \$ 1865.10 + 240.00 = 2	1-05,10 maken
FEES RECEIVED \$ 1450 - 00 DATE 22-1-02. Cheque No	20th
FROM Grahome Taylor.	
POSTAL ADDRESS 106 Coscales Rd Pakurong	<u>c. </u>

MANUKAU WATER FEES

BUILDING CONSENT AND PROJECT INFORMATION FEES

ACCOUNT NAME	CODE	GROSS
Water Meter	5421-1507	\$ ×
Water / Drainage Services	5444-1251	\$75.00 x
Drain inspection (CC TV)	5444-1251	\$245.00
	TOTA	\L =

All fees inclusive of GST

BALANCE OF FEES TO PAY \$

Water Meter Charges

Small Water Meter Installation (revised charge)	1 or 2 per site	3 - 9 per site
15mm residential	\$415.00 each	\$385.00 each
20mm light commercial	\$435.00 each	\$405.00 each
25mm commercial	\$570.00 each	\$540.00 each

Large and Multiple Water Meter Installations

All meters larger than 25mm and multiple installations (3 or more) on a single site or project

By Approved Licensed Contractor (ALC): Administration and Single Inspection All subsequent inspections (new charge)

\$145.00 \$85.00 / hour

By Manukau Water

POA

BUILDING CONSENT FEES

All consents under \$50,000

TB No BLA 383

BCN-100 Issue 2 Page 1 of 1 Cl No 731

INITIAL PIM FEE COLLECTED 3210-1245
INITIAL DEPOSIT COLLECTED 3210-1251

AMOUNT PAID \$

AMOUNT PAID \$ 350_____

SERVICES PROVIDED	A/C CODE	TIME / No	X / RATE = (GST incl)	TOTAL	CREDIT +/-	AMOUNT DUE
PIM	`3210-1245	1	\$	\$		\$150.00
Building Processing	3210-1251		· ·	280.00	380.00	-
		,			+75.06	
Building Inspections .238. hrs	3410 1251	116	\$ 70.00	1120.00	-70.00	1050.0
GHD Checking Harling Islanbiki	3210-1253			65.10		65.16
BRANZ Levy	0999-8112	:	1			250.00
Building Industry Authority Levy	0999-8113					162.50
Sanitary Connection Inspection	3410-1265		\$ 49.00			1-
S-Water Connection Inspection	3410-1266		\$ 49.00			
Street Damage Deposit	0999-8128		2			
Microfilm Fee	6750-1038					90.00
Code Compliance Certificate	3410-1273					30-00
Vehicle Crossing Inspection	3410-1261	×į	\$ 56.25			56.25
Dev Reserve Contribution	0999-9430 C25030					
Flooding / Stability	1250		\$ 78.75			
Miscellaneous Insp Fee*	3410-1271					
Backflow Prevention Inspections	3410-1079					
Dangerous Goods	6330-1262					
Env Services (Health)	6320 ₇ 1241	1.				
Compliance Schedules	3160-1272					
Specialist Acti Ext (Consents)	3210-1258					
Plan Copying	3140-1560					
Producer Statement Audit	(0999) 8115 -	NO-26			-	11.25
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*Miscellaneous Irrspection Fees Swimming Pool Fencing Liquor Licence Marquees	\$70.00			,		

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MANUKAU WATER FEES

BUILDING CONSENT AND PROJECT INFORMATION FEES

ACCOUNT NAME	CODE	GROSS	GROSS		
Water Meter	5421-1507	\$ x			
Water / Drainage Services Time spent processing PIM and f	5444-1251 Building Consent	\$75.00 x			
Drain Inspection (CC TV)	5444-1251	\$245.00			
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All fees inclusive of GST

54664 BUILDING CONSENT FEES \$350.00 30.10.01 Imclaren CASH Tax Invoice/Receipt GST Amt: \$38.89

BALANCE OF FEES TO PAY \$

Water Meter Charges

Small Water Meter Installation	1 or 2 per site	3 - 9 per site
(revised charge) 15mm residential	\$415.00 each	\$385.00 each
20mm light commercial	\$435.00 each	\$405.00 each
25mm commercial	\$570.00 each	\$540.00 each

Large and Multiple Water Meter Installations

All meters larger than 25mm and multiple installations (3 or more) on a single site or project

By Approved Licensed Contractor (ALC):
Administration and Single Inspection
All subsequent inspections
(new charge)

\$145.00 \$85.00 / hour

By Manukau Water

POA



MANUKAU WATER FEES

BUILDING CONSENT AND PROJECT INFORMATION FEES Effective from 1 September 2001

ACCOUNT NAME	CODE	GROSS	
Water Meter	5421-1507	\$ X	•
Water / Drainage Services Time spent processing PIM and Building Consent	5444-1251	\$75.00 X	0·8 = \$60 · 80
Drain Inspection (CC TV)		<u>.</u>	
Initial Inspection	5444-1251	\$195.00	
Second Inspection	5444-1251	\$195.00	•
Waste water Connection or	5444-1267- X58001	\$90.00	xx=\$180.00
Combo	Manukau Consents Code		· -
Stormwater only Inspection	5444-1267- X58001	\$45.00	
	Manukau Consents Code		_
Close Proximity Inspection	5444-1267- X58001	\$45.00	_
	Manukau Consents Code		_
Close Proximity with	5444-1267- X58001	\$20.00	
Connection Inspection	Manukau Consents Code		
All fees inclusive of GST	TOTAL =	(2	240.00

240-00

Water Meter Charges

Small Water Meter Installation	1 or 2 per site	3 - 9 per site
15mm residential20mm light commercial	\$435.00 each \$485.00 each	\$405.00 each \$455.00 each
 25mm commercial 	\$705.00 each	\$675.00 each

BALANCE OF FEES TO PAY \$

Large and Multiple Water Meter Installations

All meters larger than 25mm and multiple installations (3 or more) on a single site or project

By Approved Licensed Contractor (ALC)

Administration and Single Inspection

\$145.00

Administration Fees

\$35.00/meter

All subsequent inspections

\$85.00/hr

The Manukau Water Inspection Fees are a minimum charge by Manukau Water. We advise that Manukau Consents may charge the applicant for an additional time or inspections not covered by the minimum charge.

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Ph. 5346523

SIMPLY SUPPORTED BEAM

Job Address : 39 Hattaway Ave

Job No. : 3588/748
Date : 21/7/00
Beam Location: Bed 4 lintel

w2 P1 w 1 P2 w3

	•	W2 P1	W1 P2	W3		
	i i	R1/	/	_bR2		
•	l	2 1				
Span L	(m)	0.25				
a (<=L/2)	(m)	0.25		1	ULS	Loads
b	(w)	G 0.00	Qfi	Qroof	1.2G+1.6Q	1.4G
m 4	أ	1,44	0	1.04	3.39	2.02
P1	(kn)	1,44	0	0	0.00	0.00
P2	(kn)			-		1 1
w1	(kn/m)	0.61	0	0.2	1.05	0.85
w2	(kn/m)	0.61	0	0.2	1.05	0.85
w3	(kn/m)	0	- 0	0	0.00	0.00
		R1	R2	M*		
ULS	1.2G+1.6Q	4.02	1.48		(M*1)	
	1.4G	2.62	1.11	0.68	(M*2)	
SLS	G	1.87	0.79			
	Qfl	0.00	0.00			
Section Size		150X100	Radiata			
Steel		İ	'			
Fb	(mpa)		- 1			
Z.	(x10^3mm^3)		-			
Phi x Mn	(kn.m)		-	-		
Timber						
k1		*	8.0			
k6			-			
k24		[-			
Fb	(mpa)	[17.7			
Z	(x10^3mm^3)		324.8			
Phi xMn	(kn.m.)	(1.2G+1.6Q)		>M*1		
Phi x Mn	(kn.m.)	(1.4G	2.76	>M*2		
	-	k1=0.6)	ļ	ļ		
SLS Deflection	กร	i	1			
1	(x10^6mm^4)		23.4	!		
E	(x10^3mm^3)		1 8	ĺ		
k2	•		2			
Defin G	(mm)	ļ	1.16			
Defin. Qfl	(mm)	1	0.00			
Defin. G+Qfl	(mm)		1.16	O.K.		
k2x(G+0.4Qfl)	•	:	2.33	Long term	defin.	
L/long term de			859.61	O.K.		

Howick

Ph. 5346523

SIMPLY SUPPORTED BEAM

Job Address : 39 Hattaway Ave Job No. : 3588/746 Date : 21/7/00

Beam Location: Floor joists under ext. wall bedroom 4

			P1_	w1 P2	w3			
	-	R18) <i>[</i>	/	bR2			
Span L	(m)	ļ	3.9	I				
a (<=L/2)	(m)		1.3					
b `,	(m)	Í	0.60			[ξ	JLS	Loads
		G		Qf	Qroof	1.2G+		1.4G
P1 ((kn)		0.79	0	0.44		1.65	1.11
P2 .	(kn)		1.87	0	1.04		3.91	2.62
w1	(kn/m)	}	1.23	0.34	0.38		2.63	1.72
w2	(kn/m)	1	2.71	0.34	0.95	i	5.32	3.79
w3	(kn/m)	1	2.04	0.34	0.58		3.92	2.86
		R1		R2	M*			
ULS	1.2G+1.6Q		9.80	10.28		(M*1)		
51.6	1.4G		6.80	7.02	5.76	(M*2)		
SLS	G	ļ	4.85	5.01				
	Qfl		0.66	0.66				
Section Size		270X9	n	Giulam.				
<u> Jernon Jize</u>		2/0/3		Giulaili.				
Steel					}			
Fb	(mpa)	}			}			
Z	(x10^3mm^3)			_				
Phi x Mn	(kn.m)			-	-			
	,	1		[
Timber								
k1			*	0.8				
k6				1.05				
k24		j		j 1	}			
Fb _	(mpa)			19	ŀ			
Z	(x10^3mm^3)	 		1094				
Phi xMn		(1.2G+	1.6Q)		>M*1			
Phi x Min	(kn.m.)	(1.4G	-6.6)	10.48	>M*2			
SLS Deflection		K12	=0.6)					
 SES DAMACNO	из (x10^6mm^4)	}		147.6	1			
Ė	(x10°3mm°3)			147.0	1			
k2	(VIO SHIIII.2)	}		1.5				
Defin G	(mm)]		5.64				
Defin. Qfl	(mm)			0.86				
Defin. G+Qfl	(mm)	-		6.49	О.К.			
k2x(G+0.4Qff)		1		8.97	Long term	defin.		
L/long term de		i		434.74				
•	•	•		-	•			

Airey Consultants Ltd 39 Meadowlands Drive Howick

Ph. 5346523

SIMPLY SUPPORTED BEAM

Job Address : 39 Hattaway Ave

Job No. : 3588/746 Date

: 21/7/00

Beam Location: Floor beam over garage

		w2 P1	w1 P2	w3		
		R1a/	/	bR2		
Span L	(m)	5.8				
a (<≈L/2)	(m)	2.9				
b	(m)	0.00			ULS	Loads
	<u>.</u>	G	Qfl	Qroof	1.2G+1.6Q	1.4G
P1	(kn)	5.01	0	0	6.01	7.01
P2	(kn)	0	0	O	σ.00	0.00
w1	(kn/m)	3,18	2.85	0.63	9.38	4.45
w2	(kn/m)	1.07	0	0.4	1.92	1.50
w3	(kn/m)	0	0	0	0.00	0.00
		R1	R2	M*		
ULS	1.2G+1.6Q	13.99	24.81	32.49		
	1.4G	9.99	14.28	41.40	(M*2)	
SLS	G	7.14	10.20			
	Qfi	2.07	6.20			
Section Size		250PFC	Steel			
DEPHOLI SING		250776	Sieci 			
Steel				İ		
Fb	(mpa)		250			
ž	(x10^3mm^3)		350			
Phi x Mn	(kn.m)			>M*max. O	.K.	
	, ,			,		
Timber						
k1		*	0.8			
k6		i	-]		
k24		i	-			
Fb	(mpa)		-	1		
Z	(x10^3mm^3)	l <u>.</u>	, -	ļ		
Phi xMn	(kn.m.)	(1.2G+1.6Q)		-		
Phi x Mn	(kn.m.)	(1.4G	-	-		
SI C Befferdi		k1=0.6)	}	ł		
SLS Deflectio		Ì	445	}		
! E	(x10^6mm^4)		44.5 200	}		
k2	(x10^3mm^3)	ļ	200	ļ		
Defin G	(mm)	Ì	6.20			
Defin. Qfl	(mm)	}	2.65	1		
Defin. G+Qfl	(mm)		8.85	О.К.		
k2x(G+0.4Qfl)		(,	Long term	defin.	
L/long term de			798.73			

SIMPLY SUPPORTED BEAM

Job Address

: 39 Hattaway Ave

Job No.

: 3588/746

Date

: 21/7/00

Beam Location: Garage lintel

		w2 P1	w 1 P2	w3 -bR2		
		R1a/	/	-Dr.c.		
Span L	(m)	4.8				
a (<=L/2)	(m)	0				1
b	(m)	0.00			ULS	Loads
		G	Qfl	Qroof_	1.2G+1.6Q	1.4G 0.00
P 1	(kn)	0	0	0	0.00 0.00	, I
P2	(kn)	0	0	0	ł .	
w1	(kn/m)	0.98	0	0.38	1.78	
w2	(kn/m)	0	0	0	0.00	
w3	(kn/ m)	0	0	0	0.00	0.00
		R1	R2	M*	(8.844)	
ULS	1.2G+1.6Q	4.28	4.28		(M*1)	
	1,4G	3.29	3.29	3.85	(M*2)	
SLS	G	2.35	2.35			
	Qfl	0.00	0.00			
		005700	Glulam.			
Section Size		225X90	Giulaiii.			
M						
Steel	(mna)	}	_			
Fb ~	(mpa)	ļ				
Z	(x10^3mm^3)	1		_		
Phi x Mn	(kn.m)			i		
Timber						
k1			0.8			
k6			1			
k24	•		1		ļ	
Fb	(mpa)	<u>†</u>	19	!	ľ	
Z	(x10^3mm^3)		760		1	
Phi x M n	(kn.m.)	(1.2G+1.6Q)	9.24	>M*1		
Phi x Mn	(kn.m.)	(1.4G	6.93	>M*2	-	
	,	k1=0.6)]		
SLS Deflection	ons					
ı	(x10^6mm^4))	85.4		1	
E	(x10^3mm^3))]	9		ĺ	
k2		1	1.5		1	_
Defin G	(mm)		8.80		Ţ	210490 LAM
Defin. Qfi	(mm)		0.00]	
Defin. G+Qfi	(mm)		8.80			0.16.16
k2x(G+0.4Qf				Long term	<u>aerin.</u>	7.64
L/long term de	efin	1	363.68	No good	- k - l	

MANUKAU CITY COUNCIL PRODUCER STATEMENT - DESIGN

Building consent Application No 0/4237 Produc	cer Statement Author acceptance No
ISSUED BY: <u>IAN HAROLD GIBSON</u>	
(Designer)	
To: MANUKAU CITY COUNCIL	
IN RESPECT OF AN APPLICATION FOR BUILDING	CONSENT MADE BY
MR. TAYLOR. IN RELATION TO:	NEW DIECELLAGE
(Building Consent Applicant)	(Description of Building Work)
AT: WANDO LANE HOWICE	ار.
(Address)	
Lot 126 DP	SOSO
<u>IAN HAROLD GIBSON</u> has been engaged by (Designer)	
provide design services in respect of the requirements of	(Building consent Applicant)
Building Regulations 1992 for:	of the First Schedule to the
Danding Regulations 1990 lot.	CINTERS/ BEAMS/PROOR JOISTS
Part only as specified in the atta	CHATELS/ BEAMS/PLOON JOISTS REGULATING SPECIA DESIGN
of the building work the subject of the application for accordance with	Building Consent. The design has been prepared in
Vmi	
(verification methods/acceptable solution/s)	-91.
(respectively) of the Approved Documents issued by the l	Building Industry Authority and the work described in
	POSED CONTY AT LOTILL
	JANDO LANE HOWICE
(Designer)	
and numbered and the specific	cations and other documents according to which the
building is proposed to be constructed and which I have s	submitted with the application.
As a designer I have taken all reasonable steps necessary	(including where applicable site investigation) to verify
design assumptions. I am satisfied on reasonable groun	ds that in relation to the building work specified above
the provisions of the Building Code would be met if the	work were properly completed in accordance with the
drawings, specifications and other documents according	to which the building is proposed to be constructed and
which have been submitted with the application. I under	stand that if this Producer Statement is accepted, it will
be relied on by Manukan City Council for the purposes of	f establishing compliance with the Building Code.
9 77	- 1 - 1
- <u>u</u>	3e/10/01
(Designer)	(Date)
DEMIDENT	
(Qualification)	
(
AIREY CONSULTANTS LTD.	39 MEADOWLAND DRIVE, HOWICK
(Address)	
534 6523	537 5754
(Phone)	(Facsimile)

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Siting					_	
Foundations						
Concrete Floor Slab	~					
Building Preline	7					
Wall Insul	レ					
Brick/Exterior	V	7				
Internal linings/Gibnail	1/					
Building Complete	i/	١	1/3	معم	しっと	
Ceiling Insul	')				
P&D Slab						
P&D Preline						<u></u>
P&D Drainage						
P&D Complete						
Asbuilt drainage plan	.			<u>.</u>		
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Truss plan						<u>.</u>
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Floor level cert	1111					
Compaction cert	7//				<u> </u> -	
B Grade cert			<u> </u>			
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Observation cert	<u> </u>				ļ	
P/S Pressure test	4	<u> </u>		 	<u> </u>	
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ACCEPTABLE SOLUTION F4/AS1

1.0 BARRIERS IN BUILDINGS

1.1 Barrier heights

1.1.1 Acceptable minimum barrier heights are given in Table 1.

Comment:

A handrail can be constructed as an integral part of a barrier. Refer NZBC D1 "Access Routes".

· •	um barrier he ph 1.1.1	ights
Building type	Location	Barrier helght (mm) (Note 1)
Detached dwellings and within household units of multi-unit	Stairs, landings, ramps or edges of internal floors	900
dwellings	External deck or external balcony	1000
All other buildings,	Stairs or ramps	900
and common areas of multi-unit dwellings	All locations other than stairs or ramps	1000

NOTE:

- Heights are measured vertically from floor level (ignoring floor coverings) on floors, landings and ramps, and from pitch line or stair nosings on stairways.
- A landing is a platform with the sole function of providing access. A platform used as a space for people to congregate is described as a deck or balcony.

1.2 Barrier construction

1.2.1 Buildings frequented by young children

Barriers located in any part of a building likely to be frequented by children under the age of 6 years shall have:

- a) No openings which will permit the passage of a sphere greater than given by Table 2, and
- b) No toeholds between the heights of 150 mm and 760 mm above floor level (or stair nosing), except that perforated sheet, mesh, or treilis rigidly fixed over the full barrier height is acceptable provided that openings have a maximum dimension (other than perimeter) of 50 mm.

Comment:

Table 2:

While 50 mm openings could offer a toehold to children, a continuous mesh of this size is difficult for a child to climb.

Acceptable opening sizes

for barriers (Note 1) Paragraph 1.2.1(a), 4.0.2(b) (c)						
Age group	Examples of application (Note 2)	Maxlmum sphere dia. (mm)				
Children under 4	Housing, early childhood centres, shopping malls, health care facilities	100				
Children of 4 and 5	Cinemas, motels, halls, churches, bridges with pedestrian access	130				

NOTE:

- Opening size restrictions are chosen on the basis of child head and chest dimensional statistics.
- 2. Because the barrier opening size is determined by the age and likely presence of children, and not by the classified use of the building, it is reasonable to expect different parts of a building to have different requirements. For example, in a public half children may be expected in a public gallery, but not in a gallery reserved for lighting equipment or musicians. In shopping malls children are expected in public areas, but not in areas for the preparation of food or the unloading and reception of stock.

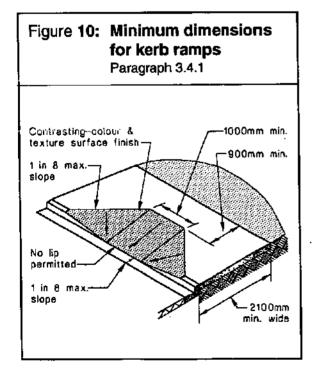
Table 5: Landings Paragraphs 3.3.1 and 3.3.3						
Ramp type	Maximum rise between landings (mm)	Length of landing (mm)				
Accessible	750 ⁽¹⁾	1200				
Other	-	Ramp width but need not be greater than 900				
	the reasonable ma	ximum level difference				

3.4 Kerb ramps

- 3.4.1 Kerb ramps (see Figure 10) shall have:
- a) A slope of no greater than 1 in 8, and
- b) Colour and texture contrast with the adjacent footpath.

Comment:

Kerb ramps allow the safe and easy movement of wheeled trolleys and prams, as well as wheelchairs.



4.0 STAIRWAYS

4.1 Pitch, risers and treads

4.1.1 Acceptable *stairway pitch line* slopes, and step riser heights are given in Table 6 and Figure 11.

Comment:

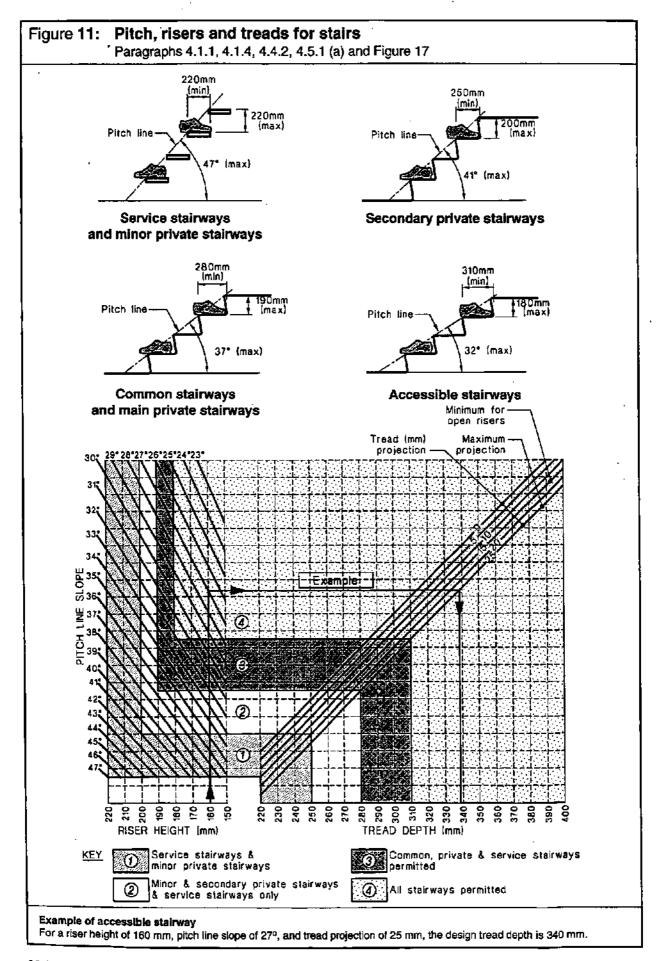
- 1. The values given in Table 6 are based on recent research in North America. The often used design rule of twice the rise plus the going (2R+G) does not always lead to safe stairway geometry and can exclude some safe moderate pitch stairs.
- Stairs having a pitch line slope of less than 23° do not permit a person to use the stair with an acceptable gait. Dangerous falls occur where the rhythm of movement is broken.
- **4.1.2** The method of measuring risers and treads is shown in Figure 12. If a landing on an outside *stairway* is formed by ground sloping across the width of the flight, the rise is measured at mid-width.
- **4.1.3 Uniformity** Riser height and tread depth for all steps in one flight, shall be uniform within the tolerance of \pm 5 mm measured at the centreline on straight flights and at the *pitch line* on curved and spiral flights.

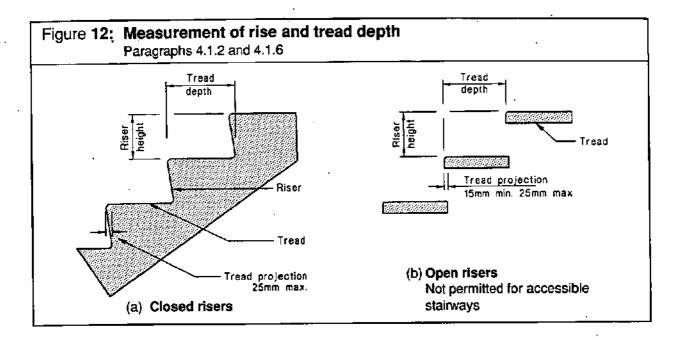
Comment:

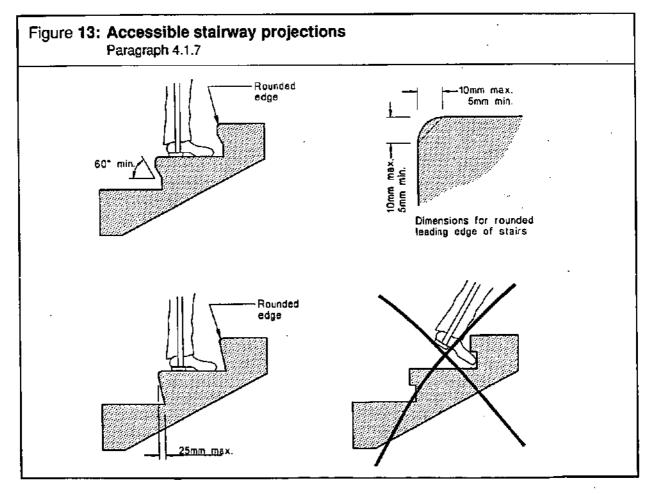
The foot is normally only lifted a few mm above the treads during ascent. A minor variation in riser height can cause someone to stumble.

Table 6:	_	mits for st 4.1.1, 4.1.4 d Figure 17	

Stair	MaxImum pitch	Maximum riser helght (mm)	Minimum tread (mm)
Service, minor private	47 ⁰	220	220
Secondary private	41°	200	250
Common and main private Accessible	37° 32°	190 180	280 310







- 4.1.4 Stair treads Acceptable stair treads (see Figure 11) have :
- a) A tread depth of no less than that specified in Table 6.
- b) A level surface,
- c) Slip resistant surfaces complying with Table 2.

Comment:

- Adequate tread depth is essential for stairway safety. Analysis of stairway related accidents shows that overstepping of treads is a common cause of accidents.
- Glazed or polished surfaces are normally unsuitable for stair treads unless the stairs are fitted with slip resistant nosings. (See Table 2, notes 3 and 7.)
- **4.1.5** Service stairs having treads less than 250 mm in depth shall have open risers.
- **4.1.6 Tread projection -** Figure 12 illustrates acceptable projections for the leading edge of successive stair treads. Limiting dimensions are:
- a) For open risers 15 mm minimum and 25 mm maximum.
- b) For closed risers nil projection minimum, and 25 mm maximum.
- **4.1.7** Leading edges of treads or *nosings* (if any) on *accessible stairways* shall:
- a) Be rounded to avoid a sharp edge (see Figure 13), and
- b) Be colour contrasted with the rest of the tread.

Comment:

Visibility of the stair tread is essential for stair safety. The difference between two dark colours does not necessarily provide sufficient tonal contrast to allow the edge of the tread to be seen by a person with impaired vision. The lighting levels required by Paragraph 4.5 are essential for stairway safety.

4.1.8 Open risers

- a) To prevent children falling or becoming held fast, the space between treads shall not permit the passage of a 100 mm sphere in areas frequented by children under 4, or a 130 mm sphere where frequented by children of 4 and 5 years of age.
- b) Open risers are not to be used within accessible stairways, and may be used on common stairways only if both the following criteria are satisfied:
 - i) there is an accessible stairway available as an alternative, and
 - ii) leading edges of the nosings are colour contrasted with the rest of the tread.

Comment:

- Paragraph 4.1.8 (a) does not apply to stairs within industrial buildings, outbuildings or ancillary buildings, or other stairways in areas not frequented by children under 6 years of age.
- Open risers are hazardous to ambutant people with disabilities. People who wear leg braces or prosthetic devices need a solid riser to guide the foot up over the riser to the next step and to maintain balance.

4.2 Width

4.2.1 The acceptable width between *handrails* of a *common stairway* or *accessible stairway*, is no less than 900 mm.

Comment:

While no minimum width is given for stairways within household units it should be noted that:

C2/AS1 Table 2 requires any stainway which is an escape route in purpose group SR (multi-unit dwellings) to be no less than 850 mm wide. This is also a practical minimum requirement for any private stainway.

Narrow private stairways can make the movement of furniture difficult, if not impossible.

5.3.2 Access to landings (see Figures 22 and 23).

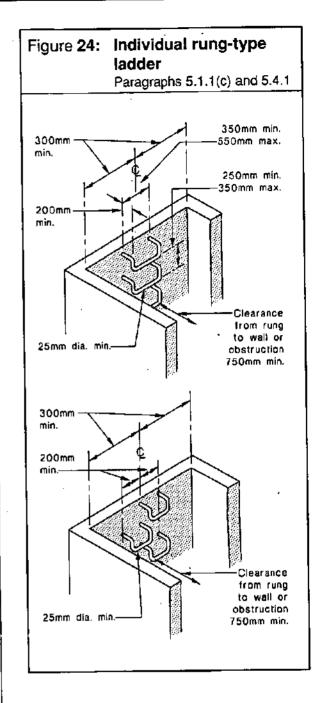
- a) Ladder stiles shall extend to the height of the barrier, but no less than 900 mm above the landing.
- b) Toeboards shall not extend across ladder openings.
- c) For step-through access, stile spacing above the landing shall be between 500 mm and 700 mm, and the top rung either level with, or one full rise below, the landing.
- d) For side access to landings, the spacing from the nearest stile to the landing shall be between 150 mm and 300 mm, and the top rung must be level with the landing.

5.4 Individual rung-type ladders

- **5.4.1** Individual rung-type ladders (see Figure 24) shall have:
- a) Rungs of no less than 25 mm diameter, shaped to prevent the foot slipping off sideways, and spaced evenly at between 250 mm and 350 mm centres.
- A tread width on each rung of between 300 mm and 550 mm, except that for staggered rungs this may be reduced to 200 mm, and
- Height and clearance limitations as for rung-type ladders (see Paragraphs 5.3.1 (d) and (e).

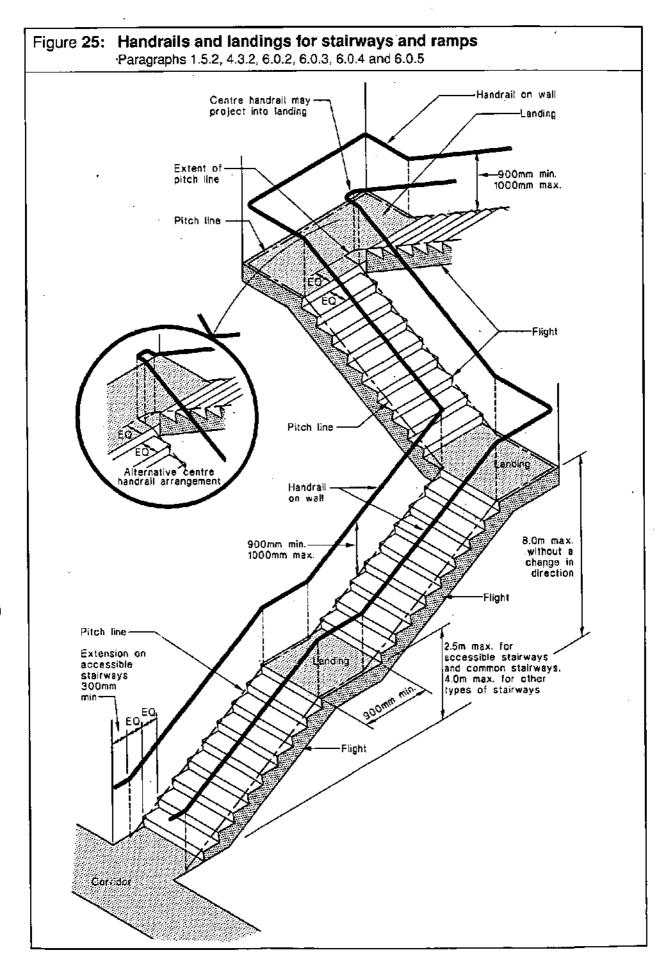
6.0 HANDRAILS

6.0.1 All accessible stairways shall have handrails on both sides (see Paragraph 6.0.3). All other stairways with a width of 2.0 m or less and having two or more risers, shall have handrails on at least one side. For a stairway of two or three risers within, or giving access to a household unit, the handrail may be omitted.



Comment:

- Wherever possible, handrails should be continuous on all access routes. On private stairways a handrail may be considered continuous if the continuity is interrupted by newel posts.
- A single riser is an isolated step which by NZBC D1.3.3 (i) is permitted only within Detached Dwellings or within household units of Multi-unit Dwellings, and in Outbuildings and Ancillary buildings.



- **6.0.2** Any *stairway* which exceeds 2.0 m in width shall:
- a) Have handrails on both sides and, where the width exceeds 4.0 m, shall also have an intermediate handrail provided at the center of the stairway, or
- b) If the stairway is essentially an outdoor architectural feature and not required to be an accessible stairway, have at least one handrail. Examples of such stairways are those leading to civic areas, or to decks on Housing.

Comment:

A central rail gives all users a rail to use for safety purposes. On stairways in public buildings, such as sports stadia, intermediate rails are also effective for crowd control. The 2.0 m width is a comfortable width for three people, two of whom can grasp a rail if anyone trips.

- 6.0.3 Accessible stalrways and accessible ramps Handrails shall be provided on both sides of accessible stairways and on both sides of accessible ramps where the ramp slope is steeper than 1 in 20. The handrails shall be continuous except where doors are located on landings (see Figures 9 and 25).
- 6.0.4 Slope of handralls Handrails shall have the same slope as the pitch line, begin no further than the second riser from the lower end of the stairway, and extend the full length of the stairway they serve. Except that, where the handrail serves an accessible stairway or accessible ramp, a 300 mm (minimum) horizontal extension shall be provided at each end of the handrail, as shown in Figures 9 and 25.
- **6.0.5** The first riser shall be located a sufficient distance back from the corner where the two walls meet, to accommodate the extended *handrail*, as shown in Figure 25.
- **6.0.6 Height of handrails** *Handrails* shall be positioned between 900 mm and 1 m above the *pitchline* (see Figure 25).

6.0.7 Hand rail profiles - Handrails shall have a profile which can be readily grasped by an adult hand and shall be installed in a way that avoids the likelihood of personal injury. An acceptable handrail shall be shaped and located to ensure that, under normal usage, a person's hand will not contact adjacent walls, supporting brackets or fixings, or any other obstruction.

Comment:

It is important that in the event of stumbling on a stairway or ramp an adult, even with a small hand, can firmly grasp the handrail to prevent a fall. Refer to 81/VM1 for handrail structural design regulrements.

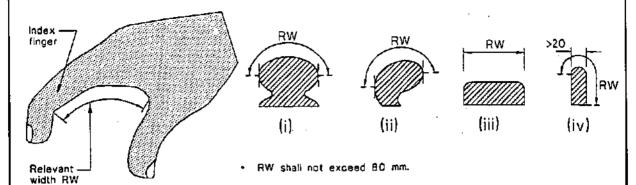
- 6.0.8 A graspable handrail profile shall have:
- a) A flat or convex upper surface, ...
- b) Arrised or radiused edges,
- c) A minimum cross section width of 20 mm, and
- d) A "relevant width" (as illustrated in Figure 26(a)) across the top surface of no greater than 80 mm. Figure 26(a) and (b) indicates some acceptable profiles but others may also be acceptable.
- **6.0.9** Acceptable handrail profiles for accessible stairways and accessible ramps are shown in Figure 26(b).

Comment:

In most circumstances a handrail is used with a light grip to steady the user of a stairway or ramp. Ambulant people with disabilities use handrails for both leverage and support, and wheelchair users often need to firmly grip the rails to pull themselves along, particularly on ramps. In those circumstances a profile offering an adequate grip is important.

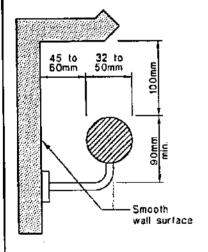
Figure 26: Handrail profiles and clearances

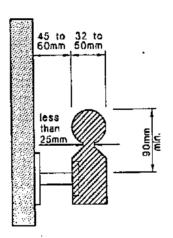
Paragraphs 6.0.8 and 6.0.9

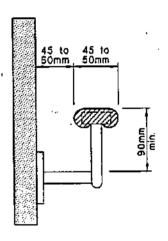


- RW (relevant width) is measured around the upper surface perimeter of the handrail section between the vertical tangents on either side.
- Variations in shape are acceptable provided the
 effective grip is not reduced. For example, the side
 faces shown as vertical in details (iii) and (iv) are still
 acceptable even if slightly curved or sloped up to 5°
 from vertical.
- See fig. 26 (b) for wall clearances.

(a) Determination of relevant width for private and common stairways







The profiles shown comply with the provisions for accessible handrails.

The clearances apply to all handrails and the maximum dimension must be used for rough textured wall surfaces.

(b) Acceptable profiles and clearances for accessible stairways

CONSULTING CIVIL & STRUCTURAL ENGINEERS

39 MEADOWLAND DRIVE, P. O. BOX 39 101 HOWICK

PH: 09 534 6523 FAX: 09 537 5754 EMAIL:iang@aireyhowick.co.nz



FACSIMILE TRANSMISSION HEADER SHEET

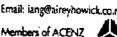
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The information contained in this fax is confidential between Airey Consultants Ltd and the intended recipient. Any other person receiving this fax is required to respect the confidentiality and may not disclose, copy or make use of its contents. If this fax has been received in error, would the recipient please notify Airey Consultants Ltd immediately and return it by mail. Airey Consultants will relimburse the cost incurred.

CONSULTING CIVIL & STRUCTURAL ENGINEERS

39 Meadowland Drive P.O.Box 39-101 Howick Telephone: 09 534 6523 Facsimile: 09 537 5754



Email: iang@aireyhowick.co.nz



16 May 2001

In all correspondence please quote our ref: 5020/80

The Manager Manukau Consents Manukau City Council Private Bag 76917 MANUKAU CITY

Attn: Structural Engineers

Dear Sir,

Re: Foundations in Expansive Soils

As you are aware, Foundation Completion Reports which have been received by the Compliance Section of Manukau have recently been required to specify the expansiveness of soils as defined in the Australian Standard AS2870-1996 "Residential Slab and Footings - Construction" i.e. S - Slightly, M - Moderately, H - Highly, E - Extreme. In addition, many have recommended that specific foundation design be undertaken or to use the standard details of AS2870-1996.

The reason for the change from past Foundation Completion Reports is a heightened awareness of the issue of expansive soils and the fact that expansive soils have been outside the definition of "good ground" in NZS3604 "Code of Practice for light timber framed buildings not requiring specific design" since 1990. In the intervening period, Council's have accepted a 450mm depth of foundations as an appropriate acceptable solution.

AS2870-1996 takes the issue of expansive clays much further resulting in more heavily reinforced raft or waffle type foundations in many slab on grade situations. The various Waffle Slab Companies are being approached to confirm that their designs are considering the expansive clay issue. The conventional foundation detail of footings and blockwork with concrete slab on grade is another matter, which we wish to address.

Our dilemma has been that for the last 20 years there have been many thousands of dwellings built using the 450mm model without apparent problems. Where are all the failures, which require the much more robust foundations specified in AS2870? There have been issues of slabs cracking but we believe that these, in many instances can be attributed to construction methods rather than a general climatic reaction to the expansiveness of the soils.

Offices at:

Pukekohe

Takapuna

Howick

Our dilemma continues as we are not aware that there has been any significant research into the response of expansive soil to the New Zealand climate, so there has not been any confirmation that the parameters or levels of expansively specified in the Australian document relate directly to the Auckland situation.

However, we accept that the Australian experience cannot be ignored and therefore until the appropriate research has been undertaken, we consider that for the appended floor configurations, it would be a reasonable compromise to apply the details contained within AS2870-1996 one level below that specified, i.e. if a Foundation Completion Report indicates 'highly' 'expansive soils are present, then the details within AS2870 relating to 'moderately' expansive soils, should be applied, and for 'moderately' expansive soils, the 'slightly' expansive details.

The reason we believe this to be appropriate is that Auckland does not have the weather extremes prevalent in Australia and there is no evidence that the last twenty years of a 450mm practice is causing significant problems. However, in conjunction with this approach we consider that a number of positive proactive measures need to be taken to ensure that the construction techniques take into account the expansiveness of the soil.

Therefore the following clarifications and construction methods must be a part of the process.

- 1) Definition of Cleared Ground Level cleared ground level means the interface between topsoil and underlying soil layer i.e. 450mm below cleared ground level means 450mm below the base of topsoil, 450mm into the underlying layer or 600mm below the base of topsoil, means 600mm below the base of topsoil, 600mm into the underlying layer.
- 2) An additional inspection is required by a registered engineer, building inspector or certifier. This inspection shall be immediately prior to the installation of hardfill, following topsoil stripping and cutting the site to grade. The purpose of this inspection is to confirm that the subgrade has not been allowed to dry out as this is likely to result in heave (and cracking) of the slab once moisture returns following polythene placement. The parameters shall be that if cracks are present, which are greater than 4mm, then the subgrade shall be wetted down to allow the clay to regain its bulk. The hardfill must be wetted down prior to polythene placement if its placement is longer than 2 days after subgrade inspection.
- Brick veneers shall have control joints positioned at re-entrant corners such as doorways and/or windows such that no brittle panel length exceeds 1.5 times it height.

It is our professional opinion, based on perceived historical building performance, that these measures and the appropriate foundation details as required by AS2870-1996 are reasonable and appropriate and practical measures to be undertaken for foundations in expansive clays ahead of the research, which is required to determine the true climatic response for the Auckland and New Zealand soils.

We enclose plans of proposed standard details.

Please contact the writer if you wish to discuss the matter.

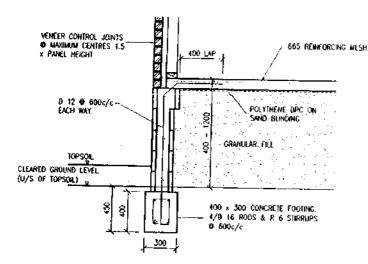
Yours faithfully

AIREY CONSULTANTS LTD

I H GIBSON

Endorsed:

S. Woodward Geotek Services



FOOTING DETAIL FOR MODERATELY EXPANSIVE SOILS

I supposed the man sector for the large parties of the first sector of

NOTES:

I. INSPECTION REQUIREMENT.

FOLLOWING STRIPPING OF TOPSOL & BANETHITELY PROOR TO LUTRIG OF METAL & POLYTICHE THE SUBGROUP SMALL BE INSPECTED BY A REGISTERED ENGINEER, BUILDING INSPECTOR OR BULGING CERTIFIER TO REPLIED HOW THE SUBGROUP HIS NOT BEEN ALLOWED TO DRY OUT, IF CRUCKS ARE VISIBLE WHICH EUCED FROM IN WOOTH, THE SUBGROUP SMALL BE WITTED BOOK TO THE SUBSTACION OF THE THICHER, INSPECTOR OR CENTRICE, PAREFUL MUST BE WITTED BOOK IF THERE IS GREATER THAN 2 DATS BETWEEN BURGHOUS INSPECTOR OR CHAPTER.

- 2 BRICK MARKERS SHALL HAVE CONTROL JOHTS POSITIONED AT A SPACING OF HO JACRE THAN 1.5 TAKES THE PANEL NEWER JUP TO A JACKSHAM OF 3.6 METERS, BUT POSITIONED WHERE POSSIBLE OR REASONNELE. TO COMMODE WITH RE-ENTIRANT CORNERS OF OPERIORS IN THE PANEL INVESTERS.
- 3. CLEARED GROUND LEVEL IS INTERFACE BETWEEN ROPSOIL & CLAY MAYER
- 4. CONCRETE STRENGTH AT 26 DAYS IS TO BE ZIMPO.
- 5. PLANTING OF TREES SHOULD BE AVOIDED NEAR THE FOUNDATION OF A RESIDENCE AND KEPT A DISTANCE OF 1 × THE MATURE HEIGHT OF THE TREE FROM THE FOUTHG.
- 6 THE USE OF CRANULAR JLL BEPTHS IN EXCESS OF BOOMM IS OUTSIDE CLAUSE 3.1.2(c) OF H2S 3604 AND HENCE REQUIRES AN APPROPRIATE GEORGIANCAL AMESTIGATION.
- THIS PLAN IS SUBJECT TO THE QUALIFICATIONS OF THE LETTER TO MANUKAU CITY COUNCIL BY AIREY CONSULTANTS LID DATED TO MAY 2001.
- B. WINGHOUG DEPTH OF GRANGLAR FILL IS 300mm.

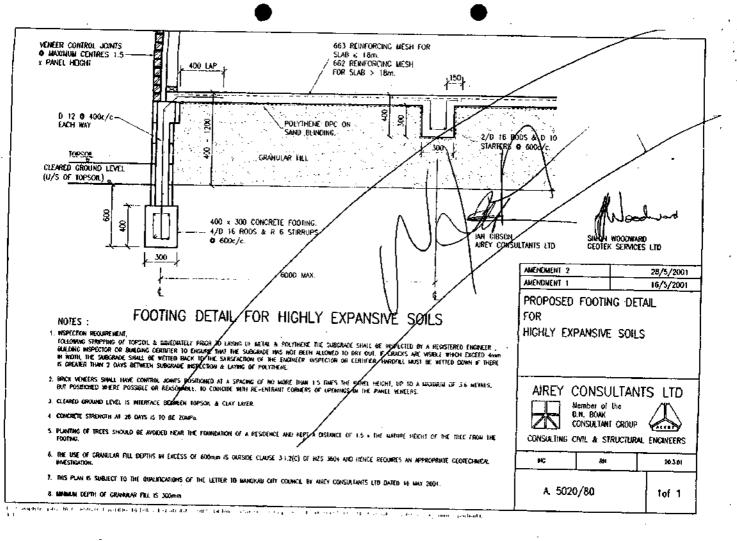
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Environmental Services



6 November 2001

Easdale Surveyors Ltd 39 Meadowlands Drive HOWICK

Attention: Michael Lucas

Your ref: 6722

Dear Sir

DECISION ON AN APPLICATION FOR INTEGRATED LAND USE AND SUBDIVISION RESOURCE CONSENT

Applicant

: Grant Taylor

Application

: Part A - Land Use Consent

Controlled Activity and Non-Complying Activity to construct two dwellings on a site. (Manukau Proposed District Plan and Transitional District Plan for Manukau).

Restricted Discretionary Activity (development standard modification) and Discretionary Activity (dispensation) to infringe the 35% site coverage infringement of by 2% for proposed Lot 1. (Manukau Proposed District Plan and Transitional District Plan for Manukau)

Part B - Subdivision Consent

Controlled Activity and Non-Complying Activity to subdivide a site into two fee simple allotments. (Manukau Proposed District Plan and Transitional District Plan for Manukau)

Site

: 22 Wando Lane, Otara

Legal Description :

Lot 126 DP 207625

Proposal No

19896 (SP 7400)

Zoning

Main Residential - Manukau Proposed District Plan

Future Development (Stage One) - Transitional District Plan for

Manukau

CONDITIONS OF CONSENT

Part A - Land Use Consent

I wish to advise that consent for the land use component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

Reference: ES 9608/22 Proposal: 19896

Enquiries to Consent Co-ordinator: Bryce Pomfrett

Facsimile

262-5109

Extension

8118

- That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing, and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application and numbered 19896 by the Council.
- 3. That no less than 30% of each of the proposed 2 lots shall be laid out in grass and/or planting and that 1 specimen tree of size PB 95 shall be planted in each of the proposed lots at the completion of construction and prior to the occupation of the units.
- 4. That all driveways and reverse manoeuvring areas shall be formed in all-weather dust-free surface and provided with stormwater control at the completion of construction and prior to the occupation of the dwellings on the site.
- 5. Power, gas and telephone services shall be installed underground to provide service connections to all proposed units.
- 6. That the proposed vehicle crossings shall not exceed 4.5m and 3.0m at the footpath for units 1 and 2 respectively. These shall be constructed in accordance with drawing R9 of the Council's "Manual of Engineering Quality Standards".
- 7. The private way shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached

REASONS FOR THE DECISION

- (a) The application merits a consent pursuant to Sections 104, and 105 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives and policies of the Operative Transitional Plan for Manukau and the Manukau Proposed District Plan.
- (b) The proposed layout of the site will provide for satisfactory on site amenity while preserving the amenity values of surrounding properties and the general streetscape and residential characteristics of the area.
- (c) The effects of the proposal on the environment will be no more than minor and can be further mitigated through conditions of consent.
- (d) The proposal is an efficient use of the site in an area already zoned for residential purposes.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and building consent if you have not already done so.

- 3. A copy of this letter <u>MUST</u> accompany your application for a Project Information Memorandum and building consent. Failure to do so will result in unnecessary delay in the processing of your application.
- 4. Each building is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

Part B - Subdivision Consent

I wish to advise that consent for the subdivision component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

General

- That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application, and numbered 19896 (SP 7400) by Council.
- 3. That should building precede application for Council's approval pursuant to Section 223 or 224 of the Act "as-built" plans prepared by a Registered Surveyor shall be submitted certifying the actual location of any constructed buildings in relation to the proposed boundaries and demonstrating compliance with the requirements of Part A Land Use Consent. In this regard the consent holder is responsible for accurately positioning the buildings in terms of the approved resource consent plans numbered 19896 by Council.
- 4. Any private drainage shall be shown by plan and certified to be fully contained within the lot it serves.
- 5. A reserve contribution of \$6750.00 being 6% plus GST of the assessed average current market value for Lots 1 and 2 shall be paid within two years or before the Section 224 certificate is issued for the subdivision, whichever is the sooner.
- 6. Power, gas and telephone services shall be installed underground to provide service connections to all proposed lots. This connection shall be at the road boundary. The service connection shall be located entirely within the lot boundaries of that building site.
- 7. That proposed Lot 3 be held as to two undivided one half shares by the owners of Lots 1 & 2 hereon as tenants in common in the said shares and that individual certificates of title be issued in accordance therewith. (DLR Approval: A634857)
- 8. The private way on proposed lot 3 shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached
- 9. All conditions are to be fully complied with, the Land Transfer plan number notified to the Council, and a copy of the survey plan (showing co-ordinates) is to be supplied before a certificate is issued pursuant to Section 224 of the Act.

REASONS FOR SUBDIVISION DECISION

- (a) The application merits consent pursuant to Sections 104 & 105 and 405 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives, and policies of the Operative Transitional District Plan for and the Manukau Proposed District Plan.
- (b) It is considered that the effects of the proposal on the surrounding environment will be no more than minor.
- (c) The proposed development will promote the sustainable management of this land resource by enabling people and communities to provide for their health and well-being while maintaining and enhancing the amenity values of the surrounding environment.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and a building consent if you have not already done so.
- A copy of this consent and the associated approved drawings should accompany
 your application for a Project Information Memorandum and Building Consent. If not
 supplied unnecessary delay may occur in the processing of your application.
- Each allotment shall be individually supplied and metered for water supply at the road boundary. The water lead to each dwelling shall be located entirely within the proposed lot.
- The notes registered on Council's Land Information Register (LIR) for Lot 126 DP 207625 together with the consent notice registered on the Certificate of Title for the property will be carried down to both proposed allotments.

COSTS

- Your deposit of \$562.50 aiready paid has been deducted from the total costs payable on the accompanying invoice.
- In addition to the consent charge for this subdivision, pursuant to Section 36 (1)(c) of the Resource Management Act 1991, an administration, monitoring and supervision charge relating to the conditions of this resource consent will be applicable. Further administration charges relating to the release of the subdivision, as fixed by determining all reasonable and actual costs incurred by the Manukau City Council. The applicant will be advised of the charges as they fall due.
- The aforementioned fee is in addition to the normal fees and requirements as imposed by the Manager - Building Consents to the Building Consent.

RIGHT OF OBJECTION

Within 15 working days of receipt of this decision (commencement date stamped below) you may lodge an objection to the decision pursuant to Section 357(2) of the Resource Management Act 1991. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any future correspondence, building consent applications, or enquiries relating to this consent, could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

Robert Chieng

Team Leader - Resource Consents

MANUKAU CONSENTS

Environmental Services

31 October 2001

Mr & Mrs Taylor
DX EP 82004 (86 Cascacles Rd
HIGHLAND PARK Pakwanga

Dear Sir/Madam

BUILDING CONSENT APPLICATIONS

REF: PIM No 01/4237 & 01/4238 Temporary Bag No Black 335 & 103 PROJECT LOCATION 22 Wando Lane & 24 Gransa Lane

We are in receipt of you Building Consent applications for the above addresses, however we are unable to proceed with processing of these applications until the following information is provided.

- · A Site and Drainage plan for each of the sites
- A third set of plans for each of the sites for a Project Information Memorandum /
- An estimated value of work for each site (total of both dwellings)

Please also note, that on all the plans that were provided, they referred to the one address of Lot 346 Gransa Lane. In future please remember that for every consent lodged, the correct legal description for that consent is to be shown on the plans.

I hope you can provide the above information, as to prevent any further delay.

Thank you and hope to hear from you soon, if you should have any further queries, please contact myself on extn 8478.

Yours faithfully

Andrea Kayes
Acting Building Advisory Officer
MANUKAU CONSENTS

Environmental Services

4 December 2001

Mr & Mrs Griffin 45 Kimberhall Avenue HILLSBOROUGH

Dear Sir

BUILDING CONSENT APPLICATION FOR 2 DWELLING/GARAGES
REF: PIM No 014238 - TEMPORARY BAG No BLACK 103 + B LA 335
PROJECT LOCATION: 24 GRANSA LANE. EAST TAMAKI
22 NANDO LANE -

This application is currently being considered under the provisions of the Building Act 1991. Processing has now reached the stage where further information is required to enable work on the application to continue.

1. Please provide specific foundation design for moderately expansive soil as per Council

Please respond to this request within 21 days. In this way you can help in keeping the overall consent processing time to a minimum.

In the meantime I have to advise you that the "prescribed period" for processing this application has been suspended in terms of Section 34 (2) of the Act.

For general queries regarding the progress of your application, you may contact the Technical Clerk on ext 8476.

For specific queries contact HAMID RAHMANIAN on ext 8236.

Yours faithfully

Faxed

Magdalene McLean
Acting Team Co-ordinator - Residential
MANUKAU CONSENTS

1022

Reference: 01/4238, Black 103

Direct Facsimile

262-5154

534 1165 537 5754

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Te Kaunihera o
MANUKAU
City Council

Private Bag 76917 Manukau City New Zealand

> DX EP75557 Ph 09 263 7100

Fax 09 262 5151

www.manukau.govl.nz

ENVIRONMENTAL SERVICES

18 January 2002

Mr Grant Taylor C/- Mr and Mrs Griffin 45 Kimberhall Avenue Hillsborough AUCKLAND

Dear Mr Taylor

Ref No: 01/4237 and 01/4238

Temporary Bag No: Bla 335 and Bla 103

Building Consent Application: 2 x 2 Dwellings and Garages

Site Address: 22 Wando Lane and 24 Gransa Lane Howick, Manukau City

In response to your facsimile of 8 January 2002 and as discussed on Friday 11 January 2002, I am pleased to confirm our position regarding the following:

1) Blanket Approval

At the time of lodgement you requested Blanket Approval for the plans of these two properties as being identical to a previously approved application at 39 Hattaway Avenue, Bucklands Beach

This request was considered but unfortunately during the processing check the plans several differences were identified between the two applications. The primary difference was for moderately expansive soils due to the different locality.

2) Reduction in Fees

However we acknowledge that we processed your two new dwellings as separate applications where they should have been done in tandem. In consideration of this we offer to reduce the processing fees for both properties to \$350,00 and GHD structural engineering costs to \$65,10.

We have applied these savings of \$415.10 to 22 Wando Lane, Howick

I have attached a copy of amended invoices for the two properties that shows the current status. It is hoped that this will support your request for substantial reduction in fees.

If you wish to discuss this further please do not hesitate to contact me on (09) 262 8900 extension 8158.

Yours faithfully

Magdalene McLean

(Acting) Team Co-ordinator Residential BUILDING CONSENTS AND COMPLIANCE



Environmental Services

	110 600	Private Bag 75917
To:	MR. GRIFFIN.	Manukau City
		New Zealand
Company:		DX EP75557
	524 1165 /5375754	Fax (09) 262-5154
	534 1165 / 537 5754 Email:	@manukau.govt.nz
From:	SOMA	
Date:	05 · 12 · 01 No of Pages:	
Subject:	24 GTRANSA LANE - EAST TAMAKI	.,,
	22 WANDO LANE -	
	REC: BLA 103 + BLA 335.	

Could you Please provide specific foundation DE SIGN FOR MODEROTELY Expanie Clay Soil-for both Properties, of your earlist Possible.

With legande K. Long.

FAXED

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.



Facsimile: Telephone: (09) (09)

262 5402 262 8900

Manukau City Council Private Bag 76-917, Manukau City TO

: GRANT TAYLOR

ATTENTION:

FAX No

2718335

FROM

: Gordon Rainham

PHONE

: 262 5400

DATE

:28-11-02 PAGES (inc)

10

STAIR CASE HAMDRAIL
AND BARRIER DETAILS

Soder.

PO Box 38 547 Howick, Auckland Phone: 021 689 766

Fax: 534 0703 Email: plumworx@ihug.co.nz

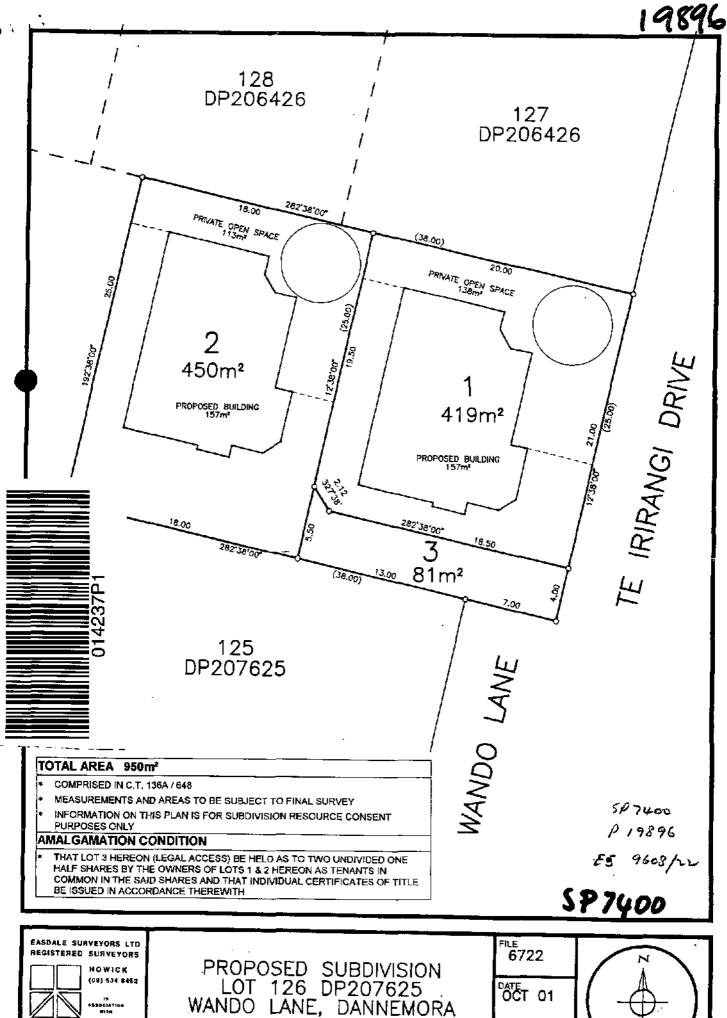
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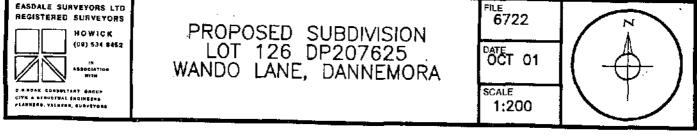
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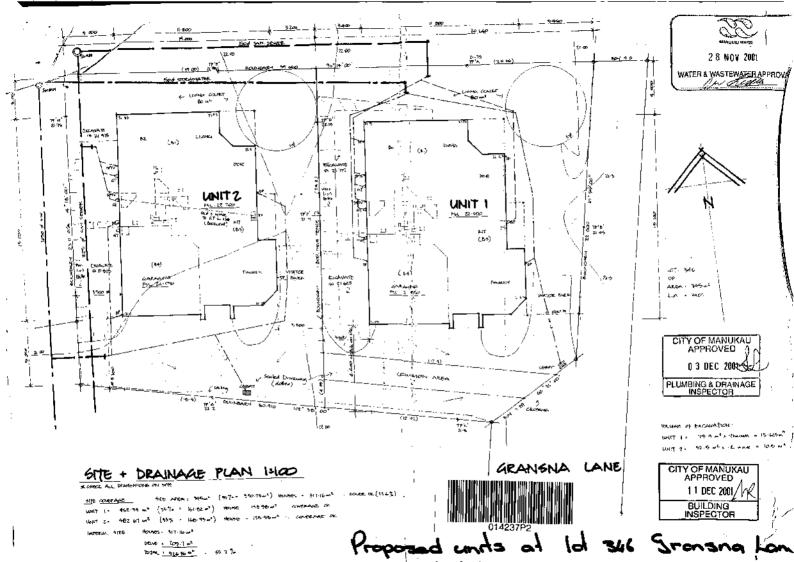


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File and microfilm please.









E7-17987 MANUKAU CITY COUNCIL. APPROVAL SUBJECTED CONDITIONS IN ATTACHED RESOURCE CONSENT

GAS MAINS

UTILITIES LAYOUT PLAN



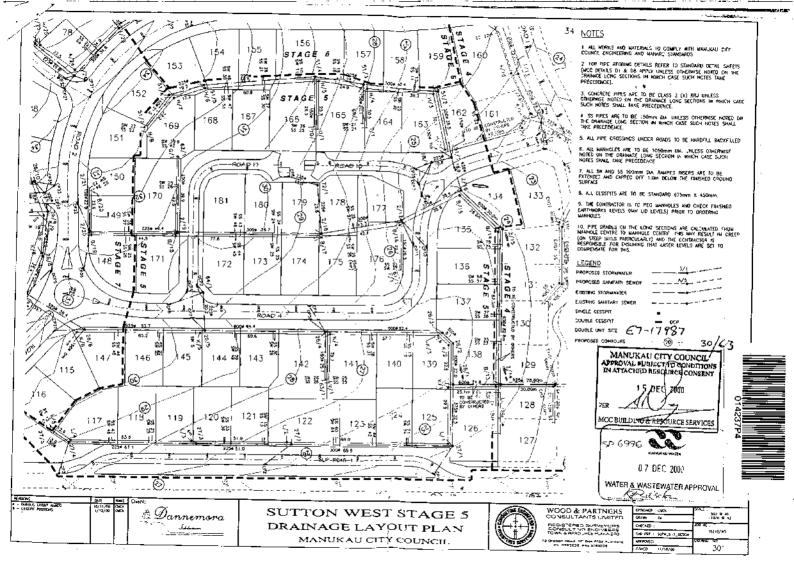
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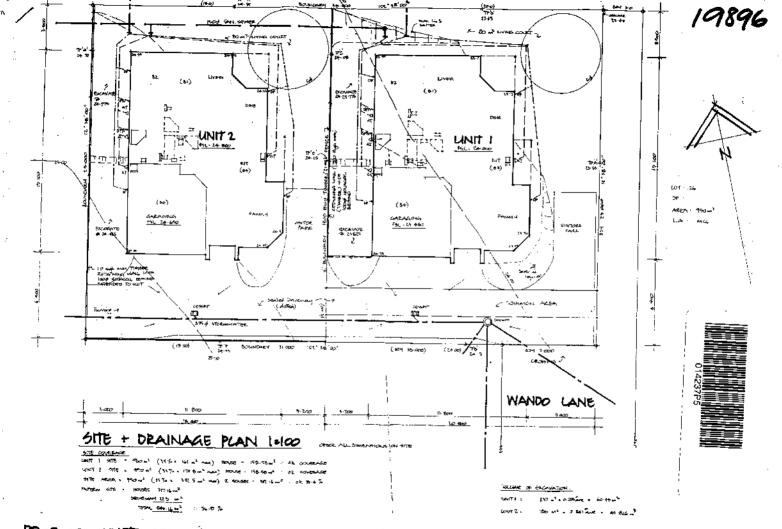
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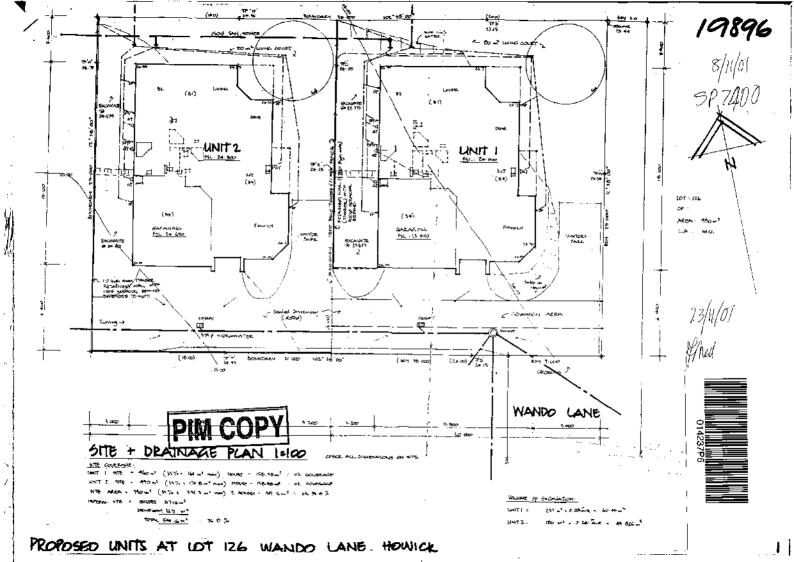
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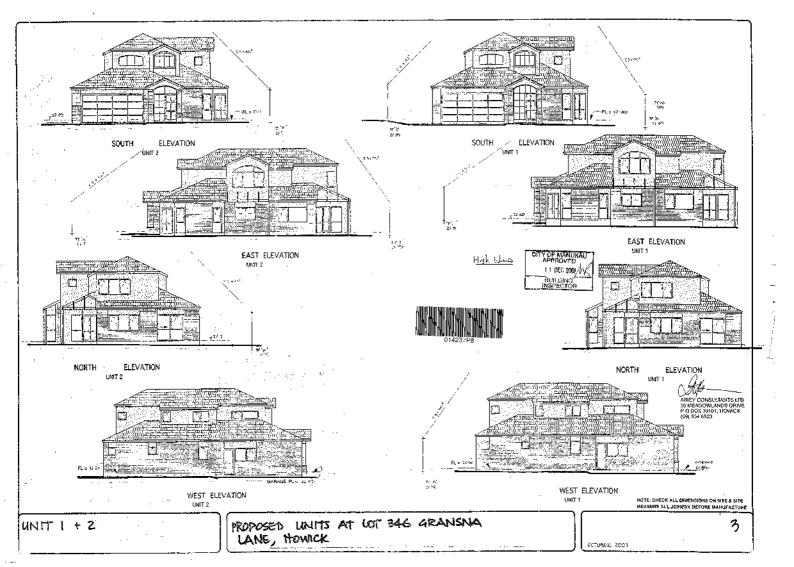
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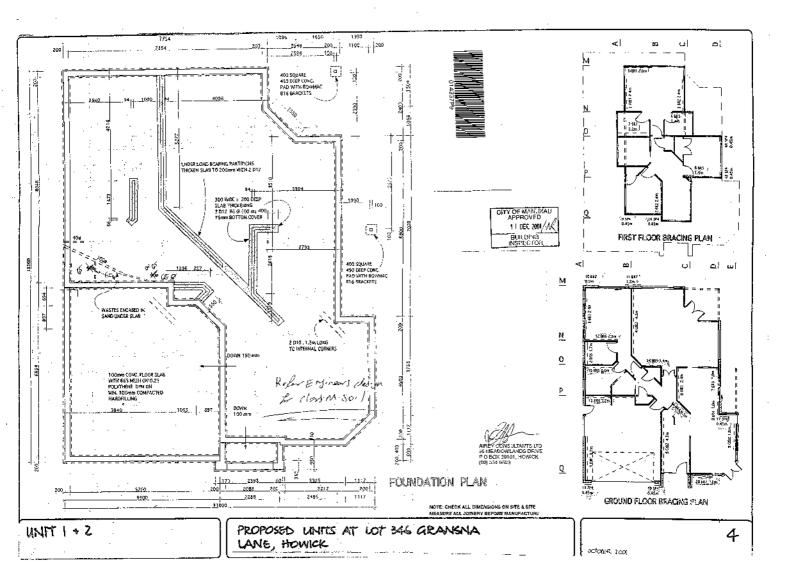


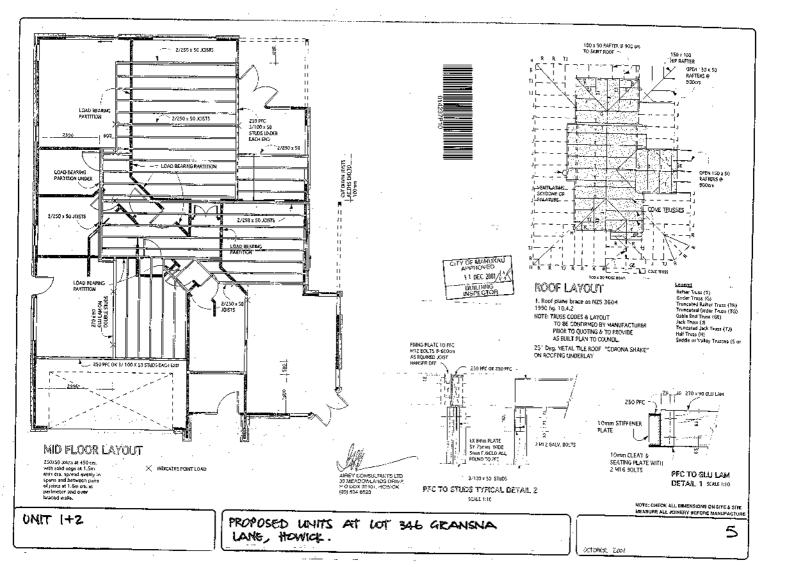


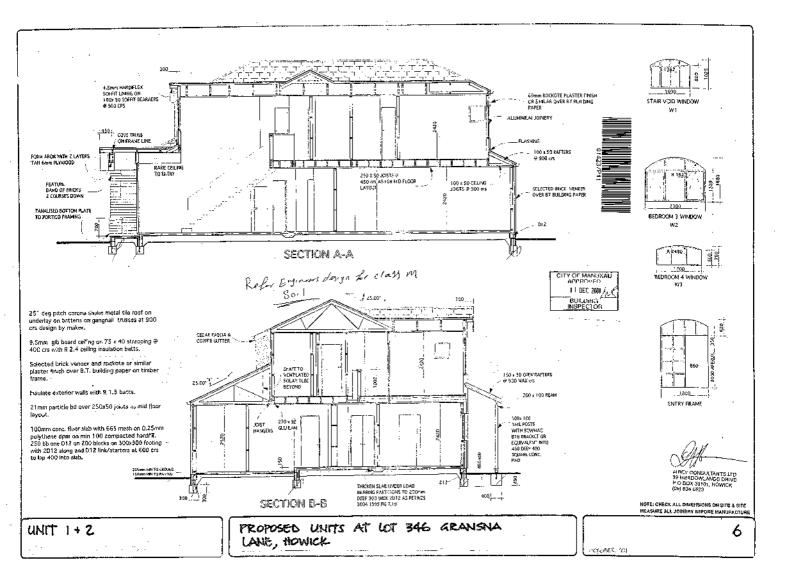
PROPOSED UNITS AT LOT 126 WANDO LANE. HOWICK











INTER OFFICE MEMO

FROM:

Manager Compliance

SP 6326 A.

TO:

Manager Building Consent

DATE

15/06/00

ATTENTION LARGE RESIDENTIAL TEAM

RE:

Survey Plan for SP 6326A

Subdividers Name: Dannemora/Fulton Hogan, 474 East Tamaki Road, Otara

L.T.P No

201577

I attach a copy of survey plan(s) for SP 6326A

on which all conditions of scheme plan approval have been complied with and it will now be in order to issue building/drainage permits subject to your usual requirements.

LAND INFORMATION REGISTER

Withhold from Sale – Lots 102 and 103 DP 201577

As detailed in the letter from Fulton Hogan Auckland dated 3 March 2000, Lots 102 and 103 DP 201577 shall not be offered for sale until such time as Chapel Road is upgraded as required by the resource consent SP 6326A (works currently subject to a works bond – expiry 1/6/2001).

Deep Drainage Lines – Lots 3 – 6, 10, 16, 17, 27 and 130 – 132 DP 201577

The trench backfill over the deep stormwater lines traversing Lots 3 - 6, 10, 16, 17, 27 and 130 - 132 DP 201577 has been compacted to the required residential fill standard and is suitable for the construction of residential dwellings complying with NZS 3604.

Consent Notice Minimum Floor Levels - Lots 3 - 27, 97 - 103, 117 - 132, 148 and 149 DP 201577

Minimum floor level restrictions are required for buildings on Lots 3-27, 97-103, 117-132, 148 and 149 DP 201577 mitigate the effects of the 1% AEP flood. Levels are in terms of Lands and Survey Auckland Datum 1946 and are in accordance with Wood & Partners Consultants Ltd plan reference 3521/1 dated 19 April 2000 (copy attached). Levels may be varied. Any variation is to be in terms of specific engineering design and approved by the Council in terms of the parameters contained in the Council's District Plan. Levels are as follows:-

Lot "#" DP201577	Minimum Floor Level	Lot "#" DP201577	Minimum Floor Level
Lot 3	23.00m	Lot 98	25.75m
Lot 4	22.85m	Lot 99	23.89m
Lot 5	22.74m	Lot 102	26.35m
Lot 6	22.60m	Lot 103	26.35m
Lot 7	22.50m	Lot 117	22.79m
Lot 8	22.35m	Lot 118	22.95m
Lot 9	21.85m	Lot 119	23.11m

Lot "#"	Minimum	Lot "#"	Minimum
DP201577	Floor Level	DP201577	Floor Level
Lot 10	21.75m	Lot 120	23.27m
Lot 11	21.75m	Lot 121	23.47m
Lot 16	21.75m	Lot 122	23.58m
Lot 17	21.75m	Lot 124	23.63m
Lot 18	21.75m	Lot 125	23.63m
Lot 19	21.80m	Lot 126	23.35m
Lot 20	21.90m	Lot 127	23,20m
Lot 21	22.00m	Lot 128	23.03m
Lot 22	22.06m	Lot 129	22.83m
Lot 23	22.20m	Lot 130	22,71m
Lot 24	22.30m	Lot 131	22.60m
Lot 25	22.40m	Lot 132	22.48m
Lot 26	22.50m	Lot 148	24.18m
Lot 27	22.62m	Lot 149	24.03m
Lot 97	25.75m		

Consent Notice - Minimum Floor Levels - Lots 17, 18, 97, 98, 102 and 103 DP 201577

Minimum floor level restrictions are required for buildings on Lots 97, 98, 102 and 103 DP 201577 to mitigate the effects of the 1% AEP flood contained within the adjacent overland flowpath. Levels are in terms of Lands and Survey Auckland Datum 1946 and are in accordance with Wood & Partners Consultants Ltd overland flowpaths asbuilt plan sheets 1 and 2 referenced 3521/E1 dated 22 May 2000 (copies attached). Levels may be varied. Any variation is to be in terms of specific engineering design and approved by the Council in terms of the parameters contained in the Council's District Plan. Levels are as follows:-

Lot '#' DP 201577	Minimum Floor Level	Lot '#' DP 201577	Minimum Floor Level
Lot 17	21.75m	Lot 102	26.35m
Lot 18	21.75m	Lot 103	26.35m
Lot 97	25.75m		- " - " - " - " - " - " - " - " - " - "
Lot 98	25.75m		

Consent Notice - Restricted Access - Lots 1, 12 - 22, 104 - 107 and 109 DP 201577

No access shall be permitted from the following lots to the adjoining arterial roads.

Lots 1, 12 – 15 and 109 DP 201577

Lots 15 – 22 DP 201577

Lots 104 – 107 DP 201577

Smales Road

Ti Iriranga Drive

Chapel Road

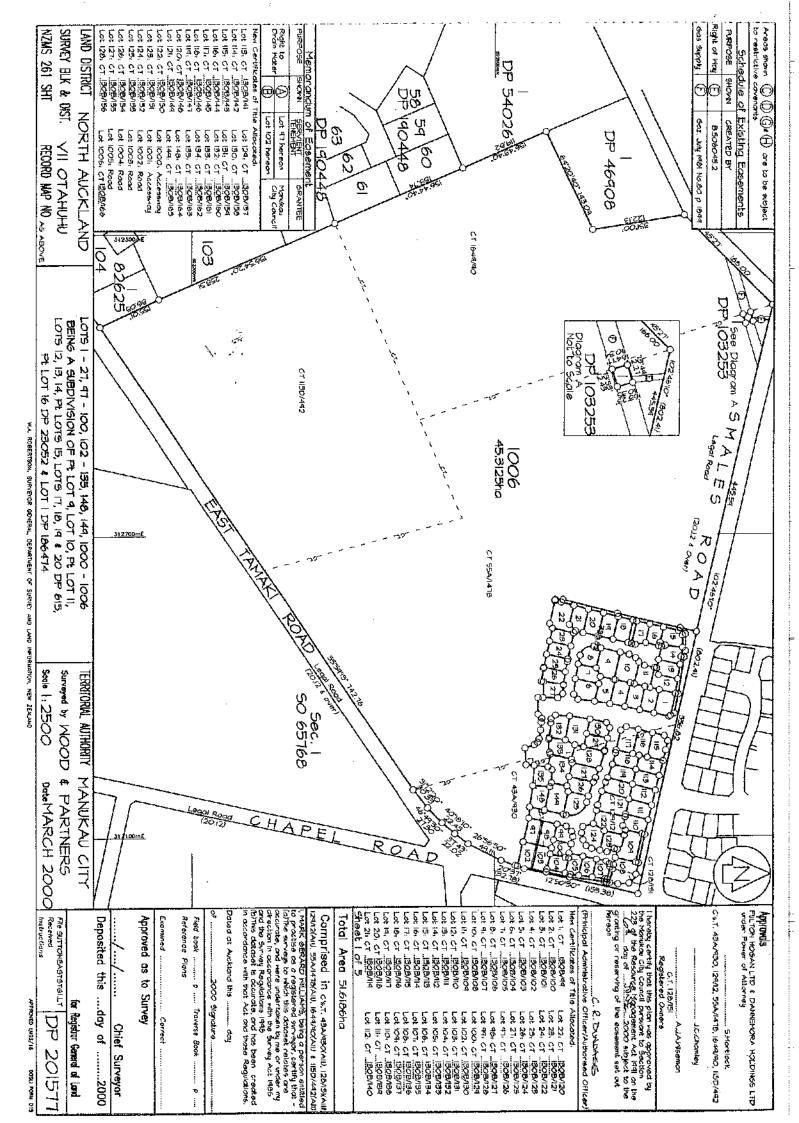
Foundations – Lots 1 - 27, 97 - 100, 102 - 135, 148 and 149

That conventional shallow and strip footings are to be founded at a minimum depth of 450mm below cleared platform levels (ie 450mm below the base of topsoil)

C R Duadas

Team Leader - Resource Compliance

RESOURCE CONSENTS & COMPLIANCE



SP6326

Environmental Services

18 April 2000

Wood and Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

DECISION ON AN APPLICATION FOR CHANGE TO A RESOURCE CONSENT PLAN OF SUBDIVISION

Applicant:

Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1

and 2)

Application:

Resource Consent for changes to an approved Subdivision (layout) being

the redesign of the Stage 1 layout of Lots 25 and 26 to create an

additional Lot 27.

Location:

Zone:

474 East Tamaki Road, East Tamaki

MCC Reference:

SP6326A (Proposal No. 16734)

Legal Description:

Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Future Development Stage 1 (Operative Manukau District Plan)

Main Residential (Proposed Manukau District Plan)

I wish to advise that resource consent for the above proposal has been considered under delegated authority and that consent has been granted pursuant to Section 127 of the Resource Management Act 1991, subject to the following conditions being complied with to the satisfaction of, and at no cost to the Council.

That all conditions and advice notes of the Resource Consent (SP6326 P15173) dated
 December 1999 shall remain in effect except as stated below:

STAGE 1 - Residential Lots 1-27, 97-100, 102-135, 148 and 149 (67 Residential lots)

Stage 1 Condition 2 is amended to read:

2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326A) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326A, Proposal 16734 Direct Dial: 262-8900, extn 5874 Enquiries to: Mike Pritchard Direct Facsimile: 262-5168

-6081/474

5173

- (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.

Stage 1 Condition 15 is amended to read.

15. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level
3	23.00
4	22.85
5	22.74
6	22,60
7	22.50
8	22.35
9 .	21.85
10	21.75
11	21.75
16	21.75
17	21.75
18	21.75
19	21.80
20	21.90
21	22.00
22	22.06
23	22.20
24	22.30
25	22.40
26	22.50
27	22.62
97	25.75
98	25.7 5
99	23.89
102	26.35
103	26.35

Lot	Minimum Floor Level
117	22.79
118	22.95
119	23.11
120	23.27
121	23.47
122	23.58
124	23.63
125	23.63
126	23.35
127	23.20
128	23.03
129	22.83
130	22.71
131	22.60
132	22.48
148	24.18
149	24.03

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

Stage 1 Condition 22 is amended to read:

22. A reserves contribution of \$508,551.13 (including GST) being 6% (plus GST) of 65/66 x the aggregate assessed current market value of Lots 1-27, 97-100, 102-107, 109-135, 148 and 149 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 1 of the subdivision, whichever is the sooner.

4

18 April 2000

REASONS FOR DECISION

The Council is satisfied that the amendment to Lots 25 and 26 will not create adverse effects and the District Plan provisions will continue to be complied with.

COSTS

The deposit of \$562.50 already paid will be deducted from the total costs.

RIGHT OF OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

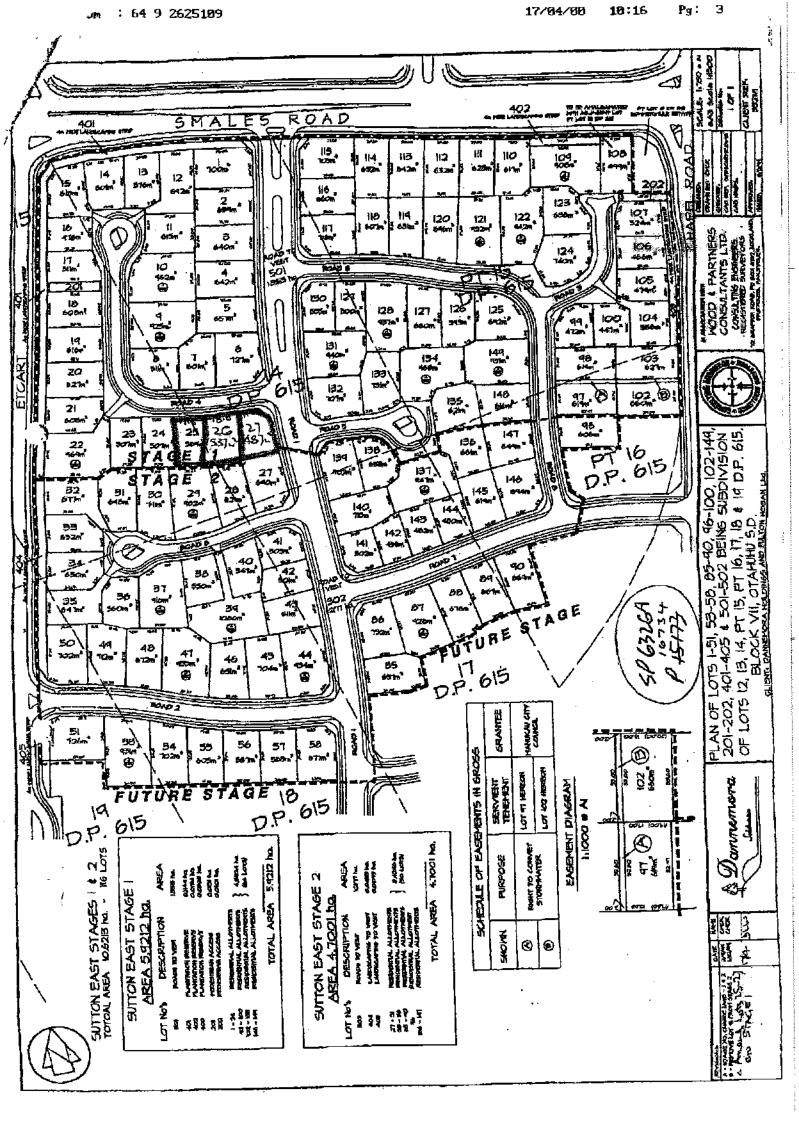
Yours faithfully

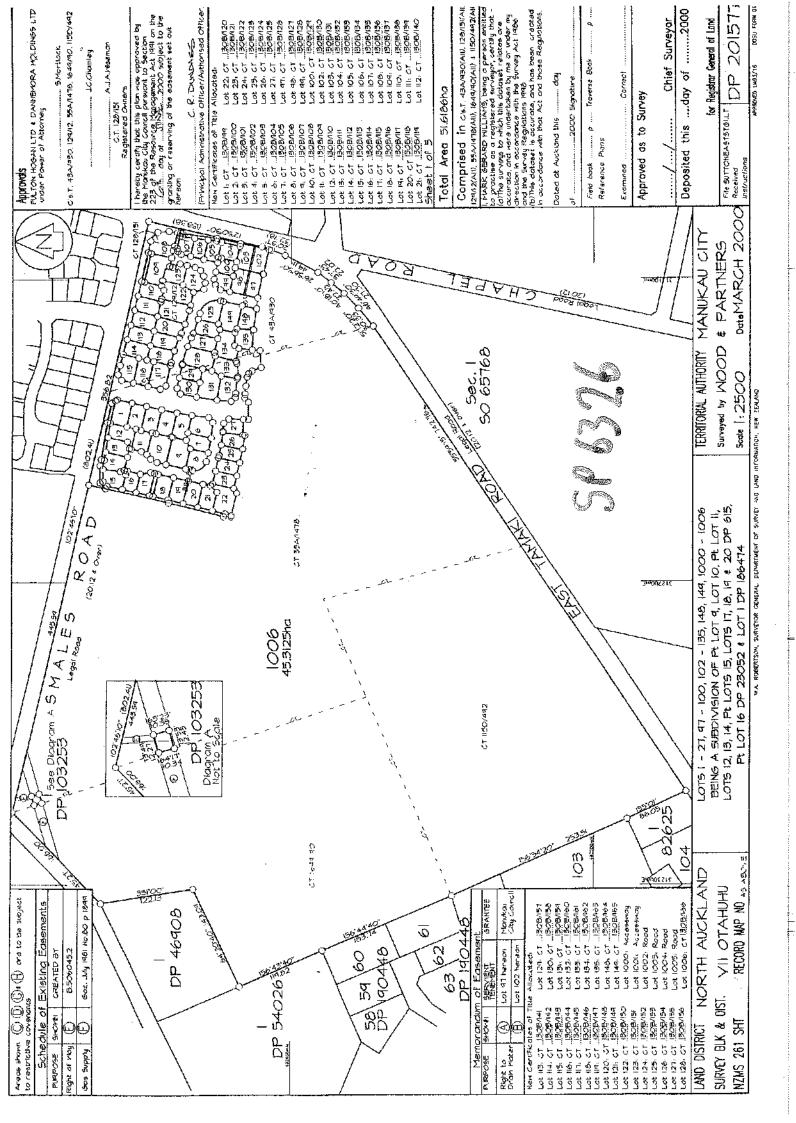
Robert Chiena

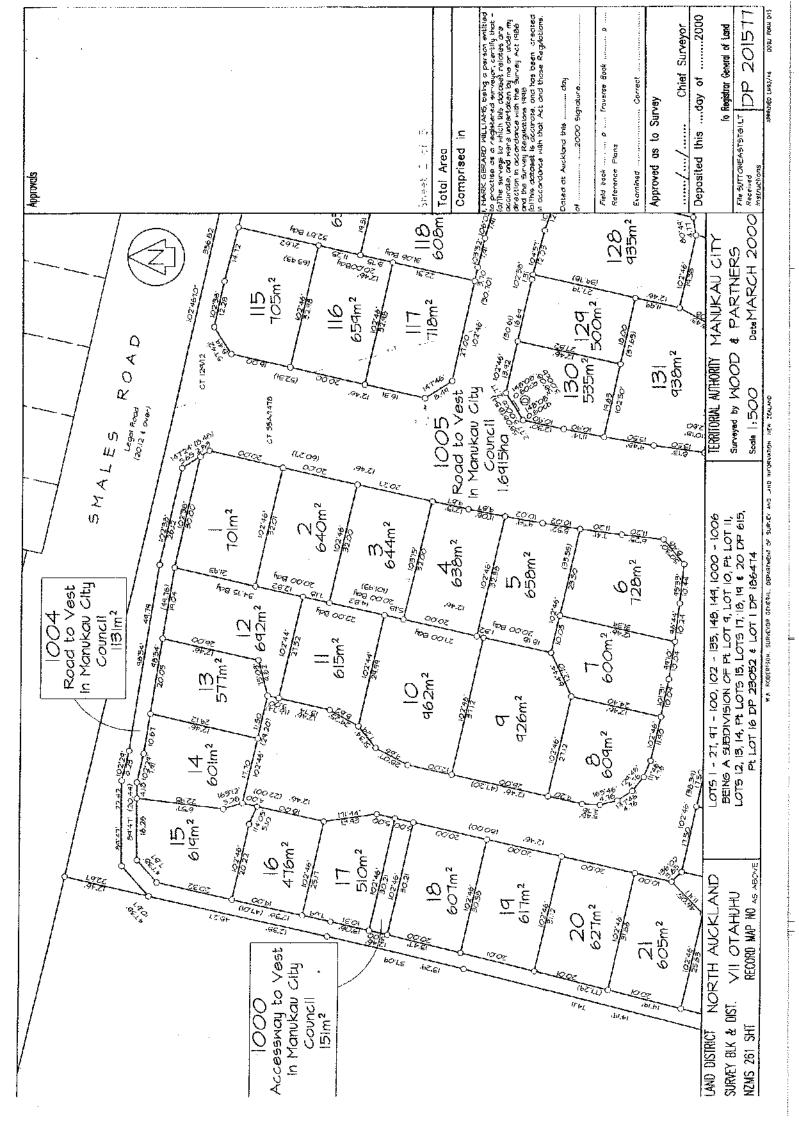
Leader - Resource Consents

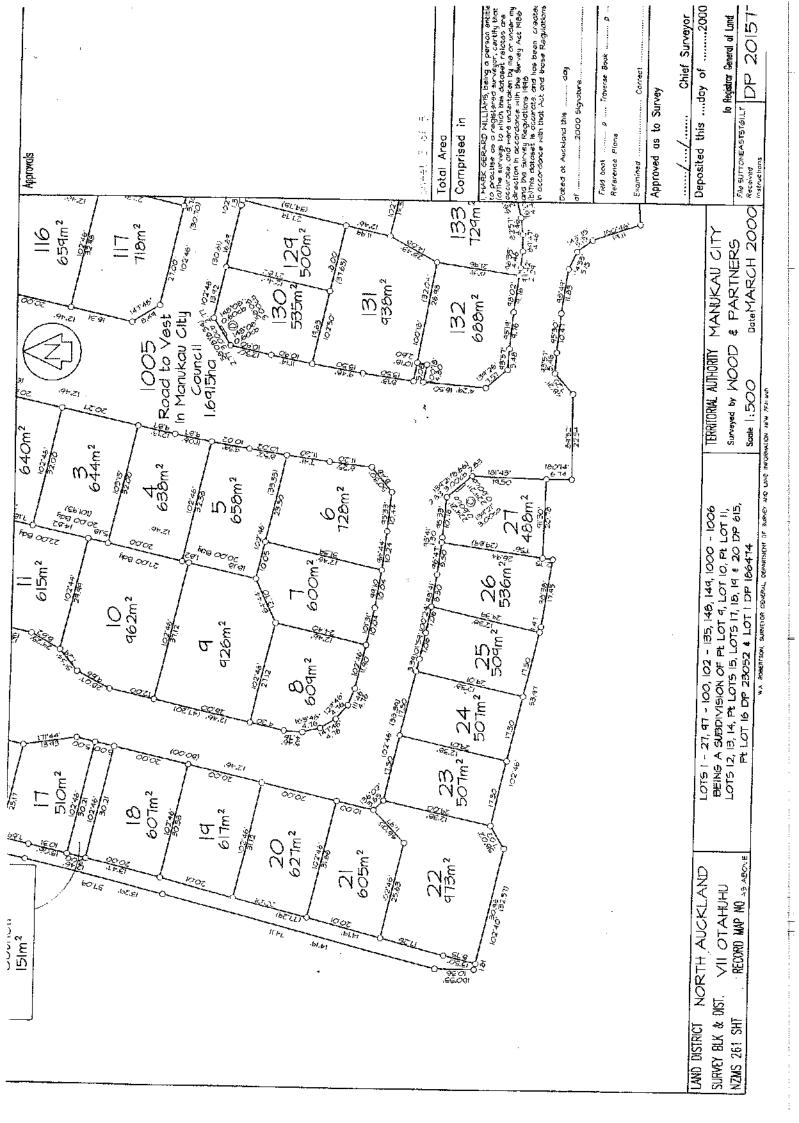
RESOURCE CONSENTS & COMPLIANCE UNIT

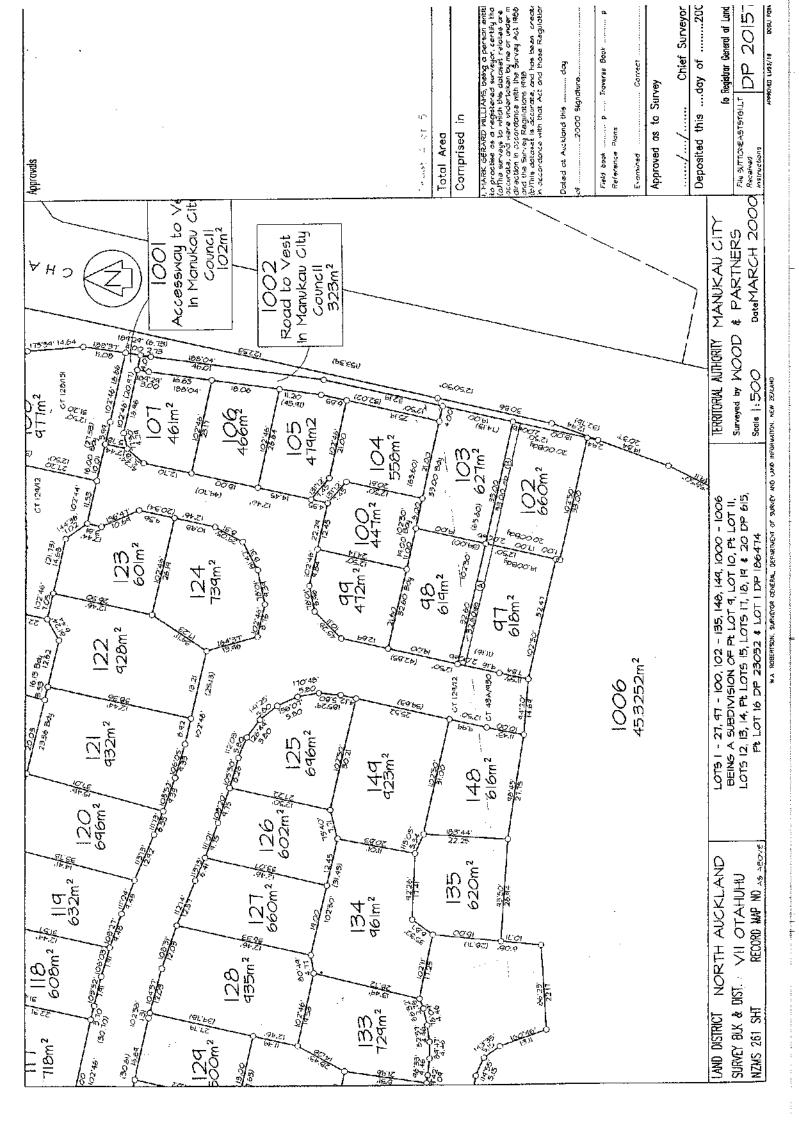
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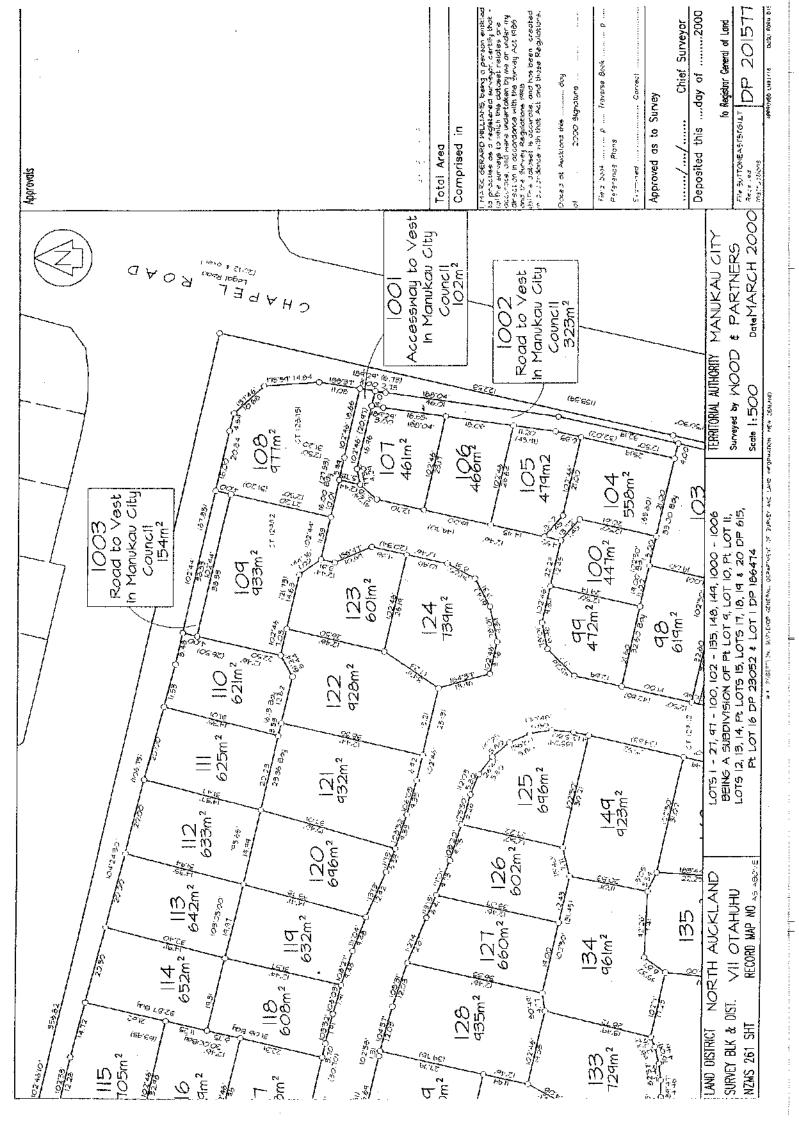












HARRISON GRIERSON

Facsimile Transmission

ToManukau City Council	
Attn Colin Sinclair	Fax No262 5163
Copies to	
From _ Phil Williams	Date8 June 2000
No. of pages (including this coper sheet) 3	Project No. 08.09261.5
Re Dannemora - Stormwater Trenches	

Confidentially: The information contained in this facsimile message (and any accompanying documents) may be legalty privileged and confidential. The information is intended recipient you are notified that any information is intended recipient you are notified that any use, disclosure, copying or distribution of the information is probibled if you been received this message in error please notify as immediately by calling collect to the person and number as sooun and destroy the original massage. Fourly you.

Colin

As discussed yesterday, please find attached amended section 7.0 and amended first page of Statement of Professional opinion of our geotechnical completion report No. 08.09261.5A dated April 2000.

Please let me know if there is anything else you require.

Regards

Phil

H:/1/09261/sutton phase 5/w/fax-001-pww-had.doc

- 1)

My William -

HARRISON GRIERSON CONSULTANTS LIMITED

Document Control Record

Client

Dannemora Holdings and Fulton Hogan Ltd

Project

Dannemora Subdivision – Stage 1

Sutton Block, Manukau

Project No.

08.09261.5A

Document

Geotechnical Completion Report

ISSUE AND REVISION RECORD

Status/Revision No.

1

Set No.

/06

Date of Issue

April 2000

Originator

B P Miln

Engineering Technician

Checked

C K-Oldham

Geotechnical Manager

Approved

P W M/Williams

Registered Engineer

Office of Origin

Parnell

Telephone

(09) 309 0346

Facsimile

(09) 307 3552

DANNEMORA HOLDINGS AND FULTON HOGAN LIMITED

Dannemora Subdivision - Stage 1

Sutton Block, Manukau

Geotechnical Completion Report

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April 2000 Reference 08.09261.5A

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1.0 INTRODUCTION

This report presents the results of general earthworks undertaken by Kerry Dines Ltd during the 1998/99 and 1999/00 earthworks construction seasons at Dannemora Subdivision, Stage 1 of Sutton Block. Earthworks carried out on Stage 1 were concurrent with adjoining stages, which will be reported on separately.

Compaction control test locations, underfill drainage locations and extent of certified fill placed by Kerry Dines Ltd are detailed on drawing 09261-GE17.

This report covers Stage 1 - Sutton Block, being residential lots 1 to 27, 97 to 100, 102 to 135, 148 and 149.

2.0 PREVIOUS REPORTS

A geotechnical investigation of the Sayes Block prior to earthworks was undertaken and is detailed in FEL report 7410, dated 3rd September 1997. In the FEL report settlement was indicated as presenting a problem.

3.0 CONSTRUCTION EVENTS

Earthworks during the 1997/98, 1998/99 and 1999/00 construction seasons was undertaken by Kerry Dines Limited.

Construction supervision was carried out on an as required basis. In preparing the development area, all topsoil was stripped to stockpile. Unsuitable material excavated was also stockpiled on site and some, where suitable, was used as topsoil.

Earthworks equipment used on the site included the following (at various times):

2 x D8 towed Wedgefoot roller

5 x D8 towed Scoop

1 x Tracked Hydraulic Excavators

1 x CAT 15 Compactor

2 x Wabco 222 Elevator scrapers

4.0 EARTHFILL

The ground surface within the fill areas was excavated to remove all soft materials prior to filling. All soft material was removed leaving a sound surface. Subsoil drains were installed to pick up seepages in the gully floor.

Engineered fill placed on Sutton Block Stage 1 covers all or part of lots 1 to 27, 97 to 100, 102 to 135, 148 and 149.

Fill up to 4m deep was placed on Stage 1 at the site. Settlement within the engineered fill should be within acceptable limits. Density testing was carried out at the locations shown on the attached drawing 09261-GE17.

The field and laboratory earthworks compaction control and soil data presented in this report were obtained and produced on our behalf by **geolab**, air soil and water laboratory services,

which is a division of Harrison Grierson Consultants Limited. The Engineer consulted with laboratory staff regarding the timing and positioning of the compaction tests and re-tests where considered necessary. Where necessary the Engineer issued instructions to the contractor regarding the removal of unsatisfactory compacted material and/or further compactive or drying effort as required and as indicated by the test results.

Compaction tests were located and the positions are plotted on the accompanying drawing. Compaction control test results are tabulated in Appendix 1. Tests T1 to T47, T49, T51 to T60, T62 to T79, T81, T82, T87, T88, T92, T121 to T123, T126, T136, T138, T140, T141, T145, T146, T166, T167, T183, T184 to T186, T194 to T196, T201 to T203, T220, T221, T240 and T243 were undertaken on fill forming part of Stage 1 - Sutton Block.

Earthfill was placed in accordance with the requirements of NZS 4431:1989. "Code of Practice for Earthfills for Residential Development" and NZS 4404:1981 "Code of Practice for Urban Land Subdivision".

The specification used for the placing of fill materials is appended to this report as Appendix 2.

During the 1998/99 and 1999/00 construction seasons, approximately 125,000m³ of controlled compacted fill was placed on Sutton Block. All materials used for bulk earthfilling originated on the site. Compaction tests were carried out on the fill as it was placed.

Compaction control of earth fill placed on Stage 1 was carried out concurrent with adjacent Stages.

Of the 107 compaction tests carried out T23, T29, T30, T32, T42, T43, T45, T47, T51, T53 to T55, T58, T59, T62, T63, T67, T72, T81, T92, T121, T122, T138, T166, T195 and T196 all failed to meet the fill specification criteria. The failed area was reworked and retested as tabulated in Appendix 1.

In all cases, acceptance or rejection was at the discretion of the Engineer, after consideration of the results, type of soil being placed and effort given to compaction by the earthworks contractor.

NZS 4431:1989 requires compaction tests to be carried out in areas likely to yield the lowest values of in-situ dry density. Test positions were therefore selected visually. Failed tests generally require the whole area recently worked to be reworked. Retest locations are also selected visually for the likely lowest density value and due to the scale of the work these places will not coincide with the earlier failed test locations.

A small amount of organic material, roots etc., may have inevitably been included in the fill material, due to being picked up and deposited from the machine wheels or tracks. We believe however, that this material would be widely dispersed and would not have a detrimental effect on the quality of the fill material. The gully was excavated to remove all organic and soft materials prior to filling. In general, organic material was no more extensive than would normally be expected. All soft material was removed leaving a sound surface for the support of underfill drainage media and perforated pipes.

On the basis of the test results and our observations of the construction procedures, we conclude that the constructed earthfills as reported herein are acceptable and have been placed in accordance with the requirements of the New Zealand Standards mentioned

above. We also conclude that they were placed in accordance with the compaction criteria set out in the specification.

5.0 GUT AREAS AND NATURAL GROUND

Part of residential lots 105 to 108 are in a cut area. It is inferred that because only 0.3m of cut has been exposed the soils will have a safe bearing pressure of 100kPa, as defined in Appendix C of NZ\$ 3604:1990

6.0 SETTLEMENT

In the geotechnical investigation report by FEL, settlement was identified as a potential problem and settlement monitoring was recommended. To action this recommendation, settlement plates were installed and monitored on a monthly basis. Monitoring results are presented on drawing 09261-GE18. No ongoing settlement of engineering significance was recorded.

It is therefore our opinion that for proposed buildings located at the site, settlement should not present a problem for buildings constructed in accordance with NZS 3604:1990, founded on shallow pads and strip footings, provided that the recommendations made in this report are adopted.

7.0 SERVICE TRENCHES

Deep trenches were excavated for large stormwater lines in lots 3 to 6, 10, 16, 17, 27, 130 to 132. Backfilling was monitored and tested by hand augers and shear varies to a Fill Specification of a minimum undrained shear strength of 80kPa. Any material that did not achieve this criteria was reworked and retested to meet the Fill Specification. The Fill Specification was designed to prevent excessive settlement of trench backfill and to provide a buildable area. The large stormwater lines that were backfilled with engineered fill along with hand augers are located as shown on drawing No. 09261-GE19. Borelogs are presented in Appendix 1 of this report. The backfill for these lines is suitable for building on, for buildings complying with NZS3604.

Service trenches (except for the large stormwater lines as discussed above) that have been excavated in the original ground have not been backfilled to the standard used for engineered fill. Backfill in these trenches was not specifically tested, but all will have been traversed by heavy plant in dressing off the platforms to final tevels and spreading topsoil.

All services backfilled with non-engineered fill are located close to and parallel with boundaries and will probably not be built over.

8.0 SLOPE STABILITY ISSUES

There were no significant slope stability issues on Sutton Block.

9.0 EXISTING FILL

above. We also conclude that they were placed in accordance with the compaction criteria set out in the specification.

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Part of residential lots 105 to 108 are in a cut area. It is inferred that because only 0.3m of cut has been exposed the soils will have a safe bearing pressure of 100kPa, as defined in Appendix C of NZS 3604:1990

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7.0 SERVICE TRENCHES

Deep trenches were excavated for large stormwater lines in lots 3 to 6, 10, 16, 17, 27, 130 to 132. Backfilling was monitored and tested by hand augers and shear vanes to a Fill Specification of a minimum undrained shear strength of 80kPa. Any material that did not achieve this criteria was reworked and retested to meet the Fill Specification. The Fill Specification was designed to prevent excessive settlement of trench backfill. The large stormwater lines that were backfilled with engineered fill along with hand augers are located as shown on drawing No. 09261-GE19. Borelogs are presented in Appendix 1 of this report. Building within 45° of the invert centreline of these pipes will be subject to specific design as per Manukau City Council requirements.

Service trenches (except for the large stormwater lines as discussed above) that have been excavated in the original ground have not been backfilled to the standard used for engineered fill. Backfill in these trenches was not specifically tested, but all will have been traversed by heavy plant in dressing off the platforms to final levels and spreading topsoil.

All services backfilled with non-engineered fill are located close to and parallel with boundaries and will probably not be built over.

8.0 SLOPE STABILITY ISSUES

There were no significant slope stability issues on Sutton Block.

9.0 EXISTING FILL

Non engineered fill was not identified in the Stage 1 area during the investigation, or encountered during earthworks. The Stage 1 area was stripped and earthworked. All unsuitable material, inclusive of any non-engineered fill if present, was removed during stripping operations.

10.0 CONCLUSIONS

As a result of our investigations, inspections, testing and evaluations as detailed in this report, it is our professional opinion that the cut and natural ground areas within Sutton Block is suitable for the construction of residential dwellings constructed in accordance with NZS 3604:1990.

It is our opinion that the filled areas of the subdivision, are suitable for the construction of residential dwellings constructed in accordance with NZS 3604:1990. Fill depths on this stage range up to 4m. Given the standard of compaction achieved, it is considered that any settlement should be within acceptable limits.

This certification does not remove the necessity for the normal inspection and design of foundations as would be made under normal circumstances in accordance with the relevant New Zealand Codes.

The following recommendations are made:

- If building foundation pressures exceed the recommended design bearing pressures, the foundation system should be re-appraised relative to the specific subsurface conditions at the particular building location.
- 2 Conventional shallow pad and strip footings (if adopted), for all proposed buildings should be founded at a minimum depth of 450mm below cleared platform levels (i.e. 450mm below the base of topsoil).

The professional opinion expressed in this report is furnished to Manukau City Council and Dannemora Holdings and Fulton Hogan Ltd for their purposes only, on the express conditions that it is not to be relied upon by any other person and on the understanding that where heavy or unusual constructions are proposed, then the building sites of concern will be specifically appraised by an engineer competent in geotechnical engineering.

This opinion should be read in conjunction with the remainder of this report.

Harrison Grierson Consultants Limited

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APPENDIX 1 COMPACTION CONTROL TEST RESULTS AND EXPLORATORY BOREHOLES

INSITU DENSITY TEST RESULTS

SITE: SUTTON BLOCK, EAST TAMAKI,

JOB No:

08.09261.4

NO	DATE	R.L.	SOIL DESCRIPTION	盘	M.C.	Pd	S,G.	A.V.	SHEAR STRENGTH	RETEST	COMMENTS
Ξ	12/2/98		Silt, slightly clayey, light brown, παίst	1782 1783	28.2 28.2	1390	2.68 2.68	9.0	V192+x4,158,132		
12	13/2/98		Silt, slightly clayey, light brown, occasional light grey, moist	1843 1844	27.7	1 443 1443	2.68	6.1	V192+x6		
T3			Silt, slightly clayey, light brown, occasional light grey, moist	1867 1868	29.7	1439 1440	2.68	3.5	V192+x4,178,169		
14			Sitt, slightly clayey, light brown, occasional light grey, moist	1912 1911	30.2 30.2	1468 1467	2.68 2.68	0.8 0.0	V192+x6		
15	16/2/98		Silt, slightly clayey, light brown	1993 1994	22.7	1624 1625	2.68	2.5	V,191+x2,175,155 135		
16			Silt, slightly clayey, light brown	2034 2035	25.1	1626 1626	2.68	<u>ئ ئ</u> ئ	V,191+x3,182,175		
17			Silt, slightly dayey, light brown	1881 1882	31.8 31.8	1427 1428	2.68	1,4	V,191+x6		
13	17/2/98	. –	Silt, slightly clayey, light brown	1896 1897	26.7 26.7	1496 1497	2.68	4.2	V,200+x5,141		
13	•		Silt, slightly clayey, light brown	1767	41.5	1248 1249	2.68	1.6	V,200+x4,144 137		
T10			Silt, slightly clayey, light brown	1875 1876	22.4 22.4	1532 1533	2.68	8.5 3.5	V,200+x6		
Ξ			Silt, slightly clayey, light brown	1883 1884	25.9 25.9	1496	2.68	5,5 5.4	V,200+x6		
T12	18/2/98		Sitt, slightly clayey, light grey and fight brown, moist-dry	1808 1809	28.4 28.4	1408	2.68	7.5	V,174+x6		
Pb M.C. Pd A.V.	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Volds (%)	ly (kg/m3 ontent (% r (kg/m3) %)	(9		S.S. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blov V - shear strength by va Specific Gravity Reduced Level (metres)	- blows by vane etres)	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	netrometer, 1377:1975)	

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INSITU DENSITY TEST RESULTS

SITE: SUTTON BLOCK, EAST TAMAKI.

JOB No:

08.09261.4

											pacted		
COMMENTS											Disced to dry and recompacted		, in the state of
RETEST No											T25		anetrometer, 1377:1975)
SHEAR STRENGTH	V,174+x3,162,143 123	V,174+x6	V,200+x4,134 129	V,200+x3,172 151,139	V,200+x2,169,165 158;155	V,200+x3,169,134 129	V,200+x4,173,142	V,200+x2,176,165 144,141	V,207+x2,150,137 135	V,207+x3,140,135	У,207+х4,70,56	V,207+x6	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS; 1377;1975) Specific Gravity Reduced Level (metres)
A.V.	1.7	4.2	-1.8	0.5	0.5	0.0 4.0	2.0 1.9	φ φ	0.6	5.7	0.8 8.8	3.8 8.8	by vane
S.G.	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	rength (P strength Gravity Level (m
<u> </u>	1325 1323	1482 1483	1141	1438	1525 1526	1289 1289	1382 1383	1389 1388	1365	1176	1426	1378 1377	Shear Strength (P - blov V - shear strength by va Specific Gravity Reduced Level (metres)
ပ <u>ှ</u> ဗွ	36.9 36.9	27.3	5,13 6,13	31.9 31.9	28.6 28.6	40.6	33.6	34.8	35.5	52.1	30.1	32.5	S S.G. R.L.
g.	1813 1811	1887	1734	1897 1895	1961 1962	1812	1847 1848	1872 1871	1850 1852	1788 1789	1 855 1856	1826 1825	
SOIL DESCRIPTION	Silt, slightly dayey, light grey and light brown, moist-dry	Silt, slightly clayey, light grey and light brown, moist-dry	Sitt, slightly clayey, light brown	Siit, slightly clayey, light brown	Silt, slightly clayey, light brown, moist	SIII, slightly dayey, light brown, moist	Silt, slightly clayey, light brown, molst	Silt, slightly dayey, light brown, moist	Silt, slightly clayey, light grey and light brown, moist	Sift, slightly clayey, light grey and light brown, moist	Silt, slightly clayey, light grey and light brown, moist	Sitt, slightly clayey, light brown, moist	
۳. ا												·	y (kg/m3) ontent (%) r (kg/m3) 6)
DATE			20/2/98		2/3/98	3/3/98			4/3/98			5/3/98	Bulk Density (kg/m3) Moisture Content (%,) Dry Density (kg/m3) Air Voids (%)
NO NO	T13	T14	T15	116	117	118	119	120	T2.1	122	123	T24	Pb M.C. Pd A.V.

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE

JOB No:

08.09261.4

	1												1
COMMENTS					Disced to dry and recompacted	Disced to dry and recompacted		Disced to dry and recompacted					
RETEST	T23				Т34	T37	129	T39					anefrometer, 1377:1975)
STRENGTH	V,207+x2,185,177 165,121	V,174+x2,156,138	V,174+,171,166 132,125,120	V,174+x3,158,135 123	V,174+x4,65,52	V,207+x4,115,84	V,207+x2,189,175 158,153	V,207+x2,171,101 91,70	V,207+x4,135,130	V,207+x3,175,171 161	V,207+x4,192,189	V,207+x2,189,178 171,161	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)
A.V.	0.6	0.9	3.1	2.6	1.0	5.9	-2.6	6.3 6.2	2.0	3.6	2.3	3.1	- blows by vane letres)
S.G.	2.68 2.68	2.68 2.68	2.68	2.68	2.68	2.68	2.68	2.68 2.68	2.68	2.68	2.68	2.68	Shear Strength (P - blov V - shear strength by va Specific Gravity Reduced Level (metres)
P.	1387 1389	1206 1206	1405 1405	1475	1439 1439	1376	1325 1326	1295 1292	1407 1407	1438	136 7 1367	1405 1405	Shear Strength V - shear streng Specific Gravity Reduced Level
M.C.	35.1 35.1	44.9	31.7	28.7	31.5	31.1	40.1	40.2 40.2	32.3 32.3	29.7	34.2 34.2	31.7	S S.G. R.L.
g.	1 874 1 87 6	1747	1850 1850	1898 1899	1892 1892	1804 1805	1857 1858	1815 1812	1862 1862	1865 1866	1834 1835	1850 1851	
SOIL DESCRIPTION	Silt, slightly clayey, light brown, moist	Sllt, slightly clayey, light brown and light grey	Sit, slightly clayey, fight brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, fight brown and light grey	Stit, slightly clayey, light brown and light grey, moist	Silt, slightly dayey, light brown and light grey, molst	Silt, slightly dayey, light brown and light grey, moist	Silt, slightly clayey, light brown and light grey, moist	Silt, slightly dayey, light brown and light grey, moist	Sift, slightly clayey, light brown and light grey, moist	Siit, slightly dayey, light brown	
7			·· -										ly (kg/m3) ontent (% / (kg/m3) %)
UAIE	5/3/98	6/3/98				96/2/6						10/3/98	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)
NO	T25	T26	T27	128	129	130	म्ड	T32	133	T34	T35	136	Pb M.C. Pd A.V.

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE:

JOB No:

08.09261.25

TEST NO	DATE	R.L.	SOIL DESCRIPTION	Pb	M.C.	Pd	5.6.	A.V.	SHEAR STRENGTH	RETEST No	COMMENTS
T37	10/3/98		Silt, slightly clayey, light brown	1833 1835	34.0 34.0	1368 1370	2.68 2.68	2.5	V,207+x2,150,147 140,133	T30	
T38			Silt, slightly clayey, light brown	1808 1815	42.1	1272	2.68	<u>- 4</u>	V,171,168,165 143,136,133		
T39			Silt, slightly clayey, light brown	1808 1805	33.4 33.4	1355 1353	2.68	4 4 5 6	V,207+x4,189,182	T32	
140			Sitt, slightly clayey, light brown	1846 1846	32.5 32.5	1393 1393	2.68	2.7	V,207+x3,153,147 129		
T 41	20/3/98		Silt, slightly clayey, light brown	1906 1905	33.7 33.7	1426 1425	2.68	-1.2 -1.2	V,190,183,182 176,155,153		
142			Silt, slightly clayey, light brown	1785 1786	40.0 40.0	1275 1276	2.68	1.4	V,169,127,84 77,63,56	T45,48,50	Disced to dry and recompacted
T43	23/3/98		Silt, orange brown, light grey mottles	1862 1863	36.6 36.6	1363	2.68	-0.7 -0.8	V,200+x3,99,77	T51,50	Disced to dry and recompacted
T44			Silt, orange brown, light grey mottles	1852 1854	31.5 31.5	1408 1410	2.68	3.1	V,200+x5,158		
T45			Silt, orange brown, light grey mottles	1861 1865	32.8 32.8	1401 1404	2.68	2,5 6,1	V,200+,186,177 132,106,83	T42,48,50	Disced to dry and recompacted
T46	24/3/98		Sitt, slightly clayey and clayey, light brown	1884 1885	28.7	1464 1465	2.68	3.4 4.6	V,200+x4,162 155		· .
T47	_		Silt, slightly clayey and clayey, light brown	1904 1900	38.9 38.9	1371	2.68	4.4	V,141,125,115 113,111,100	T67,72	Disced to dry and recompacted
T48			Silt, stightly clayey and clayey, light brown	1875 1875	35.9 35.9	1380 1380	2.68	-1.0 -1.0	V,155,115,106 94,70,63	T42,45,50	Disced to dry and recompacted
P. M.C. A.V.	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)	lly (kg/m3 Sontent (% by (kg/m3) (%)	(9)		s S.G. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)	- blows t by vane refres)	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	snetrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE

JOB No:

08.09261.25

TEST	DATE	R.L.	SOIL DESCRIPTION	g	M.C.	Pd	S.G.	A.V.	SHEAR STRENGTH	RETEST No	COMMENTS
149	25/3/98		Silt, slightly clayey, light brown, molst	1873 1874	29.2 29.2	1450 1451	2.68	3.6	V,174+x6		
150			Sift, slightly clayey, light brown, and light grey, motst	1794 1795	37.7 37.7	1303 1303	2.68	2.3	V,174+x2,136,135 123,121	T42,45,48	
151			Sift, slightly clayey, light brown, and light grey, moist	1663 1662	39.4 39.4	1193	2.68 2.68	8 8 5 5	V,162,149,121,87 71,52	T43,57	Disced to dry and recompacted
T52	26/3/98		Silt, slightly clayey, light brown, moist-dry	1878 1876	46.0 46.0	1286 1285	2.68	-7.2 -7.1	V,174+x6		
T53			Silt, slightly clayey, light grey, moist	1777 1779	33.8 33.8	1328 1330	2.68	5.5	V,149,143,136 110,91,84	T55,61,71	Disced to dry and recompacted
15 4			Silt, slightly clayey, light brown and light grey, moist	1847 1848	29.4 29.4	1427 1428	2.68	4.7 7.4	V,165,158,156 123,84,65	160	Disced to dry and recompacted
155			Stit, stightly clayey, light brown and light grey, moist	1845 1843	26.6 26.6	1458 1456	2,68	6.9	V,174+x3,91,71 65	153,61,71	Disced to dry and recompacted
T56		_	Silt, slightly clayey, light brown and light grey, moist	1873 1870	28.8 28.8	1454 1452	2.68	3.9	V,174+x3,149,145 141		
<i>1</i> 91			Silt, slightly clayey, light brown and light grey, moist	1823 1823	31.6 31.6	1385 1385	2.68	4.5	V,174+x3,160,147 144	743,51	
158			Stit, stightly clayey, light brown and light grey, moist	1835 1836	38.6 38.6	1324 1324	2.68	.0.5 6.6	V,158,156,145 113,84,80	T62,66	Disced to dry and recompacted
T59	27/3/98		Silt, slightly clayey, light brown and light grey, moist	1798 1799	35.7 35.7	1325 1325	2.68	3.2	V,126,123,106 97,65,58	T75	Disced to dry and recompacted
т60			Silt, silghtly clayey, light brown and light grey, moist	1739 1740	32.9 32.9	1308 1309	2.68	8.1	V,174,169,166 152,140,121	T54	
Pb M.C. Pd A.V.	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)	ity (kg/m3 Content (% ly (kg/m3) %)	(9		S S.G. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)	- blows by vane letres)	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	netrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

08.09261.25

JOB No:

EAST TAMAKE	
BLOCK, EA	
SUTTON	
SITE:	

TEST	DATE	R.L.	⊓ios	Pb	M.C.	ם	S.G.	Α.۷.	SHEAR	RETEST	COMMENTS
O _N	-		DESCRIPTION						STRENGTH	2	
T61	27/3/98		Sitt, slightly clayey, light brown and light grey, moist	1787	41.4	1264 1262	2.68	0.5	V,113x2,108,103 58,42	T53,55,71	Disced to dry and recompacted
162			Silt, slightly clayey, light brown and light grey, moist	1775	41.7	1253 1252	2.68	1.0	V,147,145,143 128,127,91	758,66	Disceed to dry and recompacted
163			Silt, slightly clayey, light brown and light grey, moist	1785 1786	32.7	1345 1346	2.68	ت. 3. 85	V,174+x3,97,91	T68	Disced to dry and recompacted
<u>7</u>			Silt, slightly clayey, light brown and light grey, moist	179 5 1800	28.9 28.9	1392 1396	2.68	7.8	V,158,156,149 141,126,123		
765	1/4/98		Silt, slightly clayey, light brown	1797 1802	29.8 29.8	1384 1388	2.68	7,1 6.8	V,174+x4,123 121		
T66			Sitt, slightly clayey, light brown	1865 1865	29.0	1446 1446	2.68	4.4 1.1	V,158,156,149 138,136,126	T58,62	
T67	6/4/98		Silt, slightly dayey, light brown, moist	1869 1872	31.5	1421	2.68	2.2	V,169,162,149 136,80,71	T47,72	Disced to dry and recompacted
T68			Silt, slightly dayey, light brown, moist	1851 1855	35.5 35.5	1366 1369	2.68 2.68	0.5	V,174+x4,136,121	£91	
T69	7/4/98		Silt, slightly clayey, light brown and light grey, moist	1810 1812	33.9 33.9	1352 1353	2.68	3.7 3.6	V,174+x3,158 149,143		
T70			Silt, slightly clayey, light grey, moist	1846 1845	35.5 35.5	1363 1362	2.68	0.8 0.9	V,174+x4,169 156		
171			Siit, slightly clayey, light grey, moist	1792 1790	38.5 38.5	1294 1293	2.68	1.9 2.0	V,174,169,149 127,123,121	153,55,61	
172			Silt, slightly clayey, light brown and light grey, moist	1863 1865	35.9 35.9	1371 1373	2.68	-0.5 5.5	V,174+x3,156 152,143	T47,67	

S. Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975). S.G. Specific Gravity. Reduced Level (metres).

Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)

₽ Pd ... A. V. ...

INSITU DENSITY TEST RESULTS

08.09261.0

JOB No:

SUTTON BLOCK, EAST TAMAKI

SITE

Γ	· 1	<u> </u>								•								
COMMENTS	COMMENT																	
RETEST	N N					T59												
SHEAR	STRENGTH	V,174+x4,156,123		V,147+x2,171	156,132,123	V,174+x4,143	V,176+x6	V,176+x6	V.176+x6		V,176+x5,133	V,176+x5,163	V,176+x4,102,96	707 007	V,176+X4,139,131	V,195+x3,134	117,98	V,195+,178,160
A.V.		-1.0	4.0	2.6	5.6	3.6	5.7	1.1	3.8	3.3	2.1	3.2	7.5	ກຸ່ ວັ•	4. 4. U. 1.	-0.1	8,0-	-0.7
S.G.	i	2.68	2.68	2.68	2.68	2.68	2.68	2,68	2.68	2.68	2.68	2.68	2.68	2,00	2.68	2.68	2.68	2.68
Pa	l	1452	1380	1342	1342	1463 1462	1354	1297	1419	1426	1409	1422	1254	7971	1360	1372	1381	1427
M.C.		32.2	32.2	35.3	35.3	28.6 28.6	32.3	40.6	30.5	30.5	32.2 32.2	30.8	51.5	4 6	33.2	35.7	35.7	33.3
a		1920	1825	1816	1815	1881 1880	1792	1824	1851	1861	1862 1865	1859	1771	7071	181	1861	1874	1902
SOIL	DESCRIPTION	Silt, slightly clayey, light grey and	light brown, motst	Silt, slightly dayey, light grey and	light brown, moist	Silt, slightly dayey, light grey and light brown, moist	Silt, slightly dayey, light brown	Silt, slightly clayey, light brown	Silt, slightly dayey, light brown		Silt, slightly dayey and trace clay light brown and light grey	Siit, slightly dayey and trace clay light brown and light grey	Silt, slightly clayey and trace clay	Sit sinhiy dayay and trace play	light brown and light grey	Silt, slightly clayey, light brown	and light grey	Silt, slightly clayey, light brown and light grey
R.L.																		
DATE		8/4/98					9/11/98				10/11/98					12/11/98		
TEST	ON	T73		174		T75	T76	T77	178		179	T80	T84	TB2	1	T83		₹

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity
Reduced Level (metres) s.g. R.t.

S

Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)

Pb M.C. A.V.

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE

JOB No:

08.09261.5

													7
COMMENTS	Disced and ripped to dry and	Disced and ripped to dry and blond before secondarial	piena perore recombacing		Disced and ripped to dry and thend before reasonmedian	Disced and ripped to dry and blend before recommending	Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and belond before recompacting	Disced and ripped to dry and blend hefers recommending	Disced and ripped to dry and before recommending	Burgar		
RETEST No	T94,T99	T93,T98 T105	-	T81	T92,T119	T118	T97,T100	T89,T119	T86,T98 T105	T85,T99	T83,T84		netrometer, 1377:1975)
SHEAR STRENGTH	V,195+x3,140	V,195+x2,133	V,195+x6	V,195+x6	V,195+x4,76,42	V,195+x4,118,85	V,195+x4,90,74	V,104,101,95 88x3	V,195+x3,98 93.89	V,195+x3,99 93,83	V,194+x4,134	V,160,149,146 143,137,132	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)
A.V.	2.5	800	7.2 7.4	0.0 0.3	2.8	<u>6</u> 6	-0.2 -0.5	4 4 8 6	0.7	0, 0, 1, 3,	3.5	80 80 80 80	- blows by vane etres)
S.G.	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	ength (P strength bravity Level (m
<u>P</u>	1331	1316	1395	1364	1432 1434	1494 1482	1388 1392	1354 1360	1414 1416	1395	1367	1505 1508	Shear Strength (P - blov V - shear strength by va Specific Gravity Reduced Level (metres)
Č ¥.	36.0	38.0 38.0	30.3	36.2	30.5	28.8	34.9 9.4.9	33.1	32.9	34.5 34.5	33.3	23.5	S.S.G.
£	1810 1819	1817	1817	1857 1858	1869	1925 1910	1872 1878	1801	1879 1882	1875 1882	1822	1859	
SOIL	Silt, slightly dayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Stit, slightly dayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Stit, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Sitt, slightly clayey, light brown and tight grey	Silt, dayey and slightly dayey light grey and light brown	Silt, clayey and slightly clayey light grey and light brown	Silt, clayey and slightly clayey light grey and light brown	Silt, clayey and slightly clayey light grey and light brown	Silt, dayey and slightly dayey light grey and light brown	
۲. ایا													y (kg/m3) ontent (% ' (kg/m3) 6)
OAIE	12/11/98							16/11/98					Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Volds (%)
S S	185	186	187	T88	189	T90	F6.	792	193	T94	T95	961	Pb M.C. A.V.

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE:

JOB No:

08.09261.5

	SOIL	Pb	M.C.	Pd	S.G.	A.V.	SHEAR STRENGTH	RETEST No	COMMENTS
	Silt, clayey, light grey	1855 1861	29.9 29.9	1428 1432	2.68	4.0 3.7	V,195+x6	T136	Disced and ripped to dry and blend before recompacting
.=	Silt, dayey, light grey	1825	45.5 45.5	1254 1260	2.68	ა. 4. დ. ა.	V,195+x3,108 95,89	T138,T145	Disced and ripped to dry and blend before recompacting
7	Silt, clayey, light grey	1917 1918	30.1	1474 1474	2.68 2.68	0.7	V,195+x6		· .
:=	Silt, clayey, light grey	1880 1885	33.2 33.2	1412	2.68	0.5	V,195+x6		
	Silt, clayey, light grey	1812 1817	28.9 28.9	1406 1410	2.68	6.9	V,1954x6		
	Silt, clayey, light grey	1902 1900	32.7 32.7	1434 1432	2.68	6.0 6.2	V,195+x6		
	Silt, slightly clayey, light grey, light brown	1841 1839	31.5 31.5	1400 1398	2.68	3.6	V,195+x6		
=	Silt, sightly clayey, light grey, light brown	1833 1824	28.0	1432 1425	2.68	6.9	V,195+x6		
	Silt, slightly clayey, light grey, light brown	1861 1871	31.5	1415 1423	2.68	2.6	V,195+x6	·	
·~ =	Silt, slightly clayey, light grey, light brown	1810 1815	27.7	1417	2.68	7.8	V,195+x6		
	Siit, slightly clayey, light grey, light brown	1841 1841	33.3 33.3	1381 1381	2.68 2.68	2.5	V,180,158,152, 146,143,140	T114	
	Silt, slightly clayey, light grey, light brown	1904 1857	37.0 37.0	1390 1355	2.58 2.68	-3.3	V,1954x6		
			S S,G. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)	- blows by vane	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	enetrometer, : 1377:1975)	

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SiTE:

JOB No:

08.09261.5

								_			,		7
COMMENTS	Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and blend before recompacting	5			Large ripper void evident, disced and recompacted	-						7
RETEST No	T157,T161 T178	T151,T158 T162,T177		T121		T122,T145							metrometer, 1377:1975)
SHEAR STRENGTH	V,195+x2,143,117 99,76	V,195+x4,120,85	V,195+x6	V,195+x6	V,195+x6	V,195+x6	195+x2,185,170, 162,144	195+x5,172	178,171,159,146, 143,134,121	195+x5,176	195+x3,176,146, 137	174,168,156,149, 146,137	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)
A.V.	4.4	0 E	-2.7	3.6	4.4 3.6	6 .2	5.8 5.3	7.1	0.0	7.7	2 4 8 6	0.0	- blows by vane
9.8	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	ength (P strength sravity Level (m
P.	1363	1343	1372	1392	1441 1445	1367 1368	1386 1380	1453 1460	1376	1384 1385	1329	1387 1382	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)
ပ <u>ှဲ</u> Σ	32.8 32.8	34.3	37.5	37.2	29.0	36.0 36.0	39.0	26.6	35.4 35.4	33.7	39.2 39.2	\$ \$ 8 8	S.S.G.
- Д	1810 1811	1803	1887 1897	1910 1908	1858 1863	1859 1861	1927 1918	1840	1863 1864	1851	1849	1870 1863	
SOIL	Silt, slightly clayey, light brown, light grey	Silt, slightly clayey, light brown, light grey	Silt, slightly clayey, light brown, light grey	Slit, slightly clayey, light brown, light grey	Silt, slightly clayey, light brown, light grey	Sitt, slightly clayey, light brown, light grey	Sitt, slightly clayey, brown, some grey pockets	Silt, slightly clayey, light grey. brown pockets	Sitt, slightly clayey, brown, some grey pockets	Silt, slightly clayey, brown, some grey pockets	Sitt, slightly clayey, brown, some grey pockets	Silt, slightly clayey, brown, some grey pockets	
	<u> </u>	<u>છ ≅</u>	<u>_∞</u> <u>≅</u>	<u>ທ≌</u>	ഗ ജ്	೮≝	<u>0</u> 8	တ္ဆ	တေၾ	<u> </u>	တေၾ	ഗര്	(kg/m3) ntent (%) (kg/m3)
JAN E	20/11/98						23/11/98	·					Bulk Densily (kg/m3) Moislure Content (%) Dry Densily (kg/m3) Air Voids (%)
NO	T133	T134	T135	T136	T137	T 138	T139	T140	T141	T 142	T143	T144	Pb M.C. Pd A.V.

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE

JOB No:

08.09261.5

NO DATE	 	SOIL DESCRIPTION	2	Ğ.	ď	S.G.	A.V.	SHEAR STRENGTH	RETEST No	
T145 24/11/98	96	Silt, slightly clayey, brown pockets	1919 1916	32.7	1446	2.68	4. 4. 63. 42	V,195+x6		
T146		Silt, slightly dayey, brown pockets	1875 . 1872	9.43 9.43 6.63	1428 1425	2.68	2.0	V,1954x6		
7147		Silt, slightly clayey, brown pockets	1889 1889	35.6 35.6	1393 1393	2.68	-1.6 -1.6	V,195+x2,176,149 141,123		
T148		Silt, slightly clayey, brown pockets	1922 1923	29.6 29.6	1484 1484	2.68	9.0	V,195+,185,175 153,141,130		
T149 25/11/98	86	Silt, clayey, light grey, some light brown	1912	31.5 31.5	1455 1454	2.68	0.0	V,195+x5,149		
T150		Silt, clayey, light grey, some light brown	1900 1895	32.0 32.0	1439 1435	2.68	0.2	V,195+x2,134 123,105,99	T247	Disced and ripped to dry and blend before rexympacting
7151		Silt, clayey, light grey, some light brown	1905 1892	34.9 34.9	1412 1403	2.68	-1.3	V 1954,146x2 120,99,85	T158,T162 T177,T134	Disced and ripped to dry and blend before recompacting
T152		Silf, clayey, light grey, some light brown	1858 1870	30.6 30.6	1423	2.68	3.4	V,195+,146,143 134x2,82	T154	Isolated pockets, removed one scoop load and replaced
T153 3/12/98		Silt, slightly dayey, light brown, grey and brown	1885 1893	33.9 33.9	1408 1414	2.68	-0.2 -0.7	V,207+,160,150 143,142,125		
7154		Sitt, slightly clayey, fight brown, grey and brown, some dark brown	1893 1900	2, 2, 2, 5,	1408 1413	2.68	1.0 4.1	V,170,153,150 142,139,126	T152	
T155		Silt, slightly clayey, light brown, grey and brown	1862 1871	31.2 31.2	1419 1426	2.68	22.8	V,207+,161,154 150,140,132		
T156 9/12/98	98	Silt, slightly clayey, light brown, grey and brown	1865 1868	35.7	1374 1377	2.68	0.3	V,207+x2,171,168 161,154,106,56	T160,T165 T188	Discad and ripped to dry and blend before recompacting
Pb Bulk Density M.C. Moisture Cor Pd Dry Density (A.V. Air Voids (%)	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)	(3) (4) (4)		ა ფ. ლ. ე. 	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)	- blows i by vane	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Rectined Level (metres)	metrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

08,09261.5

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COMMENTS		Disceed and ripped to dry and	Disced and rinned to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting				
RETEST	Š	T133,T161	T134.T162	1177,7151	163,176,190	191,213,222	T156,T165	1188	T133,T157	T178	T134,T151	T158,T177	159.176.190	191,219,222	T218		T156.T160	T188	T187		T184				enetrometer, 1377:1975)	
SHEAR	STRENGTH	V,207+,184,140,	V,136,118,111	94,87,74	V,207+x3,92,	84,73	V,118,101,99	96,83,93	V,142,129,118	101,99,93	V,110,101,99	96,84,84	V,144,129,114	110,110,86	V,144,138,110	100,86,76	V,141,129,113	101,90,77	V,118,110,101	96,90,73	V,155,141,129	118,100,87	V,200+X6		Shear Strength (P - blows per 50mm on scala penetrometer value strength by vane (kPa) in terms of BS: 1377;1975)	
A.V.		1.5	-0.4	-0.4	4.1-	4.1-	4.3	4.0	16.3	16.4	6 .6	6.6	4.1	4.1	4.1	5.2	9.0	0.7	-1.6	÷	-0.3	9.0	6.3	6,3	- blows by vane	
S.G.		2.68	2.68	2.68	2.68	2.68	2.68	7,00	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	28	ength (P strength	JEWILY.
Pd		1416	1314	1314	1326	1327	1270	C/71	1167	1166	1295	1294	1332	1333	1317	1301	1349	1347	1330	1324	1266	1270	1409	1410	Shear Str V - shear	Specific Gravity
M.C.		32.3	39.1	39.1	39.1	39.1	38.0	30.0	34.4	34.4	32.3	32.3	34.7	34.7	35.5	35.5	36.4	36,4	39.1	39.1	41.9	41.9	29.2	7.67	S U	
a R		1873 1875	1828	1828	1845	1846	1753	200	1569	1567	1713	1712	1794	1795	1785	1764	1840	1838	1850	1841	1797	1802	1820	10701		
SOIL	DESCRIPTION	Silt, slightly clayey, light brown, grey and brown	Silt, slightly dayey, light brown, grey	and brown	Silt, slightly clayey, light brown, grey	and brown	Silt, dayey, light grey		Silt, dayey, light grey		Silt, clayey, light grey		Silt, clayey, light grey		Silt, clayey, light grey		Silt, clayey, light grey		Silt, clayey, light grey		Silt, clayey, light grey		Silt, clayey, light grey			
R.L.		vs es	<u></u>	. rg	S)		U)		<u>.</u>	-	S.		(7)		v)		<i>σ</i>)		v)		<i>u</i>)		u)		r (kg/m3) ntent (%) (kg/m3)	,
DATE		9/12/98		·		1	11/12/98	-									14/12/98								Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3)	Air Voids (%)
TEST	ON	T157	1158		T159		1160	· ·	1161		T162		T163		T164		⊤165		1166		T167				Pb M.C. Pd	, A

INSITU DENSITY TEST RESULTS

SITE: SUTTON BLOCK, EAST TAMAKI

JOB No:

08.09261.5

INSITU DENSITY TEST RESULTS

08.9261.5

JOB No:

SUTTON BLOCK, EAST TAMAKI

SITE

COMMENTS	Disced and ripped to dry and blend before recompacting		Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and blend before recompacting				Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and blend before recompacting.		
RETEST No	T204		T185,T202	T203	T208	T234			T189	T185,T195	T 196	1193	anetrometer, 1377:1975)
SHEAR	V,153,146,134 114,105,61	V,175+x4,146 143	V,175+x3,105 95,90	V,1754x3,95 105,51	V,175+x3,95	V,117,109,95 73,69,44	V,195+X2,146 143,134,124	V,195+X2,182 168,146,134	V,195+x3,182 149,143	V,195+X3,146 141,115,88	V,195+X2,146 139,109,90	V195+x5, 175	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)
A.V.	2.4 1.1	7.4	4.8 5.0	6. 2.	7. 7.	7.0	7.0	5.8 5.6	4.7	5.4 5.4	3.7	4.4 4.6	by vane
ဖွဲ	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68 2.68	2.68	2.68	2.68	2.68 2.68	ength (P strength Bravity Level (m
<u>B</u>	1372	1400	1273	1317	13 44 1341	1403	1407	1401 1404	1496 1496	1364 1370	1311	1346	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)
Œ.C.	33.8 33.8	28.9	37.4 37.4	37.4 37.4	36.0 36.0	28.9	28.8	29.9	26.8 26.8	37.9 37.9	36.2	33.7 33.7	S S.G.
£	1836 1861	1804 1814	1750 1746	1809 1805	1827	1809 1806	1812 1809	1820 1824	1897 1896	1799 1808	1785 1786	1799 1796	
SOIL DESCRIPTION	Silt, slightly clayey and clayey, light grey and light brown	Silt, slightly dayey and clayey, light grey and light brown	Silt, slightly clayey and clayey, light grey and light brown	Silt, slightly clayey and clayey, light grey and light brown	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly dayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	3) %))
R.L.	-												ity (kg/m content (* y (kg/m3 %)
DATE	16/12/98				17/12/98							21/12/98	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)
TEST	T193	L 194	T195	T 196	1197	T198	T199	1200	T201	T202	1203	T204	Pb M.C. Pd A.V.

INSITU DENSITY TEST RESULTS

08,09261.5

JOB No:

SUTTON BLOCK, EAST TAMAKI

SHTE:

COMMENTS				Blended with moist soil and	(acultbacks																
RETEST	T150	1464	-	159,163,190	131,222 T192				159,163,190	191,219			T238		T237						
SHEAR STRENGTH	V,176+x3,163	145,138 V 1764x5 167	in fact of the	V,176+x4,156 152	V,195+,178,168	159,153,149	V,195+x2,182	156,146,139	V,195+x5,141		V,175,168,160	158,146,141	V,175,141,123	104,99,93	V,115,109,102×3))	0,185 t X6	V 195+v6	ow and the	V,195+x5,118	
A.V.	0.7	2. C	12.1	13.8	0.5	0.4	1.6	4	3.4	33.1	3.0	2.8	2.3	Q'X	4,0	0.0	3.7	0.5	0.2	9.2	0.6
S.G.	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2,68	2.68	2.68	7. 20. 7.	2.68	8 6	7, 68 68 68	2.68	2.68	2.68	2.68
2	1367	1403	1401	1375	1425	1425	1409	1411	1466	1469	1464	1467	1439	14.30	1332	2 2	1396	1427	1431	1482	1485
ပ Σ	35.4	25.4	25.4	25.4	32.5	32.5	32.5	37.5	28.6	28.6	28.9	28.9	30.6	5	36.7	7 6	32.1	32.4	32.4	23.9	23.9
€.	1850	1760	1757	1724	1888	1889	1867	0/81	1885	1890	1887	1891	1879	CJOI	1821	4642	1844	1890	1895	1837	1841
SOIL DESCRIPTION	Silt, slightly clayey, fight brown and light grey	Sit, slightly dayey, light brown and	light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly dayey, light brown and	light grey	Silt, slightly clayey, light brown and	igne grey	Silt, slightly clayey, fight brown and	light grey	Silt, slightly clayey and clayey, light	DOWN and right grey	Silt, slightly clayey and clayey, light	Some and a some some	Silt, slightly clayey and clayey, light brown and light grey	Silk eliabity clavey and claves light	brown and light grey	Silt, slightly clayey and clayey, light	brown and light grey	Silt, slightly clayey and clayey, light	brown and light grey, dry
R.L.																					
DATE	22/12/98				23/12/98					•	29/12/98									30/12/98	
TEST	1217	T218		T219	T220		T221		T222		T223		T224		T225	1226		T227		T228	

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)

s.G.

Bulk Density (kg/m3) Moisture Confent (%) Dry Density (kg/m3) Air Voids (%)

P. M.C. A. V. C. C.

INSITU DENSITY TËST RESULTS

SITE: SUTTON BLOCK, EAST TAMAKI.

JOB No:

08.09261.5

	1								<u> </u>				7
COMMENTS	Blended with moist soil and recompacted	Blended with moist soil and recompacted											
RETEST No	T239	T175,T212 T234	T198	T242		T175,T230		T225	T224		T229		netrometer, 1377:1975)
SHEAR STRENGTH	V,195+x5,125	V,195+x6	V,195+x5,128	V,143,140,131 128,125,88	V,195+x6	V,195+x6	V,195+x5,160	V,195+x6	V,195+x6	V,195+x6	V,195+x6	V,195+x6	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)
A.V.	15.9	25.6 26.1	1.3	0.7	7.7	4.4 £,3	5.2	4.7	7.3	ກາດ ສຳປັ	11.9 ·	3.0	- blows p by vane etres)
S.G.	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	ength (P strength sravity Level (m
2	1395 1399	1399	1315 1318	1406 1411	1462 1465	1488 1484	1457	1463 1464	1485	13/13 13/18	1319	1415 1410	Shear Strength (P - blow V - shear strength by va Specific Grawity Reduced Level (metres)
ပ <u>ှိ</u>	23.0	15.9 15.9	37.7	33.3 33.3	25.6 25.6	27.2 27.2	27.7	27.8 27.8	25.1	34.4	29.5 29.5	31.5	S S.G.
£	1716 1721	1621. 1611	1811 1815	1875 1881	1837 1841	1892 1887	1861 1858	1870 1871	1858 1861	1765 1771	1708 1705	1861 1854	
SOIL	Sift, slightly dayey and clayey, light grey and light brown, dry	Sit, slightly dayey and clayey, light grey and light brown, dry	Silt, slightly clayey, light brown	Silt, slightly clayey, light brown	Siit, slightly clayey, light brown	Siit, slightly clayey, light brown	Silt, slightly clayey, light brown	Silt, slightly clayey, light brown	Siit, slightly clayey, light brown	Silt, slightly clayey, light brown	Silt, slightly clayey, light brown	Silt, slightly clayey, light brown	
 	0, 6,	0, 0;	<u></u>				0,	<u> </u>	,	<u>, , , , , , , , , , , , , , , , , , , </u>		<i>v</i> 3	/ (kg/m3) ntent (%) (kg/m3)
DATE	30/12/98	:	31/12/98			641/99	<u>-</u>						Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)
S S	1229	1230	T231	T232	T233	T234	T235	T236	T237	T238	T239	T240	Pb Pd A.V.

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE

08.09261.5 JOB No:

	ST COMMENTS												paceulpace									Diend Defore recompacting					•••		[.		
	RETEST	Ž			1000	707					1361	707								İ	42								etromete	377:1975	
	SHEAR	SINGIN	V 195+x6		V 195+v6	200	V 105+v6	200	V.195+x6		V.195+x3 178	175		V, 185+x6		V.1954x6		V 195+v3 175	160	V 406 4.00	102 117 144	0 10 10 10 10 10 10 10 10 10 10 10 10 10	0x+cer'v	0.10	V, 180+x6	V 405.00 400	134		Shear Strength (P - blows per 50mm on scala penetrometer.	V - shear strength by vane (kPa) in terms of BS: 1377:1975)	
	Y		3.2	2.9	8	6.1	5.0	5.0	4.5	4.6	18.3	13.1	ć	n c	0 0	g.5	0.9	60	1.2	1 1	, 7	1	o e	- c	4, C		, C	,	- blows	by vane	Altes
	i i		2.68	2,68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2 60	2 i c	3 6	88	2.68	2.68	2.68	2 GR	2.68	030	2.00	368	2.68	2 68	2.68		rength (P	strength	ોલપાણ Level (m
2	2		1406	141	1412	1413	1406	1407	1384	1382	1587	1590	1501	1501	4465	7041	147	1355	1351	1417	1423	0077	1427	1346	1347	1441	1448		Shear Str	V - Shear streng Specific Gravitu	spetalic Gravity Reduced Level (metres)
0.53	<u> </u>		31.5	31.5	29.2	29.2	30.2	30.2	31.7	31.7	14.2	14.2	22.7	22.7	36.8	9 9	0.02	35.8	35.8	29.9	29.9	27.5	27.5	35.	35.1	31.9	31.9		s		7 7: 1:
á	2		1849	1856	1824	1825	1831	1832	1823	1820	1812	1815	1842	1842	1854	200	7001	1841	1835	1841	1849	1821	1819	1819	1820	1901	1910			-	
SOIL	DESCRIPTION	Oilt Allahetta da	out, sugnity dayey, light brown		Silt, slightly clayey, light brown	:	Silt, slightly clayey, light brown		Sift, slightly clayey, light brown		Sitt, slightly clayey, light brown and	iight grey	Silt, slightly dayey, light brown and	light grey	Sitt, slightly clayey, light brown and	light grey		Sift, Slightly clayey, light brown and	ແຕກເຮັດອາ	Silt, slightly clayey, light brown and	light grey	Silt, slightly clayey, light brown and	light grey	Silt, slightly clayey, light brown and	light grey	Silt, slightly clayey, light brown and	light grey				
R.L.							 			•		-				_		· # 2	=	<u> </u>	<u>=</u>		<u>==</u>	<i>3)</i>	≝.		-	(Ladar)	(kg/kms) Itent (%)	kg/m3)	~
DATE		8/1/99	3						·	9	20 20 20 20										_							Bulk Dopoity	Moisture Content (%)	Dry Density (kg/m3)	Air Voids (%)
TEST	S S	1241	<u>.</u>	+	747	-	- 243	100	7	- T	? *	-	1246		T247		TOVE	*	; ;	1249		T250		T251		T252		£	M.C.	Pd .	A.V.

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity
Reduced Level (metres) S.G. R.L. S

geolab CLIENT: DANNEMORA HOLDINGS/FULTON HOGAN BOREHOLE No: HA 1 air, soil & water PROJECT: SUTTON TRENCH BACKFILL, SMALES ROAD, Sheet 1 of 1 EAST TAMAKI laboratory services Drill Type: Project No: 08.09261.6 Logged By: GIH Checked By: GIH Coordinates: GIH Drilled By: Date Started: 19/11/99 Ground Elevation: Shear Vane No: DR 2871 19/11/98 Water Level: DRY 19/11/99 Date Finished: NATURAL WATER CONTENT LIQUID LIMIT AXO GROUND WATER LABORATORY TESTS PLASTIC LIMIT Ξ DEPTH (m) SOIL DESCRIPTION GRAPHIC DEPTH 100 150 (%) MAIN/minor components, strength, colour SHEAR STRENGTH structure, weathering Оν REMOULDED SHEAR () () () POCKET PENETROMETER 100 150 (kPa) FILL, mainly silt, slightly clayey and clayey, very stiff, light grey, light brown and orange brown, moist 134 v stiff very stiff stiff 80 1 very stiff (00 v stiff END OF BORE. 2.40 METRES. <u>2.5</u> (UNABLE TO PENETRATE PIPE) 3.0 <u>3.0</u> <u>3,5</u> 4.0 4.5 <u>5.0</u> <u>5.0</u>

SOIL 09261_6,GP3 GEOLAB.GDT 17/04/00

geolab CLIENT: DANNEMORA HOLDINGS/FULTON HOGAN BOREHOLE No: HA 2 air, soil & water PROJECT: SUTTON TRENCH BACKFILL, SMALES ROAD, Sheet 1 of 1 EAST TAMAKI laboratory services Orili Type: Project No: 08.09261.6 Logged By: GIH Checked 6v: GIH Drilled By: GIH Coordinates: 19/11/99 Ground Elevation: Shear Vane No: DR 2871 Date Started: Date Finished: 19/11/99 Water Level: DRY 18/11/99 NATURAL WATER CONTENT ΔX GROUND WATER LIQUID LIMIT PLASTIC LIMIT LABORATORY TESTS GRAPHIC LOG Ξ DEPTH (m) SOIL DESCRIPTION DEPTH (50 100 150 (%) MAINIminor components, strength, colour structure, weathering SHEAR STRENGTH O v REMOULDED SHEAR ⊕ r O p POCKET PENETROMETER (kPa) FILL, mainly slit, slightly clayey and clayey, very stiff, light grey, light brown and orange brown, moist 92+ v stiff very stiff 163 v stiff 92+ u very stiff 192÷ v END OF BORE, 2.00 METRES. (UNABLE TO PENETRATE PIPE) <u>2,5</u> 4.0 09261_6.GPJ GEOLAB.GDT 17/04/00 <u>5.0</u> 5.0

APPENDIX 2 FILL SPECIFICATION

air, soil & water laboratory services

A Division of Harrison Grierson Consultants Ltd P O Box 5760 Wellesley Street, Auckland 1 Telephone: 0-9-309 0346

6 November 1997

Wood & Partners Consultants Limited P O Box 6752 AUCKLAND

ATTENTION: Mr J Gardner

Dear Sir

Dannemora Block / Saye Block - East Tamaki

On reviewing test data collected at the above site. The following compaction standard is proposed.

i) Class A Compaction

Filling shall be broken up and placed in uniform layers not greater than 230mm loose thickness.

Compaction of each layer of fill materials so placed shall be sufficient to the following minimum standards:

a) Air Voids Percentage (as defined in NZS 4402:1986).

An average value of not more than 10% with any one test result permitted to be up to 12%.

b) Undrained Shear Strength

Average value not less than 140kPa and no single test result less than 120kPa.

ii) Within 500mm of Road Subgrade

Filling shall be broken up and placed in uniform layers not greater than 150mm loose thickness.

Compaction on each layer of fill materials so placed shall be sufficient to data the following minimum standards:

a) Air Voids Percentage (as defined in NZS 4402:1986).

An average value of not more than 8% with any one test result permitted to be up to 10%.

b) Undrained Shear Strength

Average value not less than 170kPa and no single test result less than 140kPa.

Yours faithfully E Harrison Grierson Consultants Limited

Greg Hill Laboratory Manager Geolab

JR9261(W\LET-001.GIH

APPENDIX 3 STATEMENT OF PROFESSIONAL OPINION

To:

The City Manager Manukau City Council

MANUKAU

STATEMENT OF PROFESSIONAL OPINION AS TO SUITABILITY OF LAND FOR RESIDENTIAL DEVELOPMENT

SUBDIVISION:

Dannemora Sutton Stage 1

OWNER/DEVELOPER:

Dannemora Holdings and Fulton Hogan Ltd

LOCATION:

East Tamaki Road

I, Philip Walter Matthew WILLIAMS of HARRISON GRIERSON CONSULTANTS LIMITED, 429 Parnell Road, Pamell

Hereby confirm that:

- I am a Registered Engineer experienced in the field of soils engineering and was retained by the owner/developer as the Soils Engineer on the above subdivision.
- The extent of my inspections during construction and the results of all tests carried out are described in the accompanying report no 08.09261.5A dated April 2000. The 2 purpose of the report is to provide a record of the earthworks procedures and to describe the technical background upon which this statement of professional opinion has been based. The residential lots covered by this statement are no's 1 to 27, 97 to 100, 102 to 135, 148 and 149.
- One purpose of this statement is to describe the extent to which buildings designed in 3 accordance with NZS 3604:1990 "Code of Practice for Light Timber Framed Buildings Not Requiring Specific Design" (NZS 3604) can rely upon soil conditions for foundation construction in accordance with that Code. In this regard the reference to NZS 3604 is itself specific, and does not include other non-specific design codes such as NZS 4229.
- th my professional opinion, not to be construed as a guarantee, I consider that the fill 4 shown on the attached Harrison Grierson Consultant's drawing no. 09261-GE17 has been placed in accordance with NZS 4431;1989, Code of Practice for Earthfills for Residential Development and NZS 4404:1981, Code of Practice for Urban Land Subdivision.
- With respect to the safe bearing capacity of soils, in my professional opinion, not to be 5 construed as a guarantee, I consider that:
 - The filled ground is suitable for buildings constructed in accordance with NZS i) 3604 and for which it is believed that the modified soils thereon will afford a foundation safe bearing capacity of 100kPa for shallow foundations. statement includes the trench backfill of the 1050Ø, 1200Ø and 1500Ø pipes which traverse lot Nos. 3-6, 10, 16, 17, 27 and 130-132.
 - The natural ground and excavated ground comprising all or part of lots 105 to ii) 108 are suitable for buildings constructed in accordance with the NZS 3604 and for which it is believed that the unmodified soils thereon will afford a foundation safe bearing capacity of 100kPa for shallow foundations.

To:

The City Manager Manukau City Council

MANUKAU

STATEMENT OF PROFESSIONAL OPINION AS TO SUITABILITY OF LAND FOR RESIDENTIAL DEVELOPMENT

SUBDIVISION:

Dannemora Sutton Stage 1

OWNER/DEVELOPER:

Dannemora Holdings and Fulton Hogan Ltd

LOCATION:

East Tamaki Road

I, Philip Walter Matthew WILLIAMS of HARRISON GRIERSON CONSULTANTS LIMITED, 429 Parnell Road, Parnell

Hereby confirm that:

- 1 am a Registered Engineer experienced in the field of soils engineering and was retained by the owner/developer as the Soils Engineer on the above subdivision.
- The extent of my inspections during construction and the results of all tests carried out are described in the accompanying report no 08.09261.5A dated April 2000. The purpose of the report is to provide a record of the earthworks procedures and to describe the technical background upon which this statement of professional opinion has been based. The residential lots covered by this statement are no's 1 to 27, 97 to 100, 102 to 135, 148 and 149.
- One purpose of this statement is to describe the extent to which buildings designed in accordance with NZS 3604:1990 "Code of Practice for Light Timber Framed Buildings Not Requiring Specific Design" (NZS 3604) can rely upon soil conditions for foundation construction in accordance with that Code. In this regard the reference to NZS 3604 is itself specific, and does not include other non-specific design codes such as NZS 4229.
- In my professional opinion, not to be construed as a guarantee, I consider that the fill shown on the attached Harrison Grierson Consultant's drawing no. 09261-GE17 has been placed in accordance with NZS 4431:1989, Code of Practice for Earthfills for Residential Development and NZS 4404:1981, Code of Practice for Urban Land Subdivision.
- With respect to the safe bearing capacity of soils, in my professional opinion, not to be construed as a guarantee, I consider that:

Amended

The filled ground is suitable for buildings constructed in accordance with NZS 3604 and for which it is believed that the modified soils thereon will afford a foundation safe bearing capacity of 100kPa for shallow foundations.

ii) The natural ground and excavated ground comprising all or part of lots 105 to 108 are suitable for buildings constructed in accordance with the NZS 3604 and for which it is believed that the unmodified soils thereon will afford a foundation safe bearing capacity of 100kPa for shallow foundations.

- Due to the expansive nature of Auckland soils, and of the soils on this site in vi) particular, conventional shallow pad and strip footings for all buildings should be founded at a minimum depth of 450mm below cleared ground level (i.e. with topsoil removed).
- The roadways and passive reserves have been earthworked to a standard suitable for 6 their intended purposes.
- This statement does not extend to retaining walls (including basement excavation retaining walls), or site development cuts or fills which fall within the scope of the Building Act or which require Council resource consent.
- This statement of professional opinion does not remove the necessity for the usual 8 inspection of foundation excavations by Council and any unexpected or unusual site conditions encountered should in the first instance be referred to Harrison Grierson Consultants Limited for evaluation.
- 9 This statement of professional opinion is furnished to the Council and the owner/developer for their purpose alone on the express condition that it will not be relied upon by any other person.

William Date 17:04.2000

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DRAWINGS

09261-GE17	DEPTH OF FILL AND COMPACTION CONTROL TESTS
09261-GE18 09261-GE19	SETTLEMENT PLATES MONITORING DRAINAGE LINES WITH GEOTECH STANDARD BACKFILLING

MANUKAU CITY SERVICES KOTUKU HOUSE

INTER-OFFICE MEMO

SP No

SP 6326A

DATE

06 June 2000

FROM

Resource Compliance

TO

Operations Manager - Water & Drainage, ETD - Attn: Simon Porter

Manager - Reserves Services, ETD - Attn: Brett McDougall Business Manager - Property Services - Attn: Jon Muston

Area Engineer - Roading & Waste Services - Attn: Graham Smith

Waste Services officer - Roading & Waste Services - Attn: Sue Hamilton

Roading Engineer - Roading & Waste Services - Attn: Max Hamilton

Water Works Supervision - Excell Corporation, ETC - Attn: Brian King

MAINTENANCE RESPONSIBILITY FOR STREETS, SERVICES AND RESERVES

This memorandum is to advise that streets, services and reserves in the subdivision being carried out by DANNEMORE HOLDINGS LTD & FULTON HOGAN LTD,

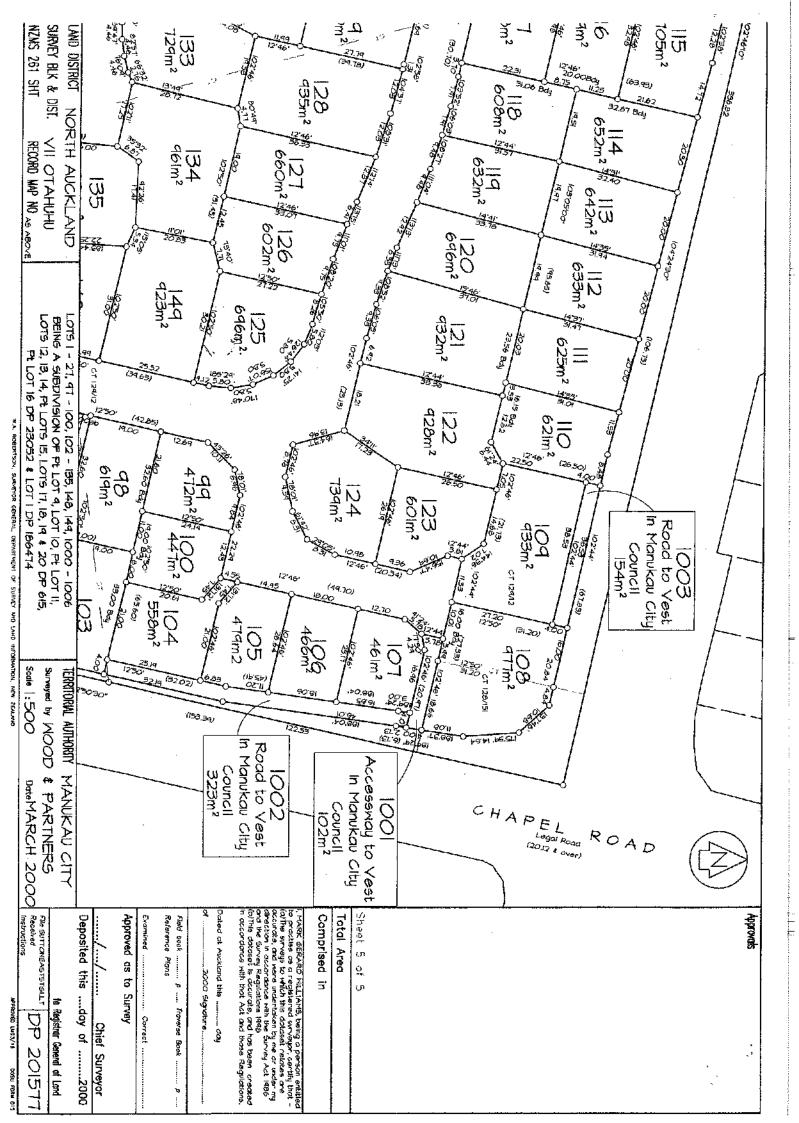
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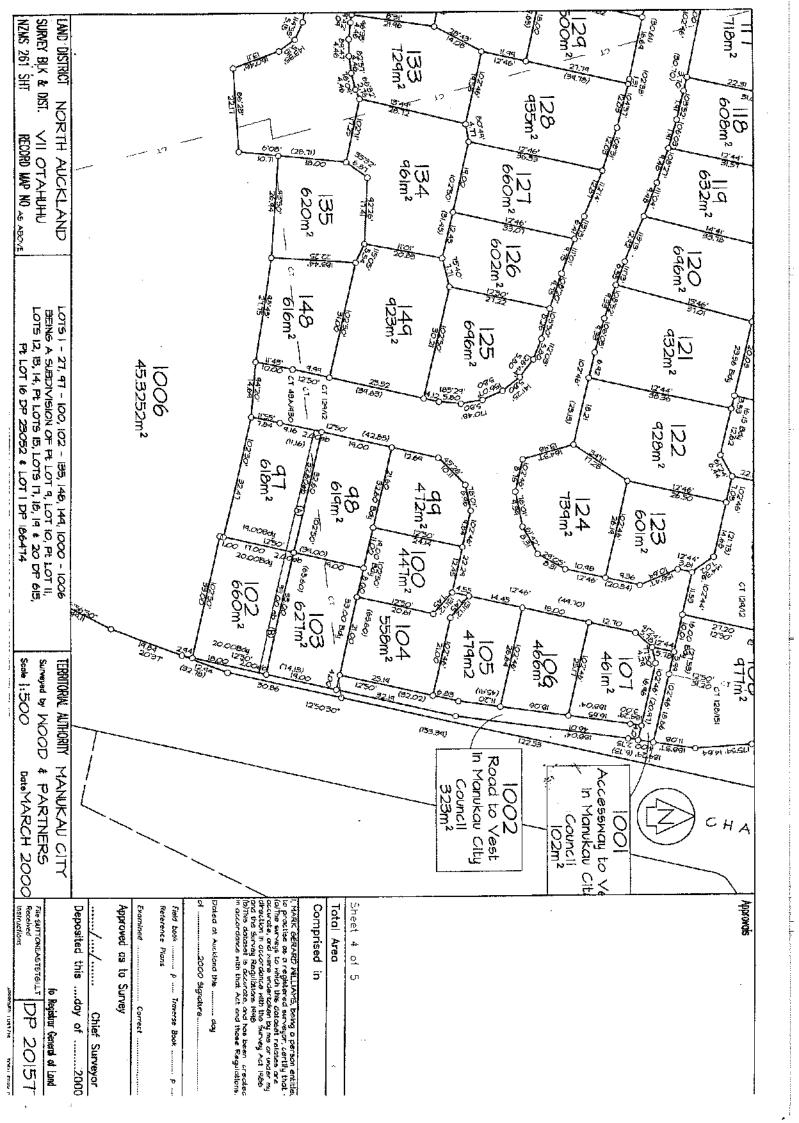
474 EAST TAMAKI ROAD, EAST TAMAKI (SUTTON EAST BLOCK STAGE 1)

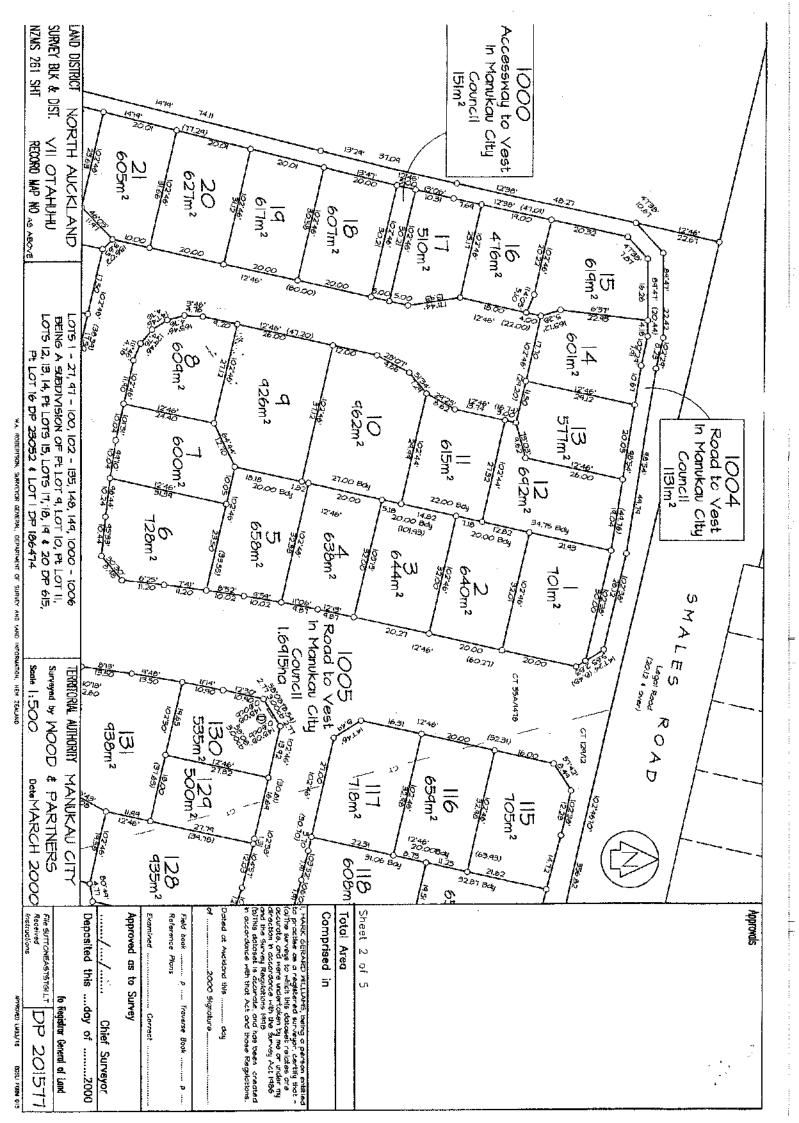
and shown on the attached plan have been accepted by Council and are under bond. The bond expiry dates are 1/9/2000 and 1/6/2001 and relate to uncompleted roading works being: completion of footpaths, berms, street and reserve planting and overland flowpath intakes, construction of overland flowpaths, topsoiling of islands and bunds, remedial works on 1500dia sw line, clean out of cesspits, replacement of watermain surface box and upgrade of Chapel Road frontage.

Team Leader - Resource Compliance BUILDING & RESOURCE SERVICES

Encl







Environmental Services

18 April 2000

Wood and Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

15173 → 16734 SP6326 SP6326 A

Dear Sir

DECISION ON AN APPLICATION FOR CHANGE TO A RESOURCE CONSENT PLAN OF SUBDIVISION

Applicant:

Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1

and 2)

Application:

Resource Consent for changes to an approved Subdivision (layout) being

the redesign of the Stage 1 layout of Lots 25 and 26 to create an

additional Lot 27.

Location:

474 East Tamaki Road, East Tamaki

MCC Reference:

SP6326A (Proposal No. 16734)

Legal Description:

Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Zone:

Future Development Stage 1 (Operative Manukau District Plan)

Main Residential (Proposed Manukau District Plan)

I wish to advise that resource consent for the above proposal has been considered under delegated authority and that consent has been granted pursuant to Section 127 of the Resource Management Act 1991, subject to the following conditions being complied with to the satisfaction of, and at no cost to the Council.

That all conditions and advice notes of the Resource Consent (SP6326 P15173) dated
 December 1999 shall remain in effect except as stated below:

STAGE 1 - Residential Lots 1-27, 97-100, 102-135, 148 and 149 (67 Residential lots)

Stage 1 Condition 2 is amended to read:

2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326A) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326A, Proposal 15734 Direct Dial: 262-8900, extn 5874 Enquiries to: Mike Pritchard Direct Facsimile: 262-5168

SP 6326 A

- (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.

Stage 1 Condition 15 is amended to read.

15. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level
3	23.00
4	22.85
5	22.74
6	22.60
7	22.50
8	22.35
9	21.85
10	21.75
11	21.75
16	21.75
17	21.75
18	21.75
19	21.80
20	21.90
21	22.00
22	22.06
23	22.20
24	22.30
25	22.40
26	22.50
27	22.62
97	, 25.75
98	25.75
99	23.89
102	26.35
103	26.35

Lot	Minimum Floor Level
117	22.79
118	22.95
119	23.11
120	23.27
121	23.47
122	23.58
124	23.63
125	23.63
126	23.35
127	23.20
128	23.03
129	22.83
130	22.71
131	22.60
132	22.48
148	24.18
149	24.03

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

Stage 1 Condition 22 is amended to read:

22. A reserves contribution of \$508,551.13 (including GST) being 6% (plus GST) of 65/66 x the aggregate assessed current market value of Lots 1-27, 97-100, 102-107, 109-135, 148 and 149 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 1 of the subdivision, whichever is the sooner.

REASONS FOR DECISION

The Council is satisfied that the amendment to Lots 25 and 26 will not create adverse effects and the District Plan provisions will continue to be complied with.

COSTS

The deposit of \$562.50 already paid will be deducted from the total costs.

RIGHT OF OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

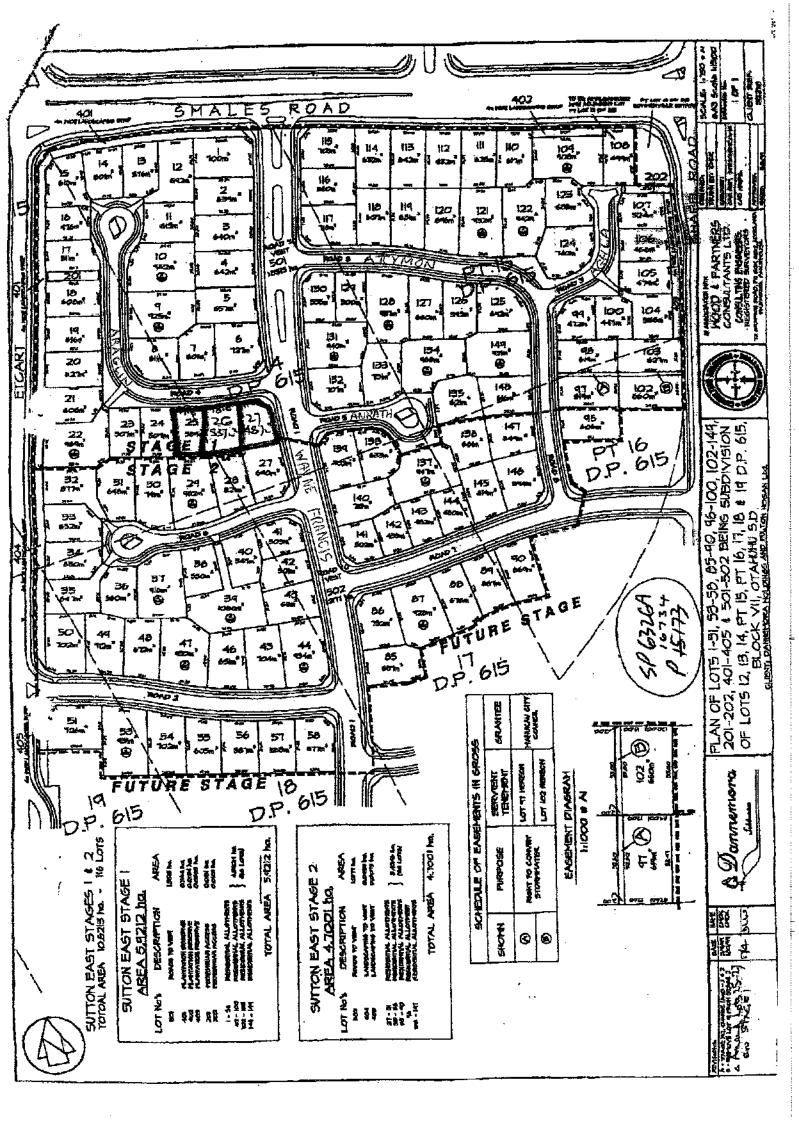
Yours faithfully

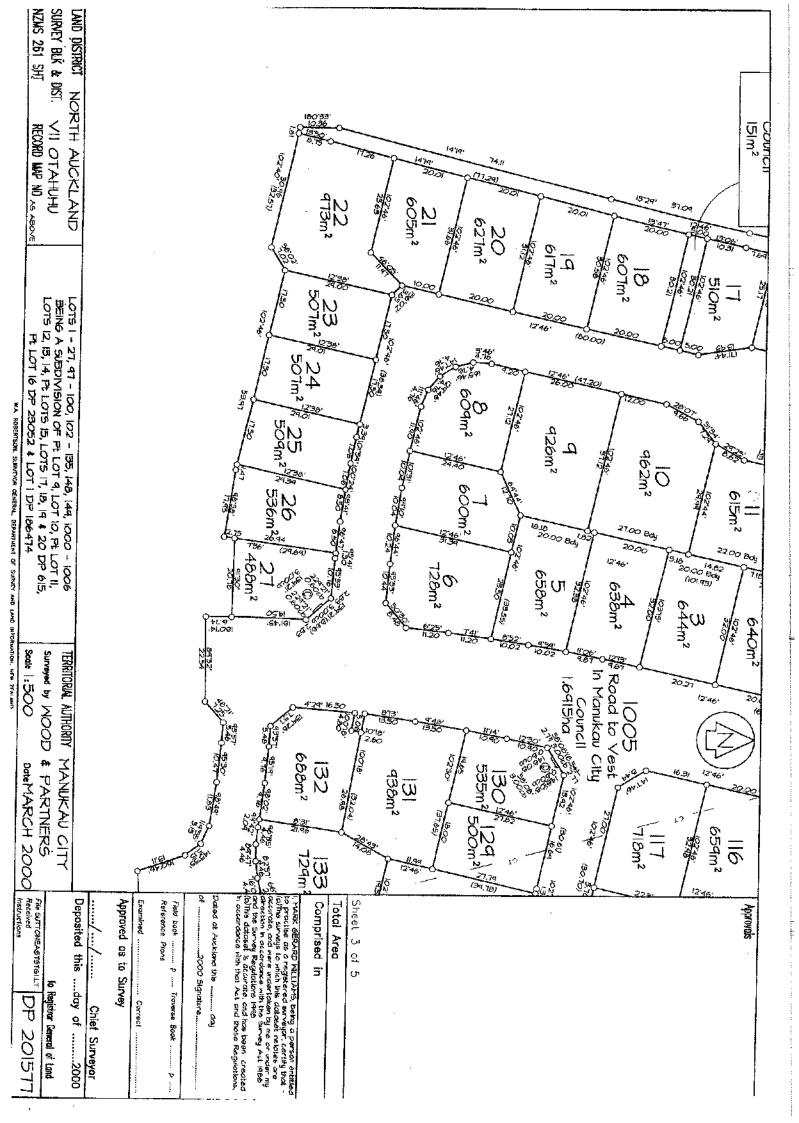
Robert Chieng

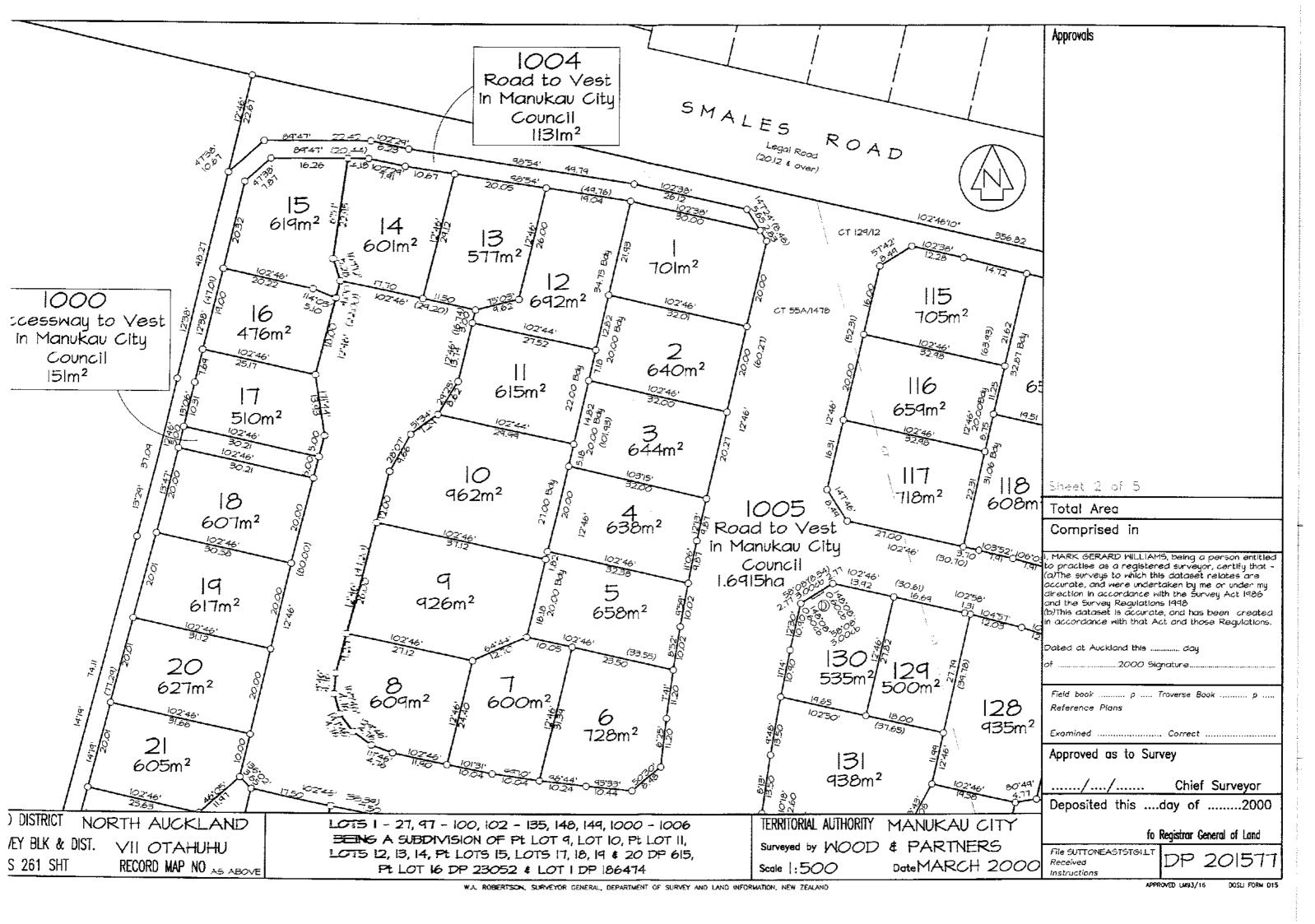
Leader - Resource Consents

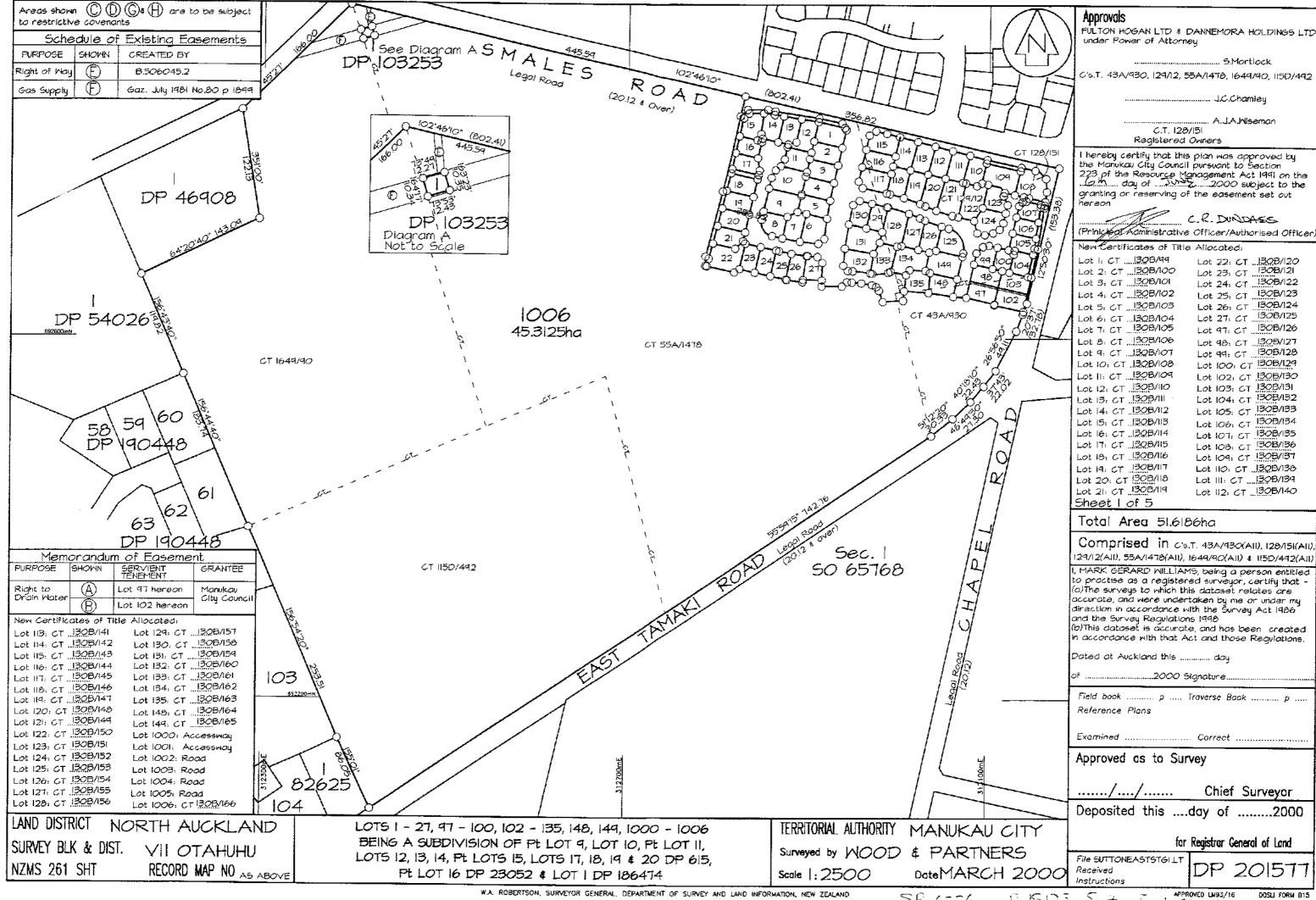
RESOURCE CONSENTS & COMPLIANCE UNIT

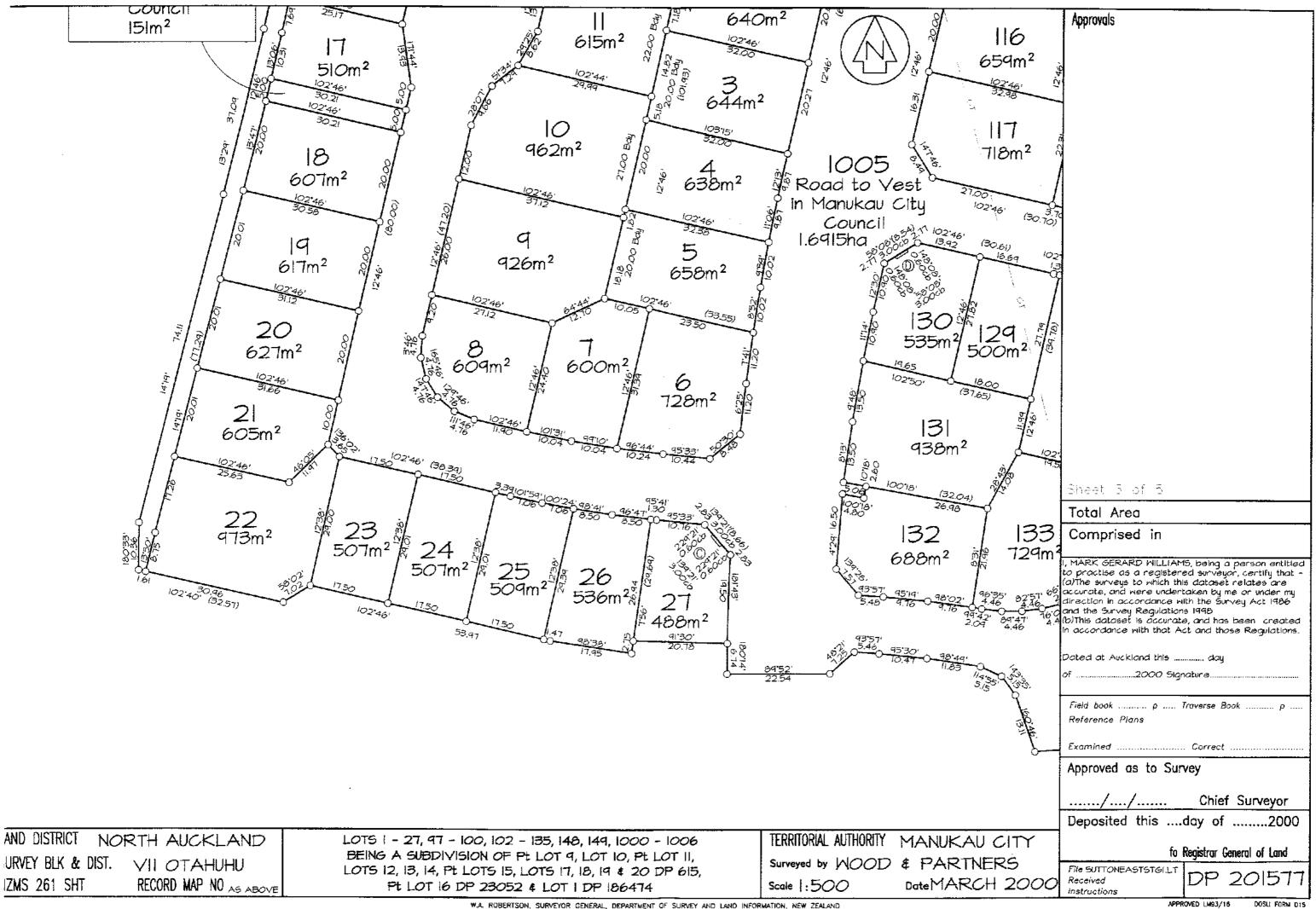
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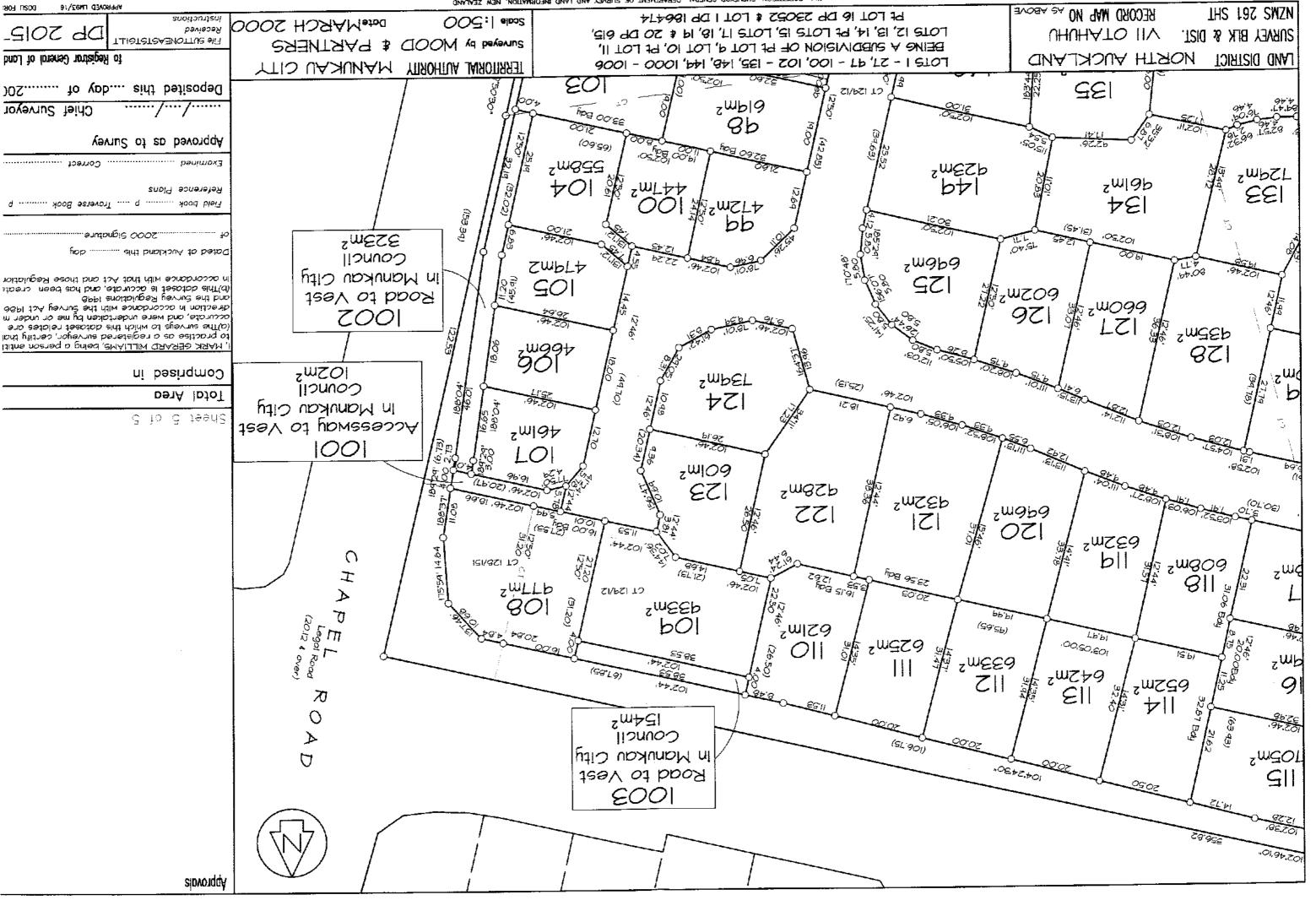


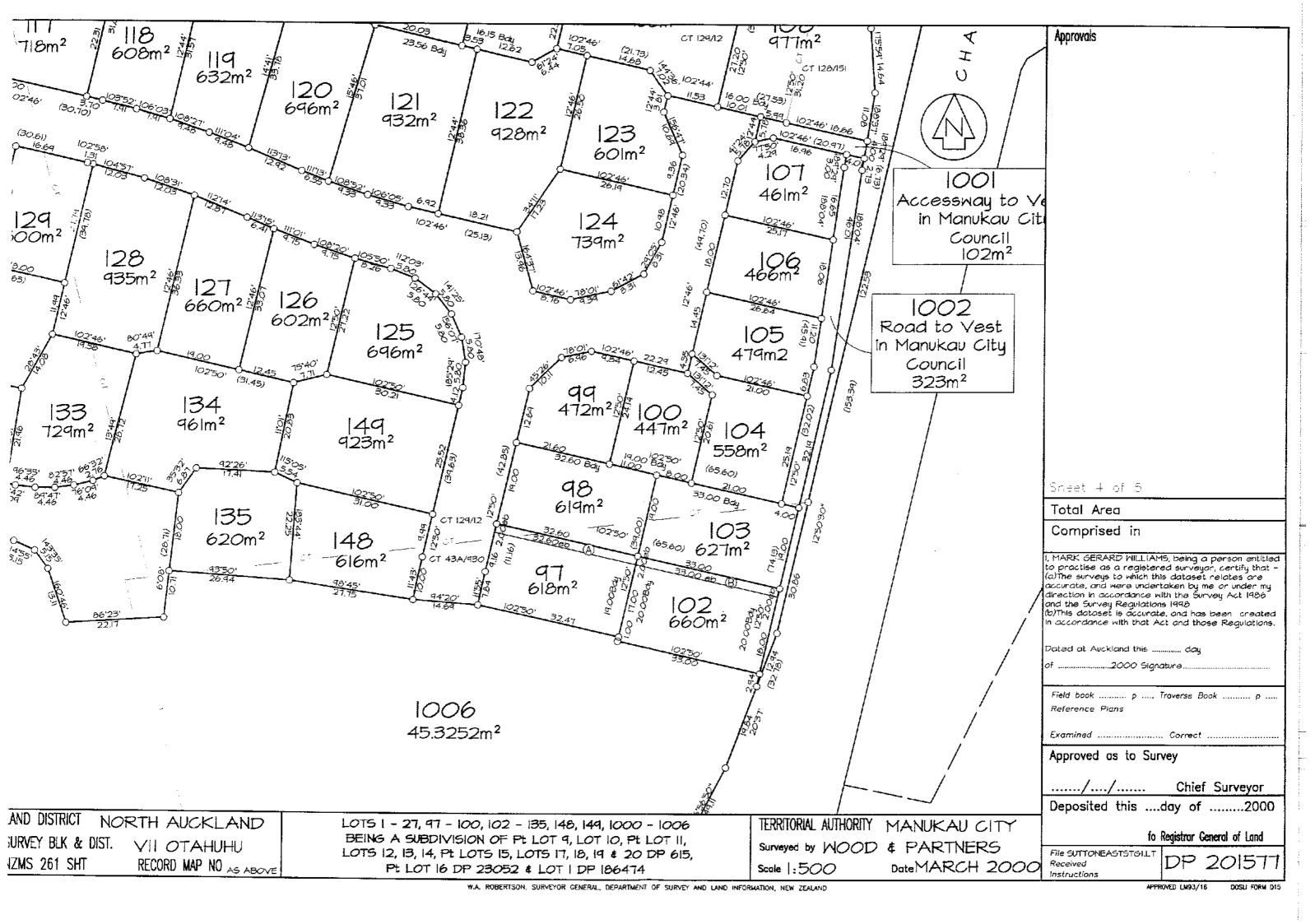


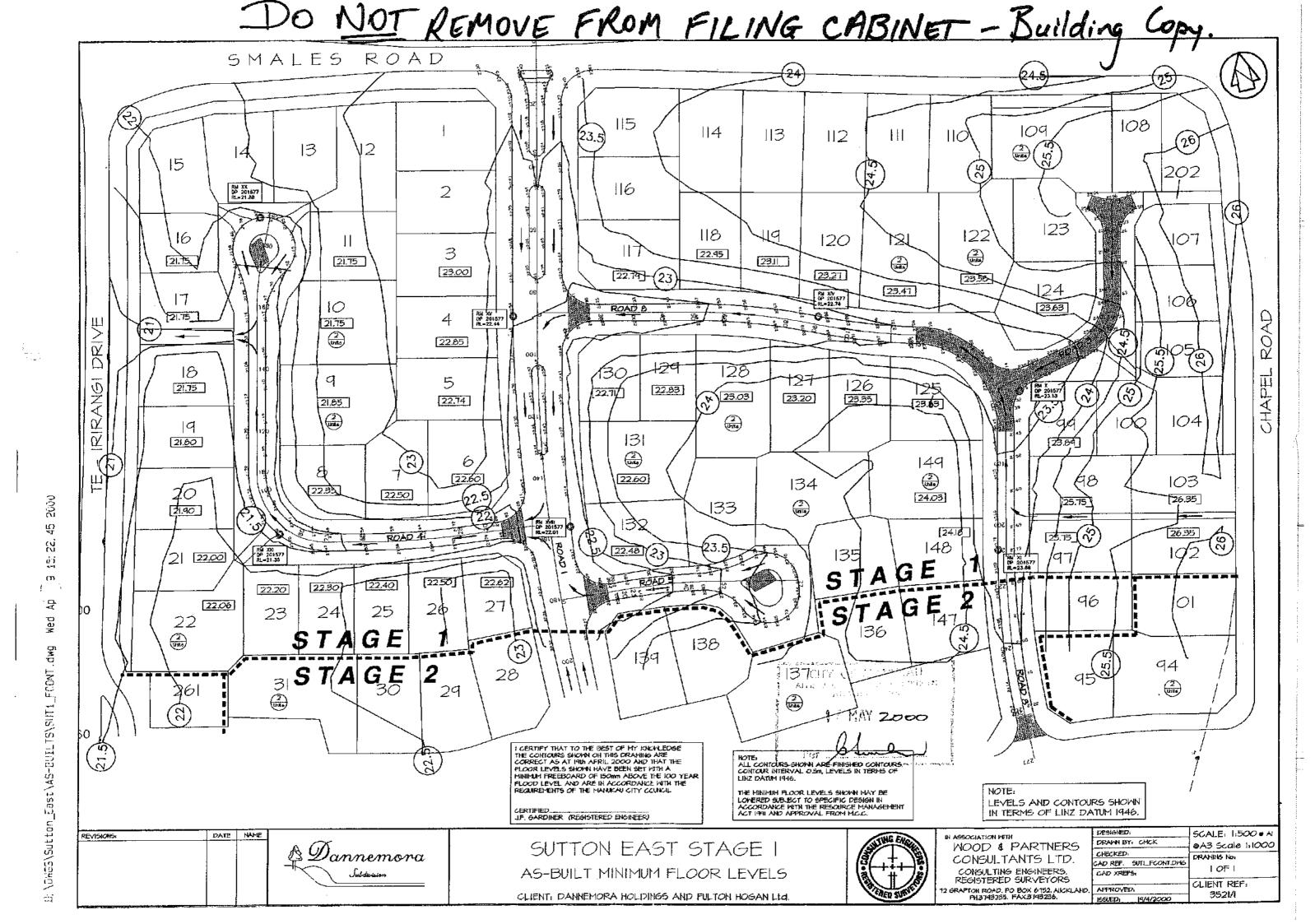


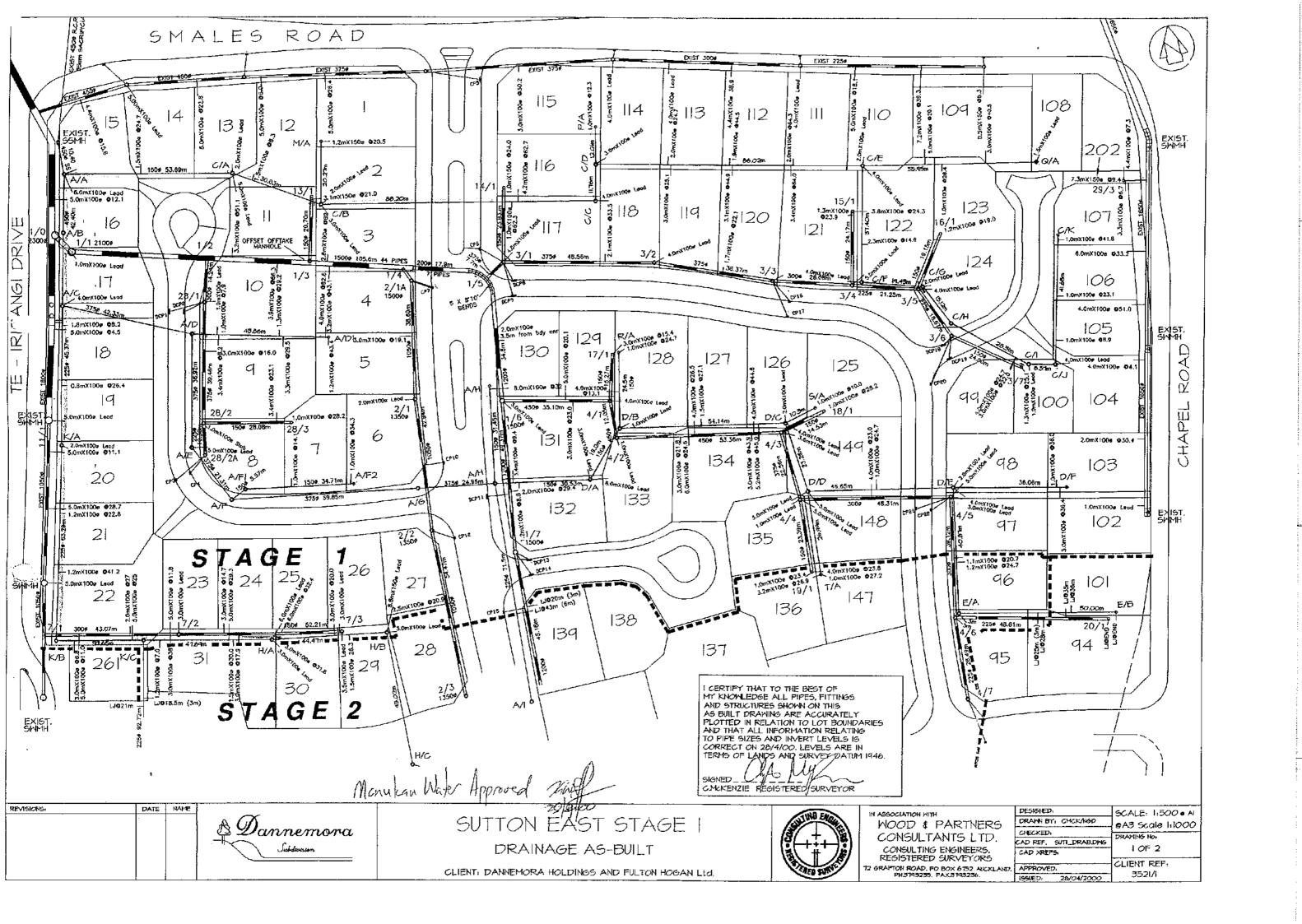


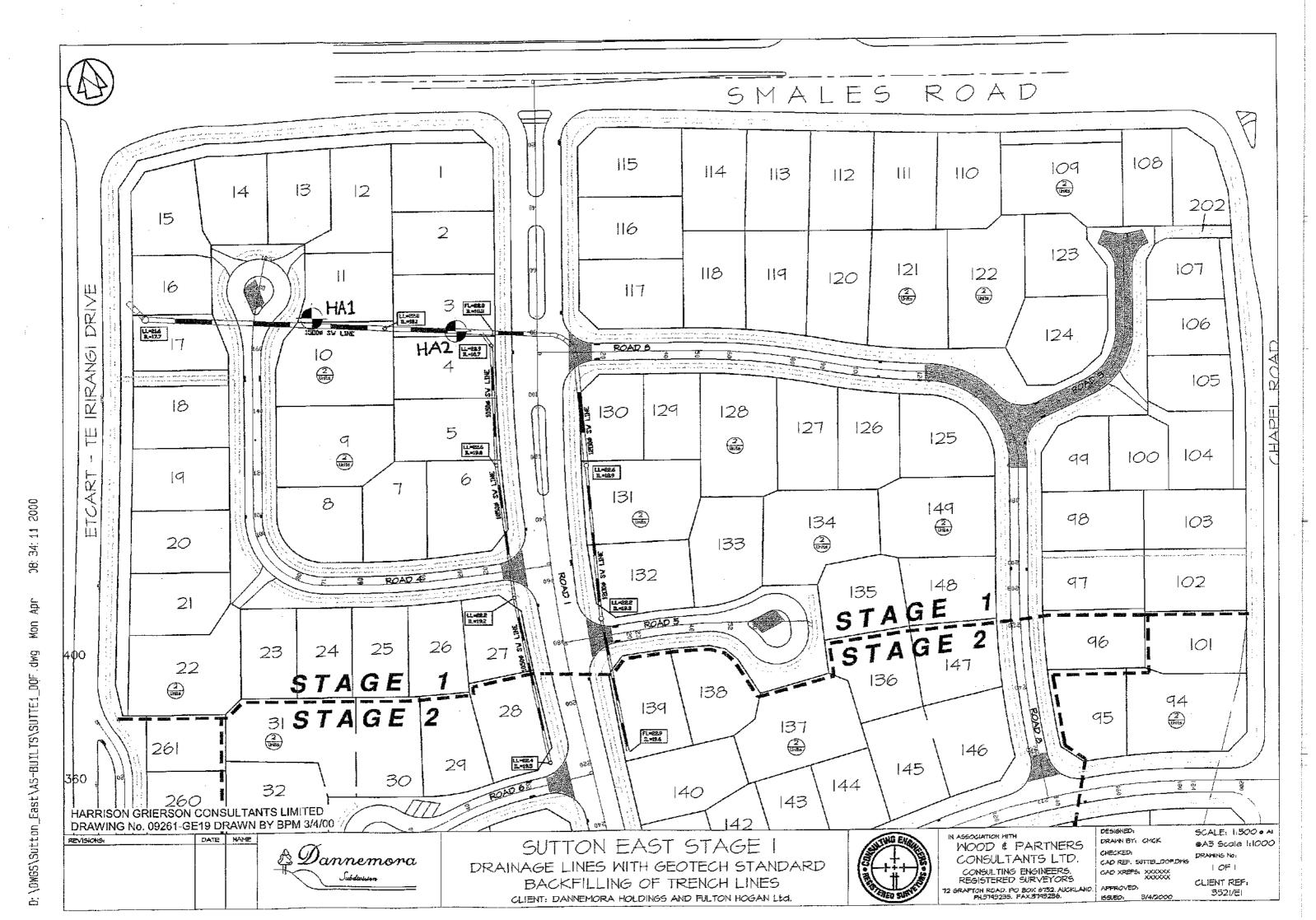


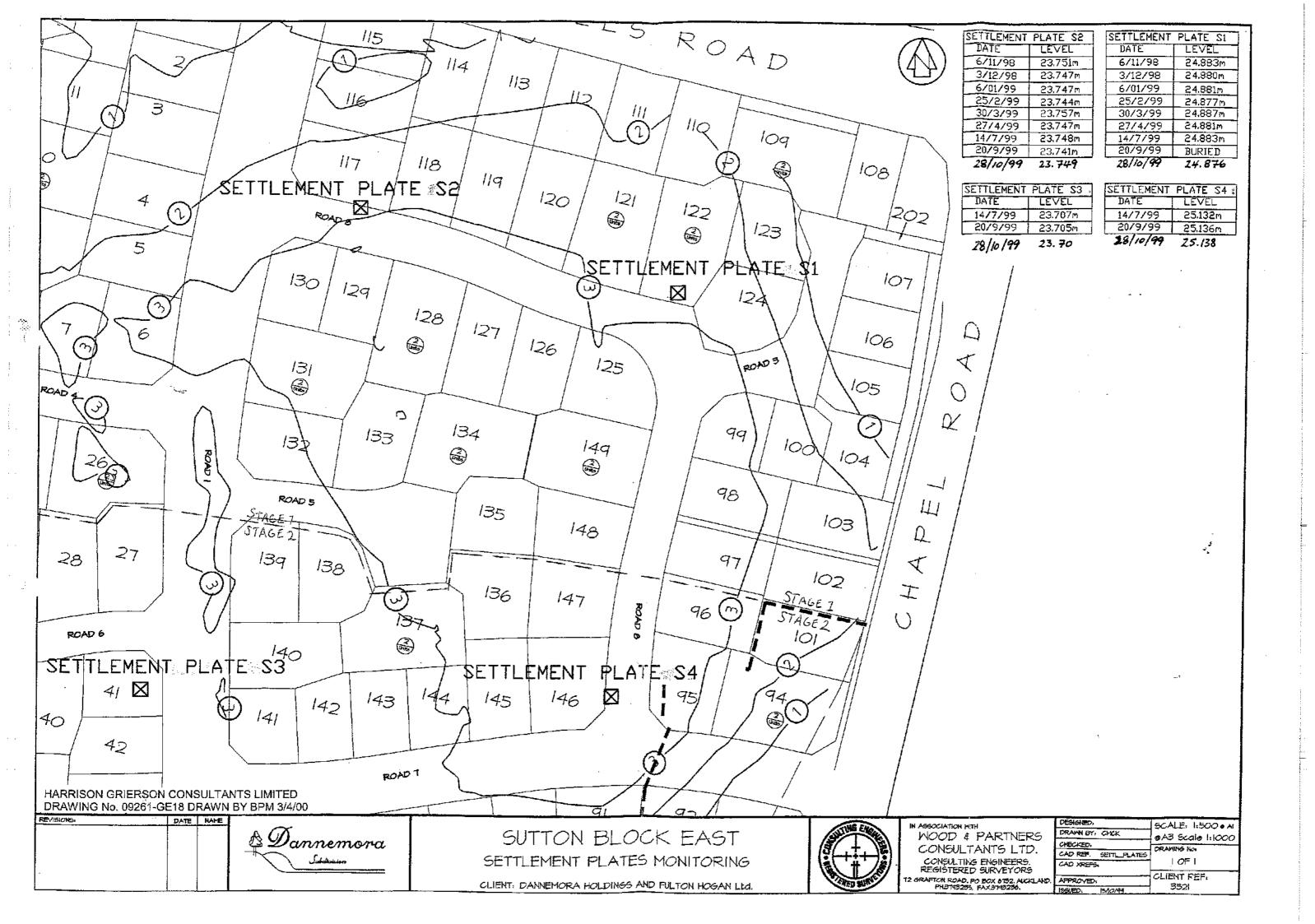


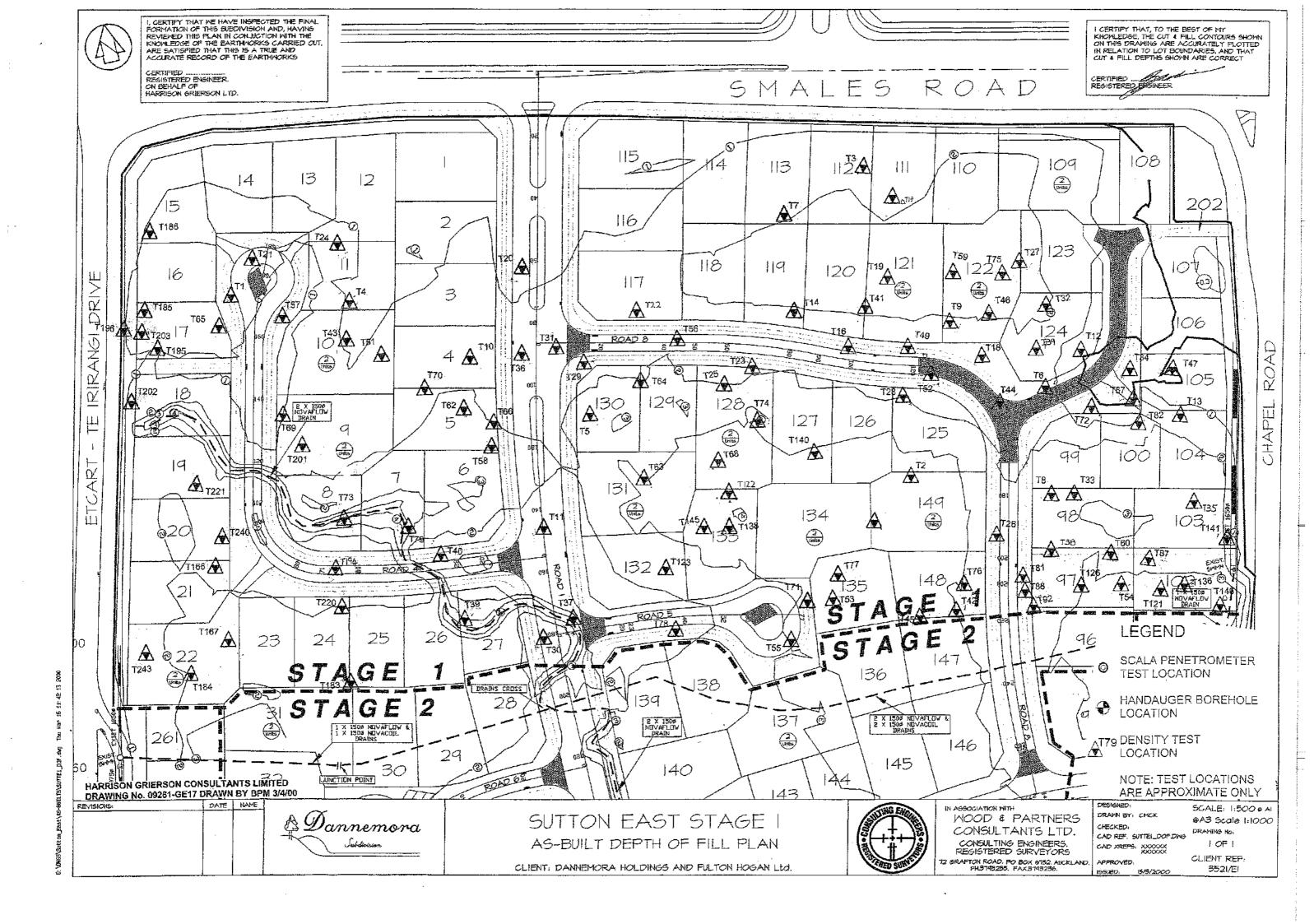


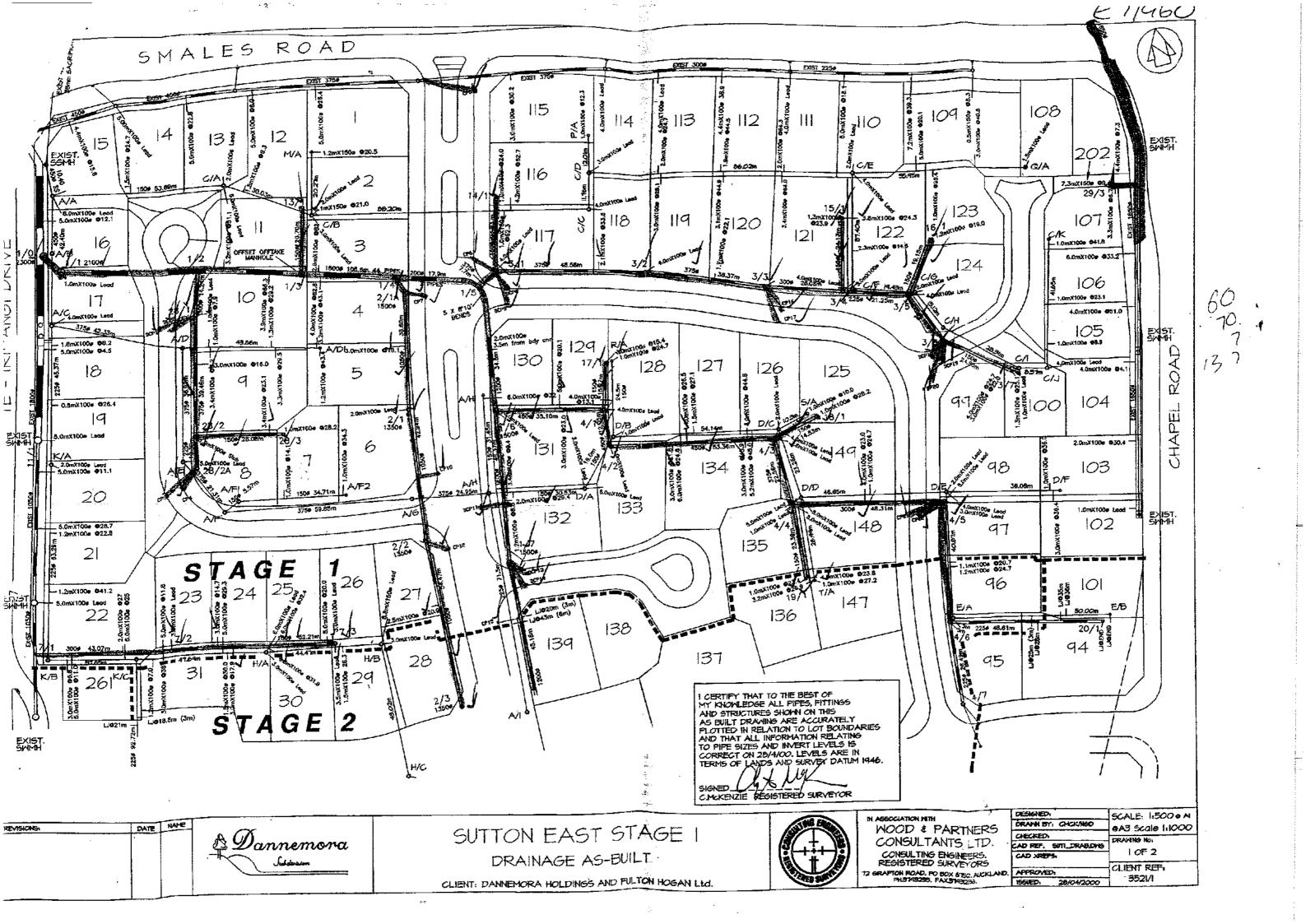












SANITARY SEWER MANHOLE COORDINATES

MH	NORTHING	EASTING	L.L	IL.	DEPTH
A/A	692827. 86	312825, 53	21, 90	18. 45	3. 45
A/B	692809. 66	312820, 99	21, 59	19. 16	2, 43
A/C	692786, 80	312815, 52	21, 17	19. 44	1, 73
A/D	692768. 27	312854. 02	21, 15	19, 71	1. 44
A/E	692732, 23	312845, 86	21, 37	19. 9 3	1. 44
A/F	692712. 90	312854, 55	21. 50	20, 05	1, 45
A/FI	692715, 06	312859, 73	21.90	20. 30	1, 60
A/G	692702. 97	312913. 71	21. 96	20. 42	1, 54
A/H	692699. 05	312938, 27	22. 20	20, 60	1. 60
C/A	692816, 31	312877, 95	22, 66	19, 32	3, 34
C/B	692800. 02	312903, 22	23, 23	19. 61	3, 62
CIC	692781. 56	312989, 65	23. 80	20, 33	3. 47
C/D	692792, 84	31 299 2, 27	24. 02	20. 49	3, 53
C/E	692773, 69	313076. 25	24, 83	21. 16	3. 67
C/F	692736. 69	313068, 14	23. 6 9	21, 54	2. 15
CIG	692730, 94	313086, 70	24, 13	21. 74	2. 39
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00012111122					
MH	NORTHING	EASTING			
D/F	692657.096	313117.615			
T/A	692646.991	313034,602			
C\K	692737.677	313132.513			
R/A	692731.911	312986,217			
A\HI	692730.394	312943,498			
AVF2	692709.120	312843.887			
A\DI	692757,372	312896.468			
5/A	692700.219	313044.484			
M/A	692819.573	312907.785			
P/A	692804.560	312994.644			

STORMWATER MANHOLE COORDINATES

5	STORMHATER MANHOLE COORDINATES					
MH	NORTHING	EASTING	LL	II_	DEPTH	
1/0	692809.19	312819.74	21, 53	17, 62	3. 91	
1/1	692803. 20	312821, 87	21. 62	17. 71	3, 91	
1/3	692782, 80	312895, 91	23. 11	18. 17	4. 94	
1/6	692725, 09	312946. 15	22, 73	18, 96	3. 77	
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2/1	692732, 75	312919, 19	22, 67	19, 03	3, 64	
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2/2	692688. 62	312915, 30	22. 21	19. 31	2. 90	
2/3	692634, 59	312914. 36	22, 54	19, 68	2, 86	
3/1	692768. 79	312956, 52	22. 65	19. 84	2, 81	
3/2	692757. 73	313004, 26	22, 91	20. 85	2, 06	
3/3	692743. 79	313040.00	23. 08	21. 10	1. 98	
3/4	692736, 14	313064. 93	23, 50	21. 34	2, 16	
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4/1	692717, 10	312980, 29	23. 91	20, 34	3, 57	
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28/2	692739. 01	312851. 26	21. 53	19. 23	2. 30	
28/2A	692728, 85	312849, 46	21. 61	19, 37	2. 24	
				-		

STORMWATER LEAD END COORDINATES

MH	NORTHING	EASTING
13/1	692802.977	3 290 ,0 6
14/1	692791.938	312961.943
15/1	692759.742	313069.784
16/1	692746.492	313095,703
17/1	692731,839	312984.227
18/1	692698.595	313046.937
19/1	692648.426	313031.952
28/3	692732.969	312878.684
29/3	692749,866	313156.568

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE ALL PIPES, FITTINGS AND STRUCTURES SHOWN ON THIS AS BUILT DRAWING ARE ACCURATELY PLOTTED IN RELATION TO LOT BOUNDARIES AND THAT ALL INFORMATION RELATING TO PIPE SIZES AND INVERT LEVELS IS CORRECT ON 26/4/00, LEVELS ARE IN TERMS OF LANDS AND SURVEY DATUM 1946.

DATE NAME REVISIONS. **&** Dannemora

SUTTON EAST STAGE I

CLIENT, DANNEMORA HOLDINGS AND FULTON HOGAN Ltd.

DRAINAGE AS-BUILT



IN ASSOCIATION WITH WOOD & PARTNERS CONSULTANTS LTD.

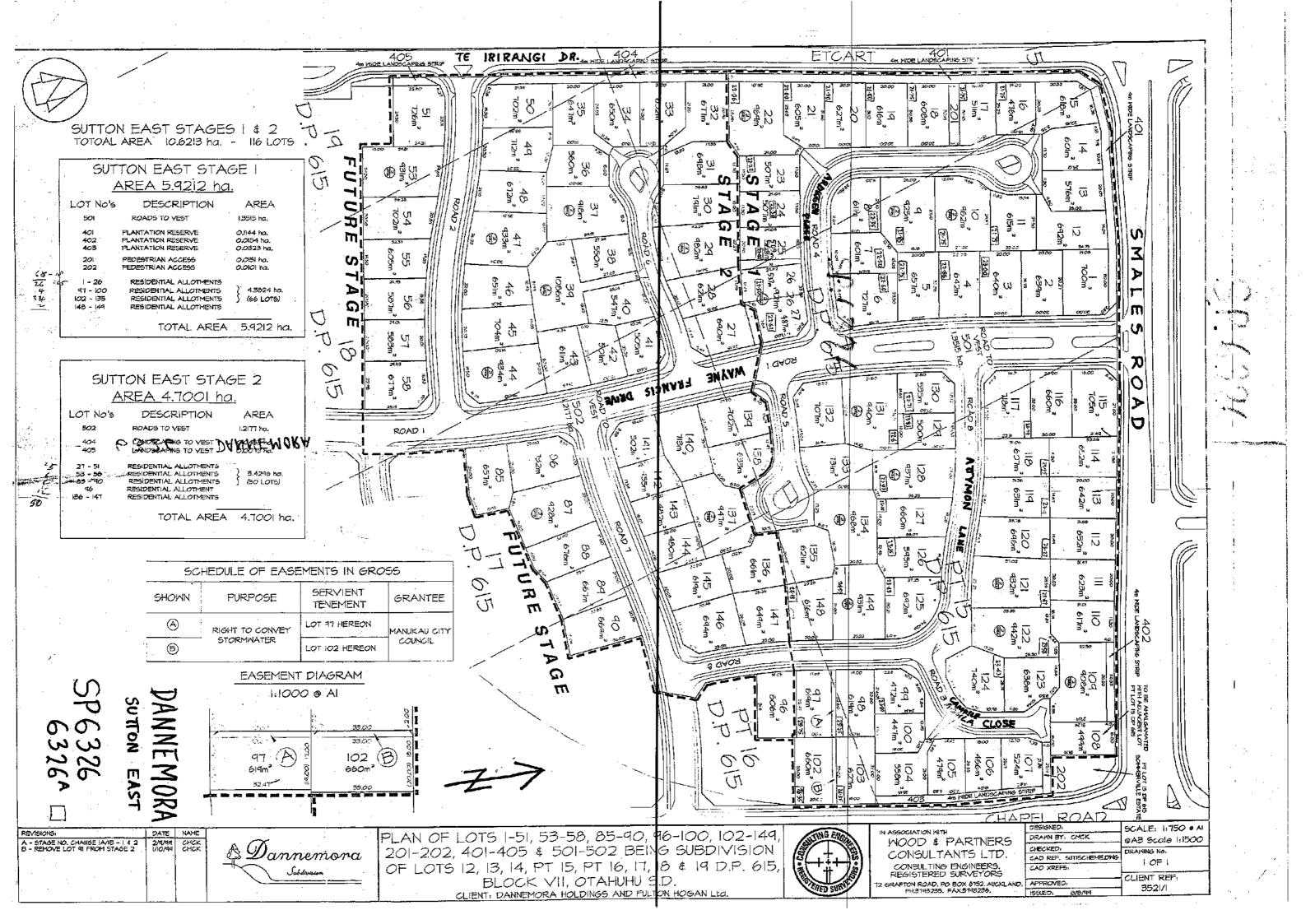
CONSULTING ENGINEERS. REGISTERED SURVEYORS 2 GRAFTON ROAD, PO BOX 6152, AUCKLAND, PH.81193295, FAX.91193296, DESIGNED. SCALE: DRAWN BY CHCKNED

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DRAMMO No. 2 OF 2 CLIENT REF

3521/1

APPROVED: IBRUED. 28/04/2000



PROJECT CHECKLIST

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14693		SP6198		110	-1000 / 1 MOOVA	
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Land drainage		0999-982	2			
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FILE SHEET 1

Environmental Services

14 September 1999

Wood & Partners Consultants Ltd. PO Box 6752 Wellesley Street **AUCKLAND**

Attention: Mr D Wood

Dear Sir

Applicant:

Dannemora Holdings Ltd and Fulton Hogan Ltd

Application:

Resource Consent for Land Use for Concept Subdivision and Land

Modification

Location:

474 Chapel Road (previously East Tamaki Road) - Land area

immediately south of Smales Road and immediately east of ETCART

MCC Reference:

SP 6198, Proposal 14693

Legal Description:

Lots 12,13,14,17,18,& 19 and Pt Lots 11,15 & 16 DP 615

Zone:

Residential 2 (Manukau Operative District Plan) Main Residential (Manukau Proposed District Plan)

LAND USE APPROVAL ONLY FOR CONCEPT SUBDIVISION AND LAND MODIFICATION (Sutton Block-East, Stage 1)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non Complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Restricted Discretionary Activity pursuant to the provisions of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

- This consent does not constitute a subdivision consent. Application is to be made for such a consent where that application complies with or addresses to the satisfaction of the Council the rules and requirements of the Manukau Operative Transitional and Proposed District Plans. This will include the lodgement of a new Form 5 and a full submission including engineering plans for approval in accordance with the following conditions of the land use consent prior to the works commencing. Further conditions will be imposed in the subsequent subdivision consent.
- 2 The earthwork construction shall be undertaken in accordance with the erosion and sediment control plan as detailed in the approved plans referenced E7/14693 (1 sheet) by Council, and in compliance with all conditions of the Auckland Regional Council soil conservation consent for bulk earthworks and silt control, and the following:

Enquiries to:

Michael Pritchard

Reference: SP 6198

Proposal 14693

Direct Telephone:

09 262 8900 extn. 5874

Direct Facsimile

09 262-5168

- (a) A current resource consent for these works shall be obtained by the applicant from the Auckland Regional Council prior to any works commencing on site, and a copy supplied to Council.
- (b) The site shall be stabilised against erosion as soon as practicable and in a progressive manner as earthworks are finished over various areas of the site.
- (c) All land modification works associated with the activity involving either removal of soil from the site to an approved clean fill location or its relocation on site, shall be undertaken in such a manner as to ensure that beyond the boundary of the site there should be no 'dust' or 'soil erosion/siltation', which in the opinion of an enforcement officer who is employed by Council, is objectionable, offensive or has the potential to create an adverse effect on the receiving environment.
- (d) The applicant shall be responsible to ensure that the land within the above site and the land on adjoining properties remains stable at all times in respect to the approved works.
- (e) Control measures shall be put in place to ensure that any trucks leaving the site do not deposit soil or other debris on public roads. Any soil or other debris deposited on any public road shall be cleaned up immediately at the applicant's expense.
- 3 (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage the development of such lots shall be undertaken generally in terms of the recommendations in that report.

As a component of the subsequent full subdivision a consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 4 At the time of full subdivision consent the following financial contribution levies will be payable as determined by the Council.
 - (a) A comprehensive stormwater discharge levy (FC45) which is currently calculated at \$410.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (b) A contribution to the Tamaki/Point View Stormwater quality pond (FC3) which is currently calculated at \$7,818.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (c) A contribution to the Smales Road Sewer (FC139). This will be assessed at the time of full subdivision.
 - (d) A contribution towards the new 200 mm dia watermain which is to be installed along Smales Road by Manukau Water. This contribution shall be based on the road frontage of the subdivision.
 - (e) A contribution toward the construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of lots 15, 16, 17, 151, 18, 19, 20, 21, 22, 32, 33, 34, 35 and 50. From the projected northern boundary of lot 51 south to the projected southern boundary of lot 52. This being the length of frontage where no edge treatment is provided to the ETCART route. This contribution is to be based on a through road standard.

(f) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of pt lot 15 DP 615 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and pt lot 15 DP 615. This contribution shall be based on a through road standard.

- 5 The applicant shall construct at no cost to the Council all works required to intersect Road 8 with ETCART and Road 1 with Smales Road, including construction of footpaths and berms.
- The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road. The value of this work shall be deducted from the contribution required in Condition 4(f).
- 7 All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
- 8 All roads are to be fully constructed with stormwater control, including the provision of street landscaping.
- 9 A Traffic Management Plan detailing road marking and signage shall be provided with the engineering plans for subdivision consent.
- Road upgrading works will be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for the road upgrading works shall be submitted for approval with the subsequent subdivision application.

- 11 Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the road crossing has been predetermined.
- 12 A road marking and signage plan shall be provided with the engineering drawings for subdivision consent.
- 13 (a) A piped stormwater system connecting to the nearest adequate system shall be installed to cater for the new lots created which makes provision for the upstream catchment.

- (b) As the applicant proposes to fill and block off the natural open drainage, adequate provision is to be made to cater for the estimated 100 year storm utilising a primary piped system for the 20% event and a secondary overland flow system to cater for bigger storms up to the 1% event.
- (c) Where any residential lot is subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents are to be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

Minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for any lots adjoining this flow path shall be resolved with the Council.

- (d) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing. (As a component of the subsequent full subdivision consent compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act).
- A piped sanitary sewage system connecting to the nearest adequate system shall be installed to cater for the new lots created and which makes provision for the upstream catchment.
- An adequate water supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- An adequate natural gas supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- 17 (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.

- (d) Any existing overhead services along the Chapel Road frontage are to be relocated underground unless advice has been received from the utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- 18 Street lighting facilities shall be supplied and installed on all new roads and Chapel Road.
- 19 (a) Prior to commencement of construction works, an environmental management plan is to be submitted for the Council's approval, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the subdivision:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with NZS 6803:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work".
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises. (Any queries in the foregoing should be referred to the Council's Environmental Protection Services Manager).
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of Rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)						
PERIOD	Monday - Saturday			Sunday and Public Holidays			
	L ₉₅	L ₁₀	L _{mex}	L ₈₅	L ₁₀	L _{max}	
0700-1800	60	` 7 5	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	65	

(d) The noise levels shall be measured and assessed in accordance with NZS 6803P:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition".

- 20 All lots shall comply with the subdivisional requirements of the District Plan.
- 21 All roads and accessways within the subdivision as shown on SP6198 and road widening in accordance with the Proposed District Plan shall be vested in the Manukau City Council.
- Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (subject to the prior approval of the District Land Registrar).
- 23 Lots 1002 to 1005 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.
 - As a component of the subsequent full subdivision a consent notice is to be registered on the certificate of titles of the relevant lots which share a common boundary with Lots 1002 to 1005 in accordance with Section 221 of the Act to prevent any access from the relevant lots to the adjoining arterial roads.
- Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for the subsequent subdivision.

REASONS FOR THE DECISION

- No submissions have been identified against the proposed zoning of the land to Main Residential in the Manukau Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- The granting of the resource consent and subsequent subdivision will have no more than minor adverse effects on the environment.
- The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau Proposed District Plan and Sections 104, 105 and 405 of the Resource Management Act 1991.

ADVICE NOTES

The applicant is advised as follows:

In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.

- 2 Subsequent applications for subdivision for the subject site must be accompanied by a full assessment of environmental effects, a report on assessment of the proposal against the criteria set out in the District Plan and full engineering details.
- 3 The Council's Land Information Register will record:
 - (a) Any consent notices pursuant to conditions herein.
 - (b) Any right to drain water easement pursuant to Condition 13(c).
- That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- That no engineering works(excluding land modification) are permitted to be carried out until engineering plans have been approved by the Council.
- 6 That reserve contribution requirements will be assessed in conjunction with the subsequent application for subdivision consent.
- 7 The previous practice of providing berm gardens(including temporary provisions) will not be permitted in the subsequent subdivision.
- 8 No consideration or approval has been given to the future lots outside this stage shown on the plan of subdivision.
- Although the proposed location of the earthworks do not contain any known archaeological sites, it is possible that unrecorded sites may exist. Any archaeological site uncovered during development by the applicant shall be reported to the New Zealand Historic Places Trust. Under the Historic Places Act 1993, it is unlawful for any person to destroy, damage or modify an archaeological site unless the relevant consents have been obtained from the Trust.
- The applicant is advised to liaise with Manukau Water in relation to the subdivisional water reticulation requirements along the frontages of ETCART Road, Chapel Road and the internal reticulation.
- 11 Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rate specified in condition 4(b) then this rate will be amended accordingly, if this occurs prior to the Section 224 release.

COSTS

Pursuant to Section 36 of the Resource Management Act 1991 and in accordance with the Council's Schedule of Charges the applicant shall be responsible for paying administrative charges relating to receiving, processing and granting of the resource consent. The deposit of \$562.50 already paid will be deducted from the total costs.

2 Further charges will apply to the subsequent application for subdivision consent and supervision and monitoring of works.

RIGHT OF OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

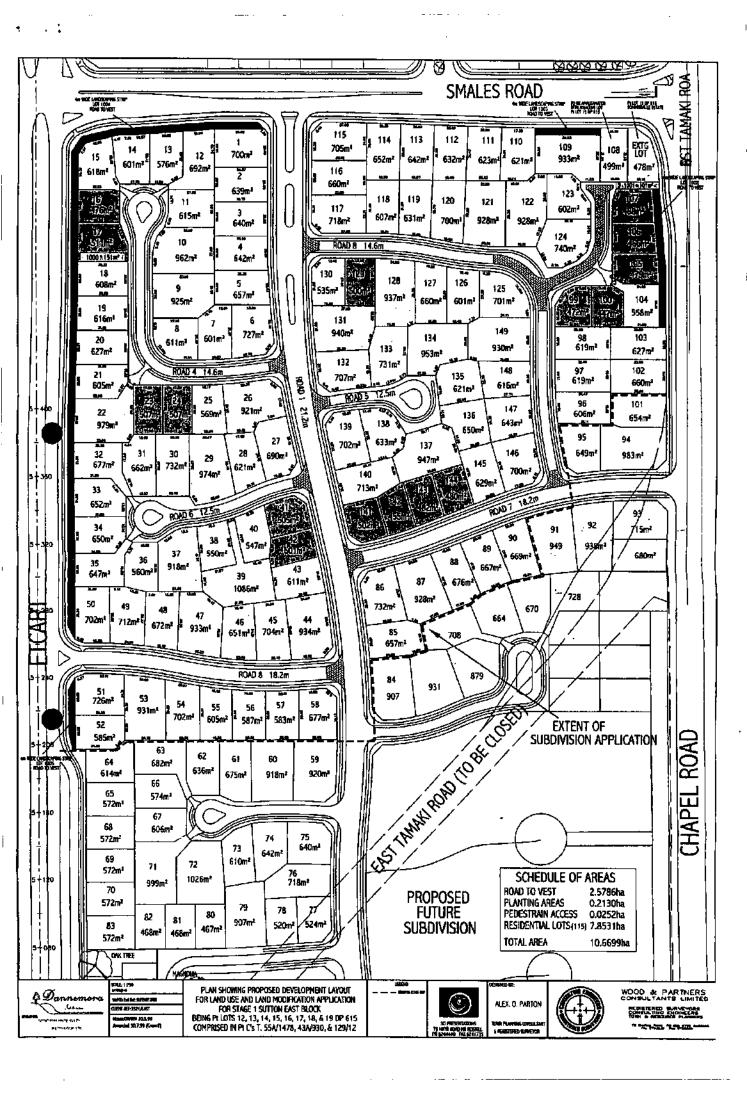
Yours faithfully

in Days

RE:S357 km 🛴 1391

Howard Wright

Acting Team Leader - Resource Consents RESOURCE CONSENTS & COMPLIANCE UNIT





			City Council
	TAX INVOI 18313	<u>CE</u>	Private Bag 76917 Manukau City New Zealand
Dannemora Holdings Ltd/ Fulton Hogan Ltd Private Bag	Date Customer No Cust Order	20/09/1999 016483	DX EP75557 Ph 09 263 7100 Fax 09 262 5151 www.manukau.govt.nz
Ellerslie	Our Ref	421794	
	GST NUMBER	51-963-660	

Description	G/L Code		Qty	Price	Net
R35 Lodgement Meeting	3330 1257.D14693	HRS	2.80	80.00	224.00
R45 Site Visits	3330 1257.D14693	HRS	1.30	60.00	78.00
R50 Plan Analysis	3330 1257.D14693	HRS	8.20	78.70	645.42
R60 Professional Assess.	3330 1257.D14693	HRS	31.30	63.76	1995.69
R75 Staff Coordination	3330 1257.D14693	HRS	1.50	75.00	112.50
R80 Report Formulation	3330 1257.D14693	HRS	2.00	60.00	120.00
R85 Final Decision	3330 1257.D14693	HRS	2.90	75.00	217.50
R90 Documentation	3330 1257.D14693	HRS	1.20	63.33	76.00
SPA Administration Fee	3330 1257.D14693	EACH	1.00	100.00	100.00
DISBURSEMENTS:					
Z00 Manukau Water	3330 12 57 .D14693	HRS	2.70	66.65	179.98
Z10 Site photographs	3330 1257.D14693	11163	4.00	1.50	6.00
210 Sice phocographs	3330 1237,214033				
Application for Resource	Consent for Land Use		8 43083 Standars	Debto 100098	512087 \$3661.9
	;		23.09.99 rcor	mai 102 0H20M	E

Less Deposit Received (Excl. GST)		-500.00
421794 P14693/74 - 474 East Tamaki Rd Otara - Land Use - 116 lot sutton block STG1 concept land modification - (SP6198)	SUB TOTAL G.S.T. TOTAL	3255.09 406.89 3661.98



FACSIMILE



Manukau Water

Private Bag 76-917, Manukau City, New Zealand - Telephone (09) 262 5499, Facsimile (09) 262 5725

To:

Don Wood

Of:

Wood and Partners

Fax:

379-3236

Pages: 1

From:

Mandy Francis

Date:

15 September, 1999

All the meterial in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others, please notify us promptly of your having received this message and return it to us uncopied. We will reimburse your cost of trensmission to us.

Site Address: 474 EAST TAMAKI ROAD, OTARA

Site ref:

SP6198

Proposal Number:

14693

Thank you for your letter asking for Manukau Water to contribute to a public wastewater system Dannemora are constructing as part of the above subdivision development.

The following condition was included in the draft consent:

A piped sanitary sewage system connecting to the nearest adequate system shall be installed to cater for the new lots created and which makes provision for the upstream catchment.

Manukau City Council's District Plan requires that the upstream catchment is serviced by the development (section 9.9.2.12(b) of the proposed plan). This requirement has been carried forward into the above condition.

Manukau Water sometimes act as banker if there is a public benefit or there are a multitude of land owners serviced by a large system.

In answer to your request, we will not be contributing to your proposed wastewater system which is to be installed in accordance with the District Plan requirements.

If you have any further questions please call me on 262-8900 ext 7461.

Yours faithfully

Mandy Francis PLANNING ENGINEER **MANUKAU WATER**



Private Bag 76-917, Manukau City

Facsimile:

(09) 262 5168

Telephone:

(09) 262-8900

TO:

Manukau Water

ATTENTION:

Nihal Ginige

FAX NO:

5725

FROM:

Alan Payne

EXTENSION:

8706

DATE:

6/9/99

PAGES (incl.) 3

Dannemora - Sutton East SP 6198 Proposal 14693

Please comment on item 4 of the attached letter.

Yours sincerely

Alan Payne

Resource Management Engineer

Resource Consents & Compliance Unit

The information in this facsimile is confidential between Manukau City Council and the intended recipient. Any other persons receiving this facsimile are required to respect that confidentiality and may not disclose, copy or make use of its contents. If you have received this message in error please notify Manukau City Council immediately and destroy this facsimile.

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.I.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



Our Ref: DM/SuttonE1/RC

3 September 1999

The Acting Team Leader
Resource Consent
Resource Consents & Compliance Unit
Environmental Services
Manukau City Council
Private Bag
MANUKAU

ATTN: MR HOWARD WRIGHT

Dear Howard

DANNEMORA - SUTTON EAST LAND MODIFICATION AND LAND USE CONSENTS SP 6198 - PROPOSAL NO. 14693

Thank you for your Draft copy of the Resource Consent for the above works sent to us for comment.

The Consent in general is along the lines of previous consents, and as such meets with Dannemora's approval subject to the following comments.

- We have some difficulty with Council's approach to the Land Use Concept Subdivision, and the subsequent Resource Consent (Subdivision). We are of the opinion that there is a considerable duplication of information now being required by Council in that:
 - (a) The Concept i.e. Land Use Consent is no longer just a concept but requires an in depth submission and all details shown on the plans.
 - (b) The information to be supplied with the Application for Subdivisional Consent now requires a new assessment of effects and a full submission, despite the fact that all of this information has already been supplied with the earlier Land

use submission. The information required is reiterated in advice note No. 2.

We would appreciate the opportunity to discuss this position with Council Officers.

(c) Item 4(b) Stormwater Quality Pond Contribution.

> We have already had submissions on this subject with the Alex Parton report, and discussions with Yesenko Krpi.

> We understand Alex has not heard from Yesenko for a fortnight. Has the submission been placed on the October Hearings Committee agenda.

> If the draft wording for Condition 4(b) is carried forward on the actual consent, Dannemora would make a submission to the Hearings Committee along the line of that already made for Armstrongs 2B Subdivision Consent.

- Items 4(c) and 4(d) do not have any monetary values. Dannemora would reserve 3. the right to make submissions on these items once the values are known.
- Item 14: As this sewer will take flow from the upstream catchment from land which 4. does not belong to Dannemora, i.e. Howick Parklands, and the Rural 3 areas. A contribution from these areas would be required by Dannemora. This matter needs to be clarified by Manukau Water.

We look forward to receiving the full land modification and Land use Consent.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD

Director

APPENDIX E, PEER REVIEW

BRS-RC-		
	Issu	e 1
	Page 7 o	if 1

RESOURCE CONSENT - PEER REVIEW

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	14693 474 EAST TAMAKI ROAD OTARA DANNEMORA HOLDINGS PRIVATE BAG ELLERSLIE H6 LOT SUTTON BLOCK STGI CO	HI 12629 \$562,50	L		
L	and also the first the state of	en e de la managementa de	Yes	No No	N/A
1.	Site visit undertaken:		res ☑		·να Π
2.	Section 94 analysis completed:		<u>.</u> ⊠		_
3.	Approval from affected persons obtain	ned:	П		
4.	Recommendation and conditions che		₽′		
5.	Report signed and dated:	oncu.	[Z] E3	П	
-			9	_	
Team	Leader (or nominee):	Dreyho			÷

Environmental Services

14 September 1999

Wood & Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

Applicant:

Dannemora Holdings Ltd and Fulton Hogan Ltd

Application:

Resource Consent for Land Use for Concept Subdivision and Land

Modification

Location:

474 Chapel Road (previously East Tamaki Road) - Land area

immediately south of Smales Road and immediately east of ETCART

MCC Reference:

SP 6198, Proposal 14693

Legal Description:

Lots 12,13,14,17,18,& 19 and Pt Lots 11,15 & 16 DP 615

Zone:

Residential 2 (Manukau Operative District Plan)
Main Residential (Manukau Proposed District Plan)

LAND USE APPROVAL ONLY FOR CONCEPT SUBDIVISION AND LAND MODIFICATION (Sutton Block-East, Stage 1)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non Complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Restricted Discretionary Activity pursuant to the provisions of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

- This consent does not constitute a subdivision consent. Application is to be made for such a consent where that application complies with or addresses to the satisfaction of the Council the rules and requirements of the Manukau Operative Transitional and Proposed District Plans. This will include the lodgement of a new Form 5 and a full submission including engineering plans for approval in accordance with the following conditions of the land use consent prior to the works commencing. Further conditions will be imposed in the subsequent subdivision consent.
- The earthwork construction shall be undertaken in accordance with the erosion and sediment control plan as detailed in the approved plans referenced E7/14693 (1 sheet) by Council, and in compliance with all conditions of the Auckland Regional Council soil conservation consent for bulk earthworks and silt control, and the following:

Enquiries to:

Michael Pritchard

Reference: SP 6198

Proposal 14693

Direct Telephone: Direct Facsimile 09 262 8900 extn. 5874 09 262-5168

- (a) A current resource consent for these works shall be obtained by the applicant from the Auckland Regional Council prior to any works commencing on site, and a copy supplied to Council.
- (b) The site shall be stabilised against erosion as soon as practicable and in a progressive manner as earthworks are finished over various areas of the site.
- (c) All land modification works associated with the activity involving either removal of soil from the site to an approved clean fill location or its relocation on site, shall be undertaken in such a manner as to ensure that beyond the boundary of the site there should be no 'dust' or 'soil erosion/sittation', which in the opinion of an enforcement officer who is employed by Council, is objectionable, offensive or has the potential to create an adverse effect on the receiving environment.
- (d) The applicant shall be responsible to ensure that the land within the above site and the land on adjoining properties remains stable at all times in respect to the approved works.
- (e) Control measures shall be put in place to ensure that any trucks leaving the site do not deposit soil or other debris on public roads. Any soil or other debris deposited on any public road shall be cleaned up immediately at the applicant's expense.
- 3 (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage the development of such lots shall be undertaken generally in terms of the recommendations in that report.

As a component of the subsequent full subdivision a consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 4 At the time of full subdivision consent the following financial contribution levies will be payable as determined by the Council.
 - (a) A comprehensive stormwater discharge levy (FC45) which is currently calculated at \$410.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (b) A contribution to the Tamaki/Point View Stormwater quality pond (FC3) which is currently calculated at \$7,818.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (c) A contribution to the Smales Road Sewer (FC139). This will be assessed at the time of full subdivision.
 - (d) A contribution towards the new 200 mm dia watermain which is to be installed along Smales Road by Manukau Water. This contribution shall be based on the road frontage of the subdivision.
 - (e) A contribution toward the construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of lots 15, 16, 17, 151, 18, 19, 20, 21, 22, 32, 33, 34, 35 and 50. From the projected northern boundary of lot 51 south to the projected southern boundary of lot 52. This being the length of frontage where no edge treatment is provided to the ETCART route. This contribution is to be based on a through road standard.

(f) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of pt lot 15 DP 615 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and pt lot 15 DP 615. This contribution shall be based on a through road standard.

- The applicant shall construct at no cost to the Council all works required to intersect Road 8 with ETCART and Road 1 with Smales Road, including construction of footpaths and berms.
- The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road. The value of this work shall be deducted from the contribution required in Condition 4(f).
- 7 All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
- 8 All roads are to be fully constructed with stormwater control, including the provision of street landscaping.
- 9 A Traffic Management Plan detailing road marking and signage shall be provided with the engineering plans for subdivision consent.
- Road upgrading works will be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for the road upgrading works shall be submitted for approval with the subsequent subdivision application.

- 11 Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the road crossing has been predetermined.
- 12 A road marking and signage plan shall be provided with the engineering drawings for subdivision consent.
- 13 (a) A piped stormwater system connecting to the nearest adequate system shall be installed to cater for the new lots created which makes provision for the upstream catchment.

- (b) As the applicant proposes to fill and block off the natural open drainage, adequate provision is to be made to cater for the estimated 100 year storm utilising a primary piped system for the 20% event and a secondary overland flow system to cater for bigger storms up to the 1% event.
- (c) Where any residential lot is subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents are to be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

Minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for any lots adjoining this flow path shall be resolved with the Council.

- (d) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing. (As a component of the subsequent full subdivision consent compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act).
- 14 A piped sanitary sewage system connecting to the nearest adequate system shall be installed to cater for the new lots created and which makes provision for the upstream catchment.
- An adequate water supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- An adequate natural gas supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- 17 (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.

- (d) Any existing overhead services along the Chapel Road frontage are to be relocated underground unless advice has been received from the utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- 18 Street lighting facilities shall be supplied and installed on all new roads and Chapel Road.
- 19 (a) Prior to commencement of construction works, an environmental management plan is to be submitted for the Council's approval, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the subdivision:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with NZS 6803:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work".
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises. (Any queries in the foregoing should be referred to the Council's Environmental Protection Services Manager).
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of Rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME PERIOD	NOISE LEVEL (dBA)					
	Monday - Saturday			Sunday and Public Holidays		
	L ₉₅	L10	L _{max}	L ₉₅	L ₁₀	L _{max}
0700-1800	60	75	85	45	50	65
1800-2200	45	50	65	40	45	65
2200-0700	35	40	65	35	40	65

(d) The noise levels shall be measured and assessed in accordance with NZS 6803P:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition".

<u>المستحدة</u> ، سو

- 20 All lots shall comply with the subdivisional requirements of the District Plan.
- 21 All roads and accessways within the subdivision as shown on SP6198 and road widening in accordance with the Proposed District Plan shall be vested in the Manukau City Council.
- Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (subject to the prior approval of the District Land Registrar).
- 23 Lots 1002 to 1005 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

As a component of the subsequent full subdivision a consent notice is to be registered on the certificate of titles of the relevant lots which share a common boundary with Lots 1002 to 1005 in accordance with Section 221 of the Act to prevent any access from the relevant lots to the adjoining arterial roads.

Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for the subsequent subdivision.

REASONS FOR THE DECISION

- No submissions have been identified against the proposed zoning of the land to Main Residential in the Manukau Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- The granting of the resource consent and subsequent subdivision will have no more than minor adverse effects on the environment.
- The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau Proposed District Plan and Sections 104, 105 and 405 of the Resource Management Act 1991.

ADVICE NOTES

The applicant is advised as follows:

In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.

- 2 Subsequent applications for subdivision for the subject site must be accompanied by a full assessment of environmental effects, a report on assessment of the proposal against the criteria set out in the District Plan and full engineering details.
- 3 The Council's Land Information Register will record:
 - (a) Any consent notices pursuant to conditions herein.
 - (b) Any right to drain water easement pursuant to Condition 13(c).
- That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- That no engineering works(excluding land modification) are permitted to be carried out until engineering plans have been approved by the Council.
- That reserve contribution requirements will be assessed in conjunction with the subsequent application for subdivision consent.
- 7 The previous practice of providing berm gardens(including temporary provisions) will not be permitted in the subsequent subdivision.
- 8 No consideration or approval has been given to the future lots outside this stage shown on the plan of subdivision.
- Although the proposed location of the earthworks do not contain any known archaeological sites, it is possible that unrecorded sites may exist. Any archaeological site uncovered during development by the applicant shall be reported to the New Zealand Historic Places Trust. Under the Historic Places Act 1993, it is unlawful for any person to destroy, damage or modify an archaeological site unless the relevant consents have been obtained from the Trust.
- The applicant is advised to liaise with Manukau Water in relation to the subdivisional water reticulation requirements along the frontages of ETCART Road, Chapel Road and the internal reticulation.
- 11 Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rate specified in condition 4(b) then this rate will be amended accordingly, if this occurs prior to the Section 224 release.

COSTS

Pursuant to Section 36 of the Resource Management Act 1991 and in accordance with the Council's Schedule of Charges the applicant shall be responsible for paying administrative charges relating to receiving, processing and granting of the resource consent. The deposit of \$562,50 already paid will be deducted from the total costs.

2 Further charges will apply to the subsequent application for subdivision consent and supervision and monitoring of works.

RIGHT OF OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

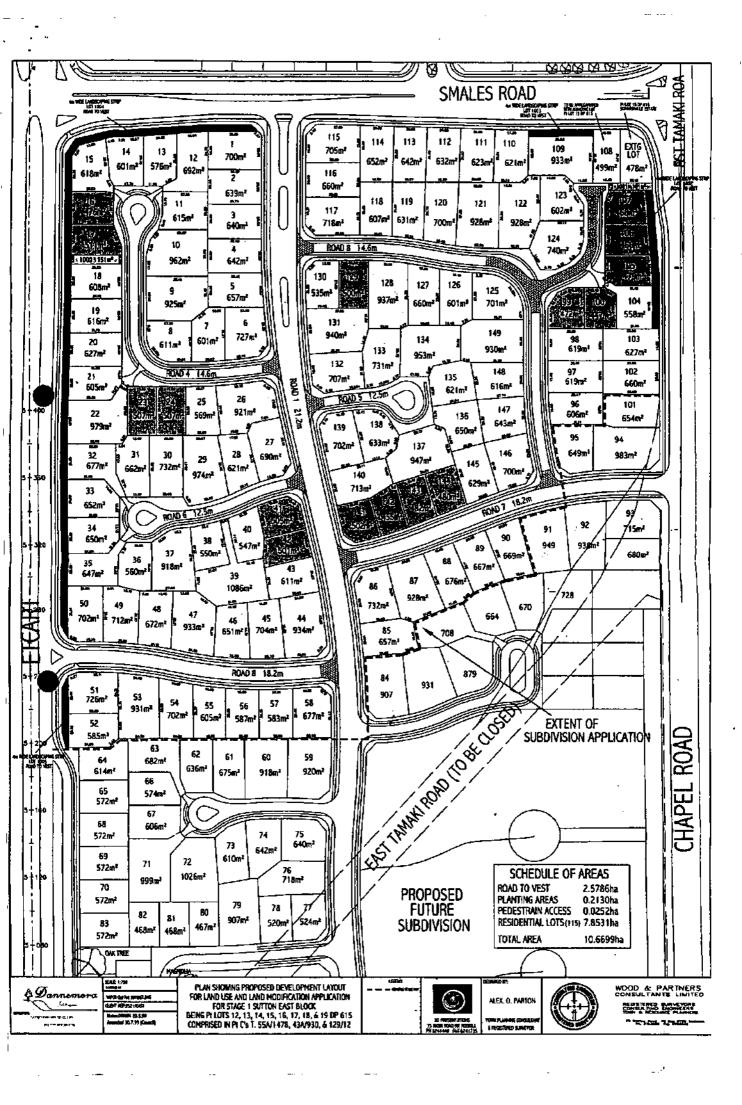
Yours faithfully

Date 23/9/99

RE: 5 307 11 27 1391

Howard Wright

Acting Team Leader - Resource Consents RESOURCE CONSENTS & COMPLIANCE UNIT



MANUKAU CITY COUNCIL

APPLICATION FOR RESOURCE CONSENT NOT REQUIRING NOTIFICATION CONSIDERED UNDER DELEGATED AUTHORITY

Dannemora Holdings Ltd & Fulton Hogan Ltd Concept Subdivision of Sutton East Block Stage 1 Proposal 14693 SP 6198 474 East Tamaki Road

1.0 DESCRIPTION OF THE PROPOSAL

Land Use is sought for a concept subdivision of 116 freehold lots from the 3 existing underlying certificates of title including the upgrading of Smales Road, East Tamaki Road and ETCART frontages. The land is generally level, being filled pursuant to a previous land modification consent. The land is zoned Residential 2 in the Transitional District Plan and Main Residential in the Proposed District Plan.

2.0 REASONS FOR THE APPLICATION

Pursuant to Section 405 of the Resource Management Act 1991 the proposed concept subdivision is deemed to be a non complying activity in respect of the Transitional District Plan. Furthermore, the proposal is deemed to be a restricted discretionary activity in respect of the Proposed District Plan.

3.0 PLAN PROVISIONS

(a) Relevant Provisions (include objectives and policies)

Chapter 5 (General Rules & Provisions); Chapter 9 (Subdivision); Chapter 13 (Residential); Chapter 15 (Public Open Space)

(b) Assessment Criteria

9.5.1:9.12.1:13.15

(c) Conditions the Plan requires to be imposed

The District Plan requires all new allotments created by subdivision to be fully serviced to an urban residential standard.

4.0 STATUTORY CONSIDERATIONS

Part II, Sections 104, 105, 108 and 405.

5.0 AFFECTED PERSONS' APPROVALS (SECTION 94 OF THE ACT)

The attached Section 94 assessment report shows that no persons are considered adversely affected by the proposal.

9.25

Accordingly, the application is being processed on a non-notified basis.

6.0 ASSESSMENT OF THE APPLICATION

6.1 Assessment criteria of the District Plan

The proposed allotments conform with the local topography and have suitable frontage and access. Any necessary earthworks for the construction of the allotments has been approved as a Land Modification consent previously.

The proposed allotments fulfil the intentions of the District plan, and the disposal of sewage and stormwater has been adequately addressed. The Council's infrastructure has been designed to accommodate subdivision at this density.

The development will not compromise amenity values, and is consistent with the objectives and policies of the plan.

6.1.1 Evaluation under Manukau Transitional District Plan

The application has been assessed against the provisions of Part 6. No provision was made for concept subdivision in the Transitional District Plan, therefore a non-complying consent is required. The lots comply with the performance standards pursuant to Rule 9.5.2.1 of the Transitional District Plan.

A requirement for a reserve contribution has been considered in accordance with the provisions of Part 6: Development and Subdivision. The application creates additional residential allotments. Therefore, in accordance with Rule 6.3.20.5(a), a reserves contribution will be imposed as a condition of this consent.

All engineering requirements have been assessed as a Restricted discretionary Activity.

6.1.2 Evaluation under Manukau Proposed District Plan

The proposal has been assessed against the Rules and provisions of Chapters 5, 7, 9 and 13.

Pursuant to Rule 9.5.1.1(b)(i), the concept subdivision has been assessed as a Restricted Discretionary Activity. The lots comply with the Rules 13.15.1.1 and 13.15.2.1 of the Proposed District Plan.

The proposed fee simple subdivision will create additional allotments. As discussed above, a reserve contribution will be imposed as a condition of consent in accordance with Rule 15.15.2.3.3.1.

All engineering requirements have been assessed and approved as a Restricted Discretionary Activity.

6.2 Objectives and Policies

The proposed subdivision is consistent with the objectives and policies of Chapter 9 which seek to enable subdivision provided that the environmental qualities and character of the area are preserved, and any adverse effects are avoided, remedied or mitigated.

The objectives of the residential zones seek to promote diversity and choice of lifestyle options and maintain and enhance the pleasantness and aesthetic qualities of the City. The Plan's policies promote residential development which encourages energy efficiency and subdivision diversity, while maintaining a high level of amenity and open space.

The proposal also achieves Chapter 15's objectives and policies to provide public open space areas through development, and to maintain and enhance the amenity values of these areas.

6.3 Section 104 of the Act

All actual or potential effects have been considered, as have all relevant regulations. All relevant provisions of the Plans have been considered as outlined above, and there are no designations or heritage orders affecting the site.

The land is zoned Future Development Stage 1 in the Transitional District Plan. The land in this zone is intended to remain unsubdivided until the programmed transition to appropriate urban zoning is undertaken.

No submissions have been identified against the proposed zoning of the land to Main Residential in the Manukau Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.

6.4 Part II of the Act

The proposed subdivision is consistent with the Act's purpose of sustainable management, and does not compromise any of the matters described in Section 5(2). The proposed subdivision also recognises and provides for the listed matters of national importance and the subdivision is not considered to be inappropriate for the same reason.

The proposed subdivision does not compromise any of the other matters listed in Section 7, and the Treaty of Waitangi has been taken into account in determining the application.

6.5 Section 105

Section 105(2A) of the Act states that, in the case of an application for a non-complying activity, Council must not grant consent unless satisfied that the adverse effects on the environment will be minor or the activity will not be contrary to the objective and policies of either the Transitional or Proposed District Plans.

As outlined above, I am satisfied that the adverse effects on the environment resulting from the granting of subdivision consent will be no more than minor. The threshold test comprised in Section 105 of the Act is therefore satisfied.

7.0 RECOMMENDATION

That resource consent for the above proposal has been granted under delegated authority as a non-complying and restricted discretionary activity pursuant to the provisions of the Transitional and Proposed District Plans, and Sections 104, 105 and 108 of the Resource Management Act 1991, subject to the following conditions being complied with to the satisfaction of, and at no cost to the Council.

8.0 CONDITIONS & ADVICE NOTES

1. This consent does not constitute a subdivision consent. Application is to be made for such a consent where that application complies with or addresses to the satisfaction of the Council the rules and requirements of the Manukau Operative Transitional and Proposed District Plans. This will include the lodgement of a new Form 5 and a full submission including engineering plans for approval in accordance with the following conditions of the land use consent prior to the works commencing. Further conditions will be imposed in the subsequent subdivision consent.

- The earthwork construction shall be undertaken in accordance with the erosion and sediment control plan as detailed in the approved plans referenced E7/14693 (1 sheet) by Council, and in compliance with all conditions of the Auckland Regional Council soil conservation consent for bulk earthworks and silt control, and the following:
 - (a) A current resource consent for these works shall be obtained by the applicant from the Auckland Regional Council prior to any works commencing on site, and a copy supplied to Council.
 - (b) The site shall be stabilised against erosion as soon as practicable and in a progressive manner as earthworks are finished over various areas of the site.
 - (c) All land modification works associated with the activity involving either removal of soil from the site to an approved clean fill location or its relocation on site, shall be undertaken in such a manner as to ensure that beyond the boundary of the site there should be no 'dust' or 'soil erosion/siltation', which in the opinion of an enforcement officer who is employed by Council, is objectionable, offensive or has the potential to create an adverse effect on the receiving environment.
 - (d) The applicant shall be responsible to ensure that the land within the above site and the land on adjoining properties remains stable at all times in respect to the approved works.
 - (e) Control measures shall be put in place to ensure that any trucks leaving the site do not deposit soil or other debris on public roads. Any soil or other debris deposited on any public road shall be cleaned up immediately at the applicant's expense.
- 3 (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage the development of such lots shall be undertaken generally in terms of the recommendations in that report.

As a component of the subsequent full subdivision a consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 4 At the time of full subdivision consent the following financial contribution levies will be payable as determined by the Council.
 - (a) A comprehensive stormwater discharge levy (FC45) which is currently calculated at \$410.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (b) A contribution to the Tamaki/Point View Stormwater quality pond (FC3) which is currently calculated at \$7,818.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (c) A contribution to the Smales Road Sewer (FC139). This will be assessed at the time of full subdivision.
 - (d) A contribution towards the new 200 mm dia watermain which is to be installed along Smales Road by Manukau Water. This contribution shall be based on the road frontage of the subdivision.

(e) A contribution toward the construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of lots 15, 16, 17, 151, 18, 19, 20, 21, 22, 32, 33, 34, 35 and 50. From the projected northern boundary of lot 51 south to the projected southern boundary of lot 52. This being the length of frontage where no edge treatment is provided to the ETCART route. This contribution is to be based on a through road standard.

(f) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of pt lot 15 DP 615 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and pt lot 15 DP 615. This contribution shall be based on a through road standard.

- The applicant shall construct at no cost to the Council all works required to intersect Road 8 with ETCART and Road 1 with Smales Road, including construction of footpaths and berms.
- The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road. The value of this work shall be deducted from the contribution required in Condition 4(f).
- 7 All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
- 8 All roads are to be fully constructed with stormwater control, including the provision of street landscaping.
- 9 A Traffic Management Plan detailing road marking and signage shall be provided with the engineering plans for subdivision consent.
- Road upgrading works will be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for the road upgrading works shall be submitted for approval with the subsequent subdivision application.

- 11 Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the road crossing has been predetermined.
- 12 A road marking and signage plan shall be provided with the engineering drawings for subdivision consent.
- 13 (a) A piped stormwater system connecting to the nearest adequate system shall be installed to cater for the new lots created which makes provision for the upstream catchment.

- (b) As the applicant proposes to fill and block off the natural open drainage, adequate provision is to be made to cater for the estimated 100 year storm utilising a primary piped system for the 20% event and a secondary overland flow system to cater for bigger storms up to the 1% event.
- (c) Where any residential lot is subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents are to be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum. 1946.

Minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for any lots adjoining this flow path shall be resolved with the Council.

- (d) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing. (As a component of the subsequent full subdivision consent compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act).
- 14 A piped sanitary sewage system connecting to the nearest adequate system shall be installed to cater for the new lots created and which makes provision for the upstream catchment.
- An adequate water supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- An adequate natural gas supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- 17 (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.

- (d) Any existing overhead services along the Chapel Road frontage are to be relocated underground unless advice has been received from the utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- 18 Street lighting facilities shall be supplied and installed on all new roads and Chapel Road.
- 19 (a) Prior to commencement of construction works, an environmental management plan is to be submitted for the Council's approval, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the subdivision:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with NZS 6803:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work".
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises. (Any queries in the foregoing should be referred to the Council's Environmental Protection Services Manager).
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of Rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)						
PERIOD	Monday - Saturday			Sunday and Public Holida			
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L _{10.}	L _{mex}	
0700-1800	60	75	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	65	

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803P:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition".
- 20 All lots shall comply with the subdivisional requirements of the District Plan.

- 21 All roads and accessways within the subdivision as shown on SP6198 and road widening in accordance with the Proposed District Plan shall be vested in the Manukau City Council.
- Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (subject to the prior approval of the District Land Registrar).
- 23 Lots 1002 to 1005 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.
 - As a component of the subsequent full subdivision a consent notice is to be registered on the certificate of titles of the relevant lots which share a common boundary with Lots 1002 to 1005 in accordance with Section 221 of the Act to prevent any access from the relevant lots to the adjoining arterial roads.
- Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for the subsequent subdivision.

ADVICE NOTES

The applicant is advised as follows:

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- Subsequent applications for subdivision for the subject site must be accompanied by a full assessment of environmental effects, a report on assessment of the proposal against the criteria set out in the District Plan and full engineering details.
- 3 The Council's Land Information Register will record:
 - (a) Any consent notices pursuant to conditions herein.
 - (b) Any right to drain water easement pursuant to Condition 13(c).
- That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- That no engineering works(excluding land modification) are permitted to be carried out until engineering plans have been approved by the Council.
- That reserve contribution requirements will be assessed in conjunction with the subsequent application for subdivision consent.

- 7 The previous practice of providing berm gardens(including temporary provisions) will not be permitted in the subsequent subdivision.
- 8 No consideration or approval has been given to the future lots outside this stage shown on the plan of subdivision.
- Although the proposed location of the earthworks do not contain any known archaeological sites, it is possible that unrecorded sites may exist. Any archaeological site uncovered during development by the applicant shall be reported to the New Zealand Historic Places Trust. Under the Historic Places Act 1993, it is unlawful for any person to destroy, damage or modify an archaeological site unless the relevant consents have been obtained from the Trust.
- The applicant is advised to liaise with Manukau Water in relation to the subdivisional water reticulation requirements along the frontages of ETCART Road, Chapel Road and the internal reticulation.
- 11 Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rate specified in condition 4(b) then this rate will be amended accordingly, if this occurs prior to the Section 224 release.

9.0 REASONS FOR THE DECISION

- No submissions have been identified against the proposed zoning of the land to Main Residential in the Manukau Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- 2 The granting of the resource consent and subsequent subdivision will have no more than minor adverse effects on the environment.
- The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau Proposed District Plan and Sections 104, 105 and 405 of the Resource Management Act 1991.

Date: _	14/9/99	m Polchard.
	, , .,	Consent Co-ordinator
Date: _		
_		Team Leader - Resource Consents

Pursuant to Section 7.3.3 of the Delegations Register (Minutes 10897/96), the above application has been considered under Delegated Authority and has been determined as a non-notified resource consent (state activity status).

Consent is hereby granted in accordance with Part II and sections 104, 105 and 108 of the Resource Management Act 1991.

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un Palchard.	Date:	14/9/99
Mike Pritchard, Consent Co-ordinator	-	, , ,

DECISION

Recommendation adopted under Delegated Authority

Howard Wright, Acting Team Leader - Resource Consents

Date: 14/9/99.

1022 - 14693RPT,MP

MANUKAU CITY COUNCIL RESOURCE CONSENT APPLICATION SITE VISIT RECORD NON-NOTIFICATION/ NOTIFICATION REPORT AND ASSESSMENT REPORT

1. REFERENCES:

14693 SP6198

474 EAST TAMAKI ROAD

OTARA 31/05/99

DANNEMORA HOLDINGS LTD/FULTON HOGAN LTD

MAIN RESIDENTIAL

PRIVATE BAG

H112629

ELLERSLIE

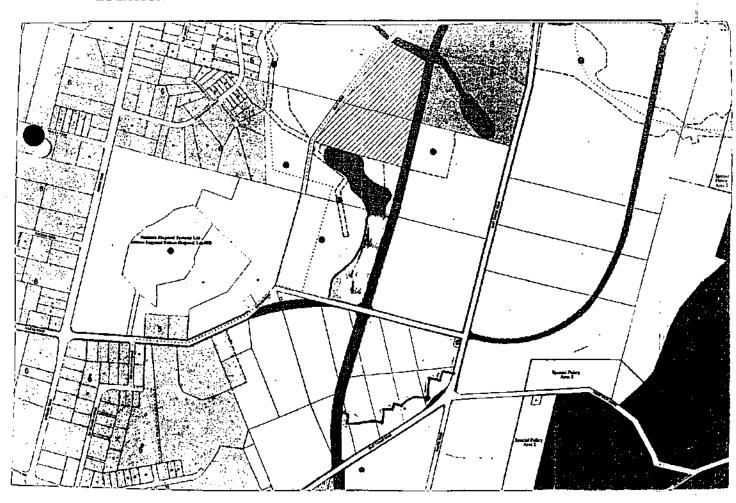
\$562.50

Land Use

116 LOT SUTTON BLOCK STG1 CONCEPT LAND MODIFICATION

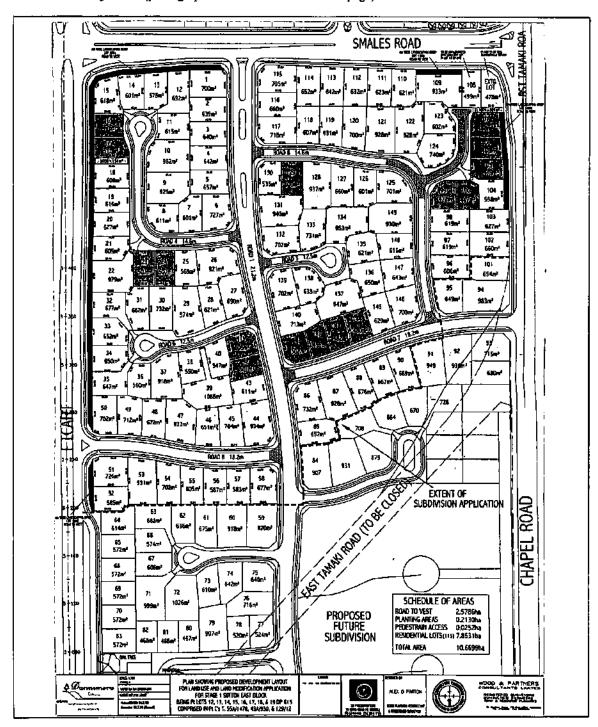
Michael Pritchard

LOCATION



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Sketch of the subject site (photographs should be attached to this page):



SIGNED:	m Patchard Da	ate:: _	20	_	8	/99	
•	Consent Co-ordinator		,		/	,	

3. DETERMINATION AS TO WHETHER A RESOURCE CONSENT APPLICATION SHOULD BE NOTIFIED OR NON NOTIFIED UNDER SECTION 94 OF THE RESOURCE MANAGEMENT ACT 1991

(a) REFERENCES:

14693

SP6198

474 EAST TAMAKI ROAD

OTARA

31/05/99

DANNEMORA HOLDINGS LTD/FULTON HOGAN LTD

MAIN RESIDENTIAL

PRIVATE BAGGICO AL AMHI12629 TOTAL

ELLERSLIE

\$562.50

Land Use

116 LOT SUTTON BLOCK STG1 CONCEPT LAND MODIFICATION

Michael Pritchard

CONTROLLED/DISCRETIONARY/NON-COMPLYING ACTIVITY WHERE THE DISTRICT PLAN DOES NOT PROVIDE FOR NON-NOTIFICATION

(b) EFFECTS ASSESSMENT:

If any element of the application requires consent as a discretionary/non-complying activity, undertake an analysis of all of the effects of the proposal.

Possible Effects	Magnitude of Effect (1)	Extent of Effect (2)	Mitigation/Neighbours <u>Consent</u> / Other Comments (3)
Flora and fauna	NIL	-	
Landscape	LN.	458	change from resal to when.
Water bodies	NIL		
Site stability	48	WP	
Shadowing/Sunlight	NIL		
Privacy	NIL		
Visual	L N.	ASB	2 chang from real to ensam.
Amenity/Character	LN	ASS	
Noise	LN	45	2 only during
Smell	Lw	7 45	Tonshuchen phase.
Pollution	LN	45	J
Infrastructure	LP	WP.	inprome infrashirehere
Traffic and Parking			
Cultural .	-		
Socio-economic	LA	up	pourdy additional house
Dominance of buildings	LN	MSB	low densely hong were result porchy receive funds for pake she
Open space	48	ASD	porche recese finds for pake, she
Other (specify)			, , , ,

Overall, the adverse effects are mixe/no more than minor.

(c)

(d) OR

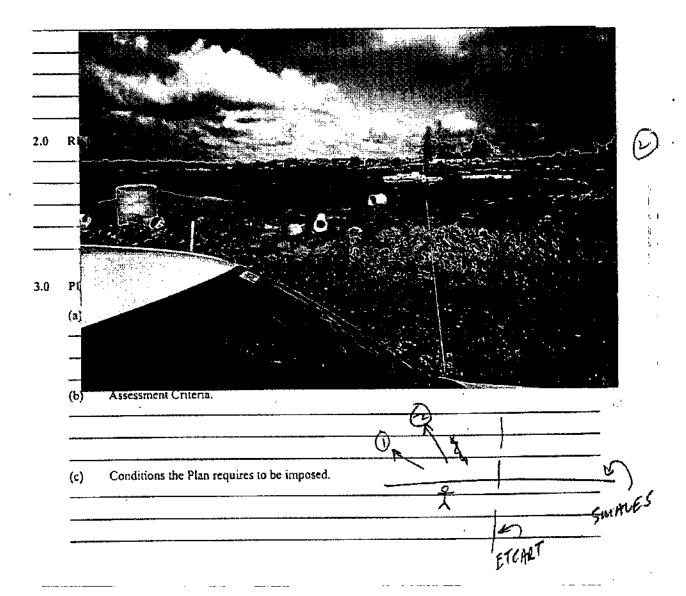
(e)

Key:						
(1)	State magnitude o	f effects as:		(2) State extent of ef	fects as:	
		High Positive:	HP.	Wholly Within P	roperty	WP
		Low Positive:	LP	Affecting abuttin	g sites	AS
	No Effect:	NIL		Affecting abuttin	g sites & beyond	ASB
		Low Negative High Negative		(if there is no effi	ect on item in [1], 1	then do
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	there are any adve ffected persons h			ther they can be mitigate	ed or whether adve	rsely
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	n: (owner/occup	·	ddress:		Consent obtain	ed
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proposal CONTE NOTIF (i)	I. ROLLED/DISCR ICATION	ETIONARY A	CTIVIT	ns are deemed to be adve IES WHERE THE PLA the rule) or a Controlled A	IN ALLOWS NO	N-
						
•		5.2.4	;			
	Leaving the above			special circumstances ex e notified?	ist in relation to the	
		No ·		** ***********************************		
(iii) (Comments					
		_				
(iv) (Conclusion					
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	notif	
	(i)	Comments
		No
(g)	CON	NCLUSION: (add/delete as necessary)
	(i)	Taking into account the effects of the proposal, the adverse effect on the environment of the activity for which consent is sought will be mare/no more than minor.
	(ii)	Written approval has/has not been obtained from the persons who may be adversely affected by the granting of this resource consent.
	(iii)	Special circumstances requiring notification anist/do not exist.
(h)	REC	COMMENDATION:
	(i)	That for the reasons set out above, this application be processed without notice, pursuant to section 94 of the Act, or
	(ii)	That for the reasons set out above, this application be processed with notice, pursuant to section 93 of the Act
SIGN	NED:	
		• •
		Date: 20 / 8 / 99.
Cons	ent Co-o	ordinator Date:
DEC	ISION	• • • • • • • • • • • • • • • • • • •
Reco	mmenda	tion adopted under Delegated Authority
	X	Jedney 14/9/99.

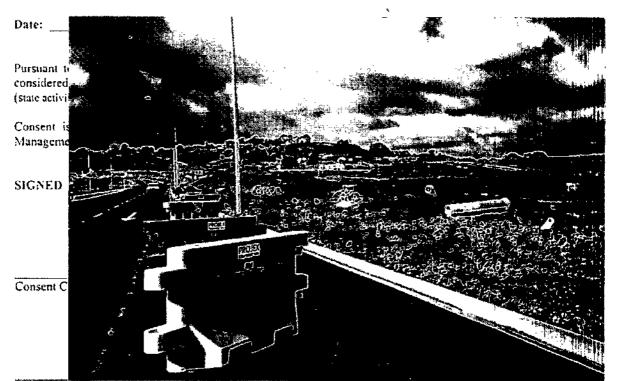


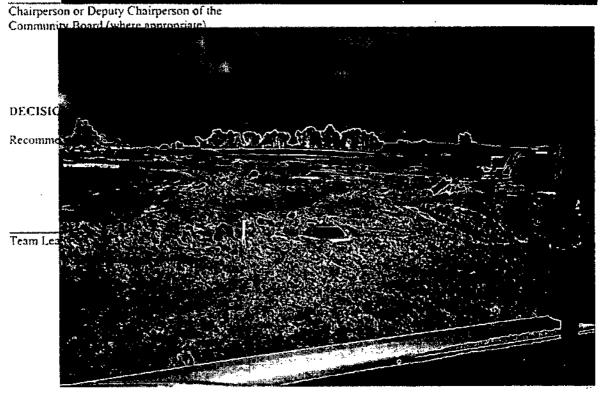
1.0 DESCRIPTION OF THE PROPOSAL



Date:

Consent Co-ordinator

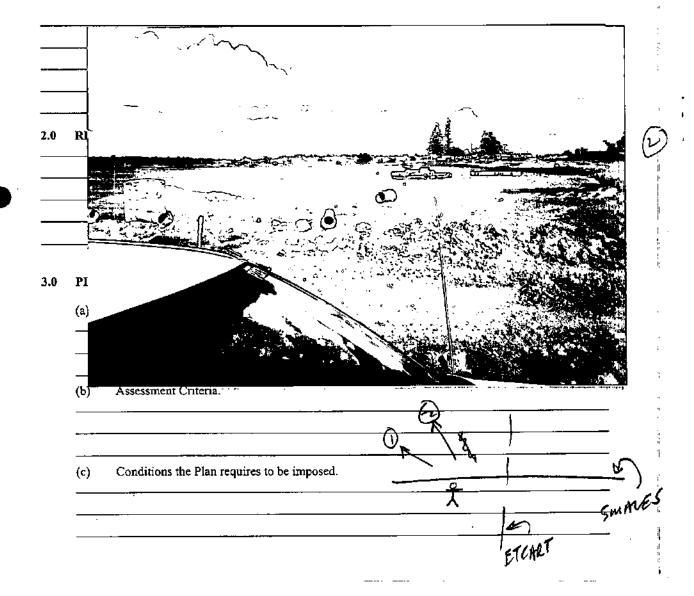




FIKART



1.0 DESCRIPTION OF THE PROPOSAL



STATUTORY CONSIDERATIONS
AFFECTED PERSONS' APPROVALS (SECTION 94 OF THE ACT)
The attached Section 94 assessment report shows that written approvals have been obtained from those persons who may be adversely affected by the proposal.
Accordingly, the application is being processed on a non-notified basis.
ASSESSMENT OF THE APPLICATION.
Assessment criteria of the District Plan
Objectives and Policies
<u> </u>
·

T			
Date:			

Consent Co-ordinator





Smaller.

ETKART

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



Our Ref: DM/SuttonE1/RC

3 September 1999

The Acting Team Leader
Resource Consent
Resource Consents & Compliance Unit
Environmental Services
Manukau City Council
Private Bag
MANUKAU

ATTN: MR HOWARD WRIGHT

Dear Howard

DANNEMORA - SUTTON EAST LAND MODIFICATION AND LAND USE CONSENTS SP 6198 - PROPOSAL NO. 14593

Thank you for your Draft copy of the Resource Consent for the above works sent to us for comment.

The Consent in general is along the lines of previous consents, and as such meets with Dannemora's approval subject to the following comments.

- 1. We have some difficulty with Council's approach to the Land Use Concept Subdivision, and the subsequent Resource Consent (Subdivision). We are of the opinion that there is a considerable duplication of information now being required by Council in that:
 - (a) The Concept i.e. Land Use Consent is no longer just a concept but requires an in depth submission and all details shown on the plans.
 - (b) The information to be supplied with the Application for Subdivisional Consent now requires a new assessment of effects and a full submission, despite the fact that all of this information has already been supplied with the earlier Land

use submission. The information required is reiterated in advice note No. 2.

We would appreciate the opportunity to discuss this position with Council Officers.

Item 4(b) Stormwater Quality Pond Contribution. (c)

> We have already had submissions on this subject with the Alex Parton report, and discussions with Yesenko Krpi.

> We understand Alex has not heard from Yesenko for a fortnight. Has the submission been placed on the October Hearings Committee agenda.

> If the draft wording for Condition 4(b) is carried forward on the actual consent, Dannemora would make a submission to the Hearings Committee along the line of that already made for Armstrongs 2B Subdivision Consent.

- 3. Items 4(c) and 4(d) do not have any monetary values. Dannemora would reserve the right to make submissions on these items once the values are known.
- 4. Item 14: As this sewer will take flow from the upstream catchment from land which does not belong to Dannemora, i.e. Howick Parklands, and the Rural 3 areas. A contribution from these areas would be required by Dannemora. This matter needs to be clarified by Manukau Water.

We look forward to receiving the full land modification and Land use Consent.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD

Director



Environmental Services

	0.	Private Bag 76917
To:	Wood EPMIS.	Manukau City
	.a.	New Zealand
Company:	m, D. Wood.	DX EP75557
	379 32 36	Fax (09) 262-5168
Fax No:	400114015400014044444444444444444444444	(09) 262-5109
From:	Miske Polichard Email:	@manukau.govt.nz
Date:	23 / 8 / 9 9 No of Pages: 9.	*******
. Subject:	Dannemora Holdings, Sutton Block East Stage Chapel Road 59 6198. P.14693. Con	1, - 474 cept Subdn.
Don	Attached is a copy of the draft.	1
	resource consent for the above land	

muke Polchard.

also contacted 24/8/99 Woods Office to Confirm May had ree'd forx

for your comments.

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.

Environmental Services

23 August 1999

Wood & Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

Applicant:

Dannemora Holdings Ltd and Fulton Hogan Ltd

Application:

Resource Consent for Land Use for Concept Subdivision and Land

Modification

Location:

474 Chapel Road (previously East Tamaki Road) - Land area

immediately south of Smales Road and immediately east of ETCART

MCC Reference:

SP 6198, Proposal 14693

Legal Description:

Lots 12,13,14,17,18,& 19 and Pt Lots 11,15 & 16 DP 615

Zone:

Residential 2 (Manukau Operative District Plan)
Main Residential (Manukau Proposed District Plan)

LAND USE APPROVAL ONLY FOR CONCEPT SUBDIVISION AND LAND MODIFICATION (Sutton Block-East, Stage 1)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non Complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Restricted Discretionary Activity pursuant to the provisions of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

- This consent does not constitute a subdivision consent. Application is to be made for such a consent where that application complies with or addresses to the satisfaction of the Council the rules and requirements of the Manukau Operative Transitional and Proposed District Plans. This will include the lodgement of a new Form 5 and a full submission including engineering plans for approval in accordance with the following conditions of the land use consent prior to the works commencing. Further conditions will be imposed in the subsequent subdivision consent.
- The earthwork construction shall be undertaken in accordance with the erosion and sediment control plan as detailed in the approved plans referenced E7/14693 (1 sheet) by Council, and in compliance with all conditions of the Auckland Regional Council soil conservation consent for bulk earthworks and silt control, and the following:

Enquiries to: Mic Reference: SP 6198

Michael Pritchard 198 Proposal 14963 Direct Telephone: Direct Facsimile 09 262 8900 extn. 5874 09 262-5168

- (a) A current resource consent for these works shall be obtained by the applicant from the Auckland Regional Council prior to any works commencing on site, and a copy supplied to Council.
- (b) The site shall be stabilised against erosion as soon as practicable and in a progressive manner as earthworks are finished over various areas of the site.
- (c) All land modification works associated with the activity involving either removal of soil from the site to an approved clean fill location or its relocation on site, shall be undertaken in such a manner as to ensure that beyond the boundary of the site there should be no 'dust' or 'soil erosion/siltation', which in the opinion of an enforcement officer who is employed by Council, is objectionable, offensive or has the potential to create an adverse effect on the receiving environment.
- (d) The applicant shall be responsible to ensure that the land within the above site and the land on adjoining properties remains stable at all times in respect to the approved works.
- (e) Control measures shall be put in place to ensure that any trucks leaving the site do not deposit soil or other debris on public roads. Any soil or other debris deposited on any public road shall be cleaned up immediately at the applicant's expense.
- 3 (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage the development of such lots shall be undertaken generally in terms of the recommendations in that report.

As a component of the subsequent full subdivision a consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 4 At the time of full subdivision consent the following financial contribution levies will be payable as determined by the Council.
 - (a) A comprehensive stormwater discharge levy (FC45) which is currently calculated at \$410.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (b) A contribution to the Tamaki/Point View Stormwater quality pond (FC3) which is currently calculated at \$7,818.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (c) A contribution to the Smales Road Sewer (FC139). This will be assessed at the time of full subdivision.
 - (d) A contribution towards the new 200 mm dia watermain which is to be installed along Smales Road by Manukau Water. This contribution shall be based on the road frontage of the subdivision.
 - (e) A contribution toward the construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of lots 15, 16, 17, 151, 18, 19, 20, 21, 22, 32, 33, 34, 35 and 50. From the projected northern boundary of lot 51 south to the projected southern boundary of lot 52. This being the length of frontage where no edge treatment is provided to the ETCART route. This contribution is to be based on a through road standard.

(f) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of pt lot 15 DP 615 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and pt lot 15 DP 615. This contribution shall be based on a through road standard.

- The applicant shall construct at no cost to the Council all works required to intersect Road 8 with ETCART and Road 1 with Smales Road, including construction of footpaths and berms.
- The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road. The value of this work shall be deducted from the contribution required in Condition 4(f).
- 7 All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
- 8 All roads are to be fully constructed with stormwater control, including the provision of street landscaping.
- 9 A Traffic Management Plan detailing road marking and signage shall be provided with the engineering plans for subdivision consent.
- Road upgrading works will be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for the road upgrading works shall be submitted for approval with the subsequent subdivision application.

- 11 Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the road crossing has been predetermined.
- 12 A road marking and signage plan shall be provided with the engineering drawings for subdivision consent.
- 13 (a) A piped stormwater system connecting to the nearest adequate system shall be installed to cater for the new lots created which makes provision for the upstream catchment.

- (b) As the applicant proposes to fill and block off the natural open drainage, adequate provision is to be made to cater for the estimated 100 year storm utilising a primary piped system for the 20% event and a secondary overland flow system to cater for bigger storms up to the 1% event.
- (c) Where any residential lot is subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents are to be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

Minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for any lots adjoining this flow path shall be resolved with the Council.

- (d) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing. (As a component of the subsequent full subdivision consent compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act).
- 14 A piped sanitary sewage system connecting to the nearest adequate system shall be installed to cater for the new lots created and which makes provision for the upstream catchment.
- An adequate water supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- An adequate natural gas supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- 17 (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.

- (d) Any existing overhead services along the Chapel Road frontage are to be relocated underground unless advice has been received from the utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- 18 Street lighting facilities shall be supplied and installed on all new roads and Chapel Road.
- 19 (a) Prior to commencement of construction works, an environmental management plan is to be submitted for the Council's approval, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the subdivision:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with NZS 6803:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work".
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises. (Any queries in the foregoing should be referred to the Council's Environmental Protection Services Manager).
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of Rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)						
PERIOD	Monday - Saturday			Sunday and Public Holidays			
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}	
0700-1800	60	75	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	65	

(d) The noise levels shall be measured and assessed in accordance with NZS 6803P:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition".

- 20 All lots shall comply with the subdivisional requirements of the District Plan.
- 21 All roads and accessways within the subdivision as shown on SP6198 and road widening in accordance with the Proposed District Plan shall be vested in the Manukau City Council.
- Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (subject to the prior approval of the District Land Registrar).
- Lots 1002 to 1005 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

As a component of the subsequent full subdivision a consent notice is to be registered on the certificate of titles of the relevant lots which share a common boundary with Lots 1002 to 1005 in accordance with Section 221 of the Act to prevent any access from the relevant lots to the adjoining arterial roads.

Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for the subsequent subdivision.

REASONS FOR THE DECISION

- No submissions have been identified against the proposed zoning of the land to Main Residential in the Manukau Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- The granting of the resource consent and subsequent subdivision will have no more than minor adverse effects on the environment.
- The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau Proposed District Plan and Sections 104, 105 and 405 of the Resource Management Act 1991.

ADVICE NOTES

The applicant is advised as follows:

In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.

- Subsequent applications for subdivision for the subject site must be accompanied by a full assessment of environmental effects, a report on assessment of the proposal against the criteria set out in the District Plan and full engineering details.
- 3 The Council's Land Information Register will record:
 - (a) Any consent notices pursuant to conditions herein.
 - (b) Any right to drain water easement pursuant to Condition 13(c).
- That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- That no engineering works(excluding land modification) are permitted to be carried out until engineering plans have been approved by the Council.
- 6 That reserve contribution requirements will be assessed in conjunction with the subsequent application for subdivision consent.
- 7 The previous practice of providing berm gardens(including temporary provisions) will not be permitted in the subsequent subdivision.
- No consideration or approval has been given to the future lots outside this stage shown on the plan of subdivision.
- Although the proposed location of the earthworks do not contain any known archaeological sites, it is possible that unrecorded sites may exist. Any archaeological site uncovered during development by the applicant shall be reported to the New Zealand Historic Places Trust. Under the Historic Places Act 1993, it is unlawful for any person to destroy, damage or modify an archaeological site unless the relevant consents have been obtained from the Trust.
- The applicant is advised to liaise with Manukau Water in relation to the subdivisional water reticulation requirements along the frontages of ETCART Road, Chapel Road and the internal reticulation.
- 11 Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rate specified in condition 4(b) then this rate will be amended accordingly, if this occurs prior to the Section 224 release.

COSTS

Pursuant to Section 36 of the Resource Management Act 1991 and in accordance with the Council's Schedule of Charges the applicant shall be responsible for paying administrative charges relating to receiving, processing and granting of the resource consent. The deposit of \$562.50 already paid will be deducted from the total costs.

2 Further charges will apply to the subsequent application for subdivision consent and supervision and monitoring of works.

RIGHT OF OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

Howard Wright
Acting Team Leader - Resource Consents
RESOURCE CONSENTS & COMPLIANCE UNIT

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Environmental Services

DRAFT 3

21 August 1999

Wood & Partners Consultants Ltd PO Box 6752 Wellesley Street **AUCKLAND**

Attention: Mr D Wood

Dear Sir

Applicant:

Dannemora Holdings Ltd and Fulton Hogan Ltd

Application:

Resource Consent for Land Use for Concept Subdivision and Land

Modification

Location:

474 Chapel Road (previously East Tamaki Road) - Land area

immediately south of Smales Road and immediately east of ETCART

MCC Reference:

SP 6198, Proposal 14693

Legal Description:

Lots 12,13,14,17,18,& 19 and Pt Lots 11,15 & 16 DP 615

Zone:

Residential 2 (Manukau Operative District Plan) Main Residential (Manukau Proposed District Plan)

LAND USE APPROVAL ONLY FOR CONCEPT SUBDIVISION AND LAND MODIFICATION (Sutton Block-East, Stage 1)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non Complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Restricted Discretionary Activity pursuant to the provisions of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

- 1 This consent does not constitute a subdivision consent. Application is to be made for such a consent where that application complies with or addresses to the satisfaction of the Council the rules and requirements of the Manukau Operative Transitional and Proposed District Plans. This will include the lodgement of a new Form 5 and a full submission including engineering plans for approval in accordance with the following conditions of the land use consent prior to the works commencing. Further conditions will be imposed in the subsequent subdivision consent.
- 2 A satisfactory foundation completion report shall be submitted for all lots.

Enquiries to:

Michael Pritchard

Direct Telephone: Direct Facsimile

09 262 8900 extn. 5874 09 262-5168

Reference: SP 6198

Proposal 14963

(b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage the development of such lots shall be undertaken generally in terms of the recommendations in that report

As a component of the subsequent full subdivision a consent notice is to be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- The earthwork construction shall be undertaken in accordance with the erosion and sediment control plan as detailed in the approved plans referenced E7/14693 (1 sheet) by Council, and in compliance with all conditions of the Auckland Regional Council soil conservation consent for bulk earthworks and silt control.
 - a) A current resource consent for theses works shall be obtained by the applicant from the Auckland Regional Council prior to any works commencing on site, and a copy supplied to Council.
 - b) The site shall be stabilised against erosion as soon as practicable and in a progressive manner as earthworks are finished over various areas of the site.
 - c) All land modification works associated with the activity involving either removal of soil from the site to an approved clean fill location or its relocation on site, shall be undertaken in such a manner as to ensure that beyond the boundary of the site there should be no 'dust' or 'soil erosion/siltation', which in the opinion of an enforcement officer who is employed by Council, is objectionable, offensive or has the potential to create an adverse effect on the receiving environment.
 - d) The applicant shall be responsible to ensure that the land within the above site and the land on adjoining properties remains stable at all times in respect to the approved works.
 - (e) Control measures shall be put in place to ensure that any trucks leaving the site do not deposit soil or other debris on public roads. Any soil or other debris deposited on any public road shall be cleaned up immediately at the applicant's expense.
- A satisfactory foundation completion report for the site shall be submitted to Council for approval upon completion of the land modification works.

For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, a consent notice shall be registered at no cost to Council on the certificate of title in accordance with Section 221 of the Resource Management Act 1991 at the time of subdivision to facilitate compliance with the foundation requirement on a continuing basis.

5 At the time of full subdivision consent the following financial contribution levies will be determined by the Council.

- (a) A comprehensive stormwater discharge levy (FC45) which is currently calculated at \$410.00 + GST per hectare and which will apply to the total area of this subdivision.
- (b) A contribution to the Tamaki/Point View Stormwater quality pond (FC3) which is currently calculated at \$7,818.00 + GST per hectare and which will apply to the total area of this subdivision.
- (c) A contribution to the Smales Road Sewer (FC139). This will be assessed at the time of full subdivision.
- (d) A contribution towards the new 200 mm dia watermain which is to be installed along Smales Road by Manukau Water. This contribution shall be based on the road frontage of the subdivision.
- The applicant shall provide a monetary contribution toward the construction of ETCART for the length frontage specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of lots 15, 16, 17, 18, 19, 20, 21, 22, 32, 33, 34, 35 and 50. From the projected northern boundary of lot 51 south to the projected southern boundary of lot 52. This being the length of frontage where no edge treatment is provided to the ETCART route. This contribution is to be based on a through road standard.

- 7 The applicant shall construct at no cost to the Council, all works required to intersect Road 8 with the ETCART route including the construction of footpaths and berms.
- The applicant shall be required to provide a monetary contribution to the construction of Smales Road for the length of frontage specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of pt lot 15 DP 615 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and pt lot 15 DP 615. This contribution shall be based on a through road standard.

- 9 The applicant shall construct at no cost to the Council all works to intersect Road 1 with Smales Road, including construction of footpaths and berms.
- The applicant shall be required to construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road. The value of this work shall be deducted from the contribution required in Condition 8.
- 11 All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.

- 12 All roads are to be fully constructed with stormwater control, including the provision of street landscaping.
- 13 A Traffic Management Plan detailing road marking and signage shall be provided with the engineering plans for subdivision consent.

14 (confirm with site inspection)

Road upgrading works will be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for the road upgrading works are to be submitted with the subsequent subdivision application for approval.

- The applicant shall meet the full cost of the constructing the intersection (and associated works) of Road 8 with the Future Arterial Road (ETCART).
- Vehicle crossings are to be constructed for all lots where because of the width of the property frontage, the logical position of the road crossing has been predetermined.
- 17 A road marking and signage plan shall be provided with the engineering drawings for subdivision consent.
- 18 (a) A piped stormwater system connecting to the nearest adequate system shall be installed to cater for the new lots created which makes provision for the upstream catchment.
 - (b) As the applicant proposes to fill and block off the natural open drainage, adequate provision is to be made to cater for the estimated 100 year storm utilising a primary piped system for the 20% event and a secondary overland flow system to cater for bigger storms up to the 1% event.
 - (c) Where any residential lot is subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents are to be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably

located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

Minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for any lots adjoining this flow path shall be resolved with the Council.

- (d) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing. (As a component of the subsequent full subdivision consent compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act).
- 19 A piped sanitary sewage system connecting to the nearest adequate system shall be installed to cater for the new lots created and which makes provision for the upstream catchment.
- An adequate water supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- An adequate natural gas supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- 22 (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
 - (d) Any existing overhead services along the Chapel Road frontage are to be relocated underground unless advice has been received from the utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.

- 23 Street lighting facilities shall be supplied and installed on all new roads and Chapel Road.
- 24 (a) Prior to commencement of construction works, an environmental management plan is to be submitted for the Council's approval, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the subdivision:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with NZS 6803:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work".
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises. (Any queries in the foregoing should be referred to the Council's Environmental Protection Services Manager).
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of Rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

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	Monday - Saturday		Sunday and Public Holidays			
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0700-1800	60	75	85	45	50	65
1800-2200	45	50	65	40	45	65
2200-0700	35	40	65	35	40	65

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803P:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition".
- 25 All lots are to comply with the subdivisional requirements of the District Plan.
- 26 All roads and accessways within the subdivision as shown on SP6198 and road widening in accordance with the Proposed District Plan shall be vested in the Manukau City Council.

- Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels subject to the prior approval of the District Land Registrar.
- Lots 1002 to 1005 are to be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

As a component of the subsequent full subdivision a consent notice is to be registered on the certificate of titles of the relevant lots which share a common boundary with lots 1002 to 1005 in accordance with Section 221 of the Act to prevent any access from the relevant lots to the adjoining arterial roads.

Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for the subsequent subdivision.

REASONS FOR THE DECISION

- No submissions have been identified against the proposed zoning of the land to Main Residential in the Manukau Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- 2 The granting of the resource consent and subsequent subdivision will have no more than minor adverse effects on the environment.
- The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau Proposed District Plan and Sections 104, 105 and 405 of the Resource Management Act 1991.

ADVICE NOTES

The applicant is advised as follows:

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- Subsequent applications for subdivision for the subject site must be accompanied by a full assessment of environmental effects, a report on assessment of the proposal against the criteria set out in the District Plan and full engineering details.
- 3 The Council's Land Information Register will record:

- (a) Any consent notices pursuant to conditions herein.
- (b) Any right to drain water easement pursuant to Condition 9.
- That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- That no engineering works(excluding land modification) are permitted to be carried out until engineering plans have been approved by the Council.
- 6 That reserve contribution requirements will be assessed in conjunction with the subsequent application for subdivision consent.
- 7 The previous practice of providing berm gardens(including temporary provisions) will not be permitted in the subsequent subdivision.
- 8 No consideration or approval has been given to the future lots shown on the plan of subdivision, outside this stage.
- 9 Although the proposed location of the earthworks do not contain any known archaeological sites, it is possible that unrecorded sites may exist. Any archaeological site uncovered during development by the applicant shall be reported to the New Zealand Historic Places Trust. Under the Historic Places Act 1993, it is unlawful for any person to destroy, damage or modify an archaeological site unless the relevant consents have been obtained from the Trust.
- The applicant is advised to liaise with Manukau Water in relation to the proposal for water reticulation along ETCART Road, Chapel Road and the internal reticulation.

COSTS

- Pursuant to Section 36 of the Resource Management Act 1991 and in accordance with the Council's Schedule of Charges the applicant shall be responsible for paying administrative charges relating to receiving, processing and granting of the resource consent. The deposit of \$562.50 already paid will be deducted from the total costs.
- 2 Further charges will apply to the subsequent application for subdivision consent and supervision and monitoring of works.

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

SP6198, Proposal 14693 Wood & Partners 20 August 1999

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

Howard Wright
Acting Team Leader - Resource Consents
RESOURCE CONSENTS & COMPLIANCE UNIT

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



Our Ref: DM/SuttonE1/RC

reed \$3/1/99
3 September 1999

The Acting Team Leader
Resource Consent
Resource Consents & Compliance Unit
Environmental Services
Manukau City Council
Private Bag
MANUKAU

ATTN: MR HOWARD WRIGHT

ill

619. cc AP-norm refer to manwater

619. cc AP-norm refer to manwater

Dear Howard

DANNEMORA - SUTTON EAST LAND MODIFICATION AND LAND USE CONSENTS SP 6198 - PROPOSAL NO. 14593

Thank you for your Draft copy of the Resource Consent for the above works sent to us for comment.

The Consent in general is along the lines of previous consents, and as such meets with Dannemora's approval subject to the following comments.

- 1. We have some difficulty with Council's approach to the Land Use Concept Subdivision, and the subsequent Resource Consent (Subdivision). We are of the opinion that there is a considerable duplication of information now being required by Council in that:
 - (a) The Concept i.e. Land Use Consent is no longer just a concept but requires an in depth submission and all details shown on the plans.
 - (b) The information to be supplied with the Application for Subdivisional Consent now requires a new assessment of effects and a full submission, despite the fact that all of this information has already been supplied with the earlier Land

use submission. The information required is reiterated in advice note No. 2.

We would appreciate the opportunity to discuss this position with Council Officers.

(c) Item 4(b) Stormwater Quality Pond Contribution.

We have already had submissions on this subject with the Alex Parton report, and discussions with Yesenko Krpi.

We understand Alex has not heard from Yesenko for a fortnight. Has the submission been placed on the October Hearings Committee agenda.

If the draft wording for Condition 4(b) is carried forward on the actual consent, Dannemora would make a submission to the Hearings Committee along the line of that already made for Armstrongs 2B Subdivision Consent.

- Items 4(c) and 4(d) do not have any monetary values. Dannemora would reserve the right to make submissions on these items once the values are known.
- 4. Item 14: As this sewer will take flow from the upstream catchment from land which does not belong to Dannemora, i.e. Howick Parklands, and the Rural 3 areas. A contribution from these areas would be required by Dannemora. This matter needs to be clarified by Manukau Water.

We look forward to receiving the full land modification and Land use Consent.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD Director

Environmental Services

18 August 1999

District Land Registrar Land Registry Office Private Bag AUCKLAND

Dear Sir

SP 6198: DANNEMORA HOLDINGS, SUTTON EAST BLOCK STAGE 1, 474 EAST TAMAKI ROAD, OTARA - LOTS 12, 13, 14 AND 17 AND PT LOTS 11, 15 AND 16 DP 615

The attached plan (SP 6198) shows a proposed subdivision of the above property.

Would you please advise whether you consider it practicable for the Council to impose compulsory amalgamation conditions pursuant to Section 220(1)(b)(i) of the Resource Management Act 1991 in respect to the following lots on the attached plan (SP 6198):

Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title be issued to include both parcels.

Yours faithfully

H Wright
Acting Team Leader - Resource Consents
BUILDING & RESOURCE SERVICES

1022

Reference: SP 6198, Proposal 14693 Enquiries to Mike Pritchard Facsimile Extension 262-5109 5874 From:

Howard Wright

To:

PO2.SDudley

Subject:

Dannemora Proposals and ETCART

Suffer Eas!

This matter is pressing. Please phone me on 8112.

Thanks

Howard

Sent 17/8/95 Milks file file

Level 3 72 Grafton Road City, P.O. Box 6752 Phone: Bus. 379 3235 Fax: 379 3236 DOCUMENT TRANSMITTAL NOTICE

Auckland

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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS, REGISTERED SURVEYORS

D. L. WOOD M.I.P.E.N.Z., EN.Z.I.S., R.S. FUI

T. J. D. JAMES N.Z.C.L.S., B.SURY., M.N.Z.L.S.

D. W. WILLIAMS B.SURV., M.N.Z.I.S.

J. F. GARDINER B.E., M.I.P.E.N.Z.

M. G. WILLIAMS B.SURV., M.N.Z.I.S.

AUCKLAND

DIRECTORS:

ASSOCIATES:

To

From: To:

Date:

Subject:

Steve Dudley
PO1(HWright)
6 August 1999 4:16pm
Dannemora Sutton Blocks(East & West) -Reply

I think so. Is mid to late next week ok?

Replied yes

From:

To: Subject:

Howard Wright PO2.SDudley Dannemora Sutton Blocks(East & West)

Steve I need your response on the ETCART & Smales Roads requirements for these consents early next week. Can you deliver?!!!!!!!

Howard

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.





Our Ref: DM/SuttonE/RC

3 August 1999

The Resource Management Engineer Environment Services
Manukau City Council
Private Bag 76-917
MANUKAU CITY

ATTENTION: MR HOWARD WRIGHT

Dear Howard

RE: DANNEMORA - SUTTON EAST SECTION 92 NOTICE

Further to your fax of 21/7/99 we respond as follows.

- 1(a) We have deleted Lot 91 from the scheme plan. It is marginal as to whether the road widening as shown on the district plan actually encroaches on Lot 91. However we can sort that out along with the closing of East Tamaki Road.
- (b) Alex Parton has written to you on this item.
- (c) We have numbered all accessways and planting strips as requested

(d) We have amended the boundary dimensions as requested.

2. We enclose current Certificate of Title for:

CT 55A/1478

CT 43A/930

CT 129/12

CT 128/151 which belongs to the Sommerville Estate.

3. We have given your copies of the various letters involving consents and approvals from the Ngati Paoa as regards the Sutton Block as a whole.

We enclose herewith a further copy of that information and also would refer you to Clause 4.1 Evaluation of the Auckland Regional Council report dated 26th September 1997 (4 paragraphs from end) for evidence of iwi consultation.

- The original Auckland Regional Council consent to carry out the bulk earthworks 4(a) expired on 31/4/99 (see section 8 of the original submissions). We have applied to the Auckland Regional Council for consent for all of Dannemora's projected earthworks for the 99-2000 season. This consent is expected in early September of this year. We will obviously not commence any earthworks until we receive this consent.
- As explained in the letter of 28th May accompanying this application we require a (b) Land Use and a Land Modification Consent. The existing Land Modification Consent from Council expires in mid November 1999.

We trust that you can now continue to process this application.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD Director

out when corrected plans are received from

Don





363 DON BUCKS ROAD, MASSEY, AUCKLAND TELIFAX 0-9-832 1860

D L Woods Wood & Partners Consultants P O Box 6752 AUCKLAND

17 January 1997

Tena koe Don.

RE: DANNEMORA FURTHER LAND ACQUISITIONS

Thank you for advising of Dannemora further land acquisitions for development and our telephone discussions in respect of progressing this matter.

The kaumatua have determined, that as the blessing and spiritual activities were conducted on what they perceive as the 1st phase of the Dannemora Development project, it is not necessary to repeat the procedure. However, it is recommended an archaeologist be engaged to do an investigation of the new properties. Where archaeological/waahi tapu sites are identified as a result of the investigation the process for dealing with them is included in the protocols (attached).

The protocols also cover sites that may be discovered during earthworks and has been designed to take the pressure off tangata whenua and we hope, assist the developer overcome any delay.

Items 1 and 2 as mentioned earlier, are not necessary but the remainder of the protocols require your perusal and analysis and subject to your or the clients written response of agreement or disagreement.

I look forward to hearing from you in the near future.

Kia ora,

Hariata Gordon

20-1-9 20-1-9

DM/SAYES DM/SUTTON

Tical Songes
29 November 1998

The Nigati Paca Whanau Trust 363 Och Bucks Road Mansey AUCKLAND

Daar Hariata

DANNEMORA FURTHER LAND ACQUISITIONS

I advised that we would write again to you requesting that we commence a "construction" with you as reducted under the Resource Management Act, with regard to the two new land coductions by Danner 1980.

Some clinicks of land are in the same general vicinity of East Tamaki area as the original Molloway purchase. The Sayes block of 3 the is to the West of East Tamaki Road, and the legal description is Lot 3 CP 21793, comprised in CT 678/701.

A substantial pertion of this block of land will revert to Manukau City including the South West Corner as a Reserve and Sterntwater Quality Pond, and an area between the future Arterial Road and East Tamaki Road as a proposed Community Area and Library site.

The Sutton Block comprised six separate titles varying in size from 1,5368ha to 23,535ha and is bordered by Smales Road, and East Tamaki Road.

We enclose herewith a recent Aerial Photo of the land with both areas delineated. This photo may make your investigations somewhat easier.

The present farmer on Suttons block is Mr Geoff Hutchinson, and on Sayes block is Mr Warwick Hoyte. If you require any further information, or we can be of any assistance, please let us know.

Yours faithfully
WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD

Transfer No. N/C. Order No. 682027.2



Z Q TIME SE

REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

one thousand nine hundred and seventynine This Certificate dated the 19th day of March under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND

WITNESSETH that ROBERT SUTTON FARMS LIMITED at Auckland

is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 1.5368 hectares more or less being part Lot 16 Deposited Plan 23052 and being part allotment 119 Parish

of Pakuranga



Assistant Land Registrar

Interests at date of issue

470868 Mortgage to Reter printing Sutton - 9.6.1959 at 11.4700 c and Warried 30.8.1962 at 2.00 o'c 8.0.1964bat 11.45 o'c 29.4.1966 at 11.37 o'c and 08.3.1968 at 3.20 o'c 411245, 01c 53.4.1366

130475.2 Mortgage to Charley Zealand Insurance Company Limited 1913 1973 at 11.20 o'c and varied 1913,1979 at 9105 o'c (682027.1)

130475.3 Memorandum of Priority making Mortgage 130475.2 a first Mortgage and Mortgage 470868 a second Mortgage 19.3.1973 at 11.20 o gs:
170156.1 Certificate under rection 96 of
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the Rating Act 0967 7 1974 ACHO. 48 0'c

294129.2 Certificate under Secret the Rating Act 1967 - 25.107976 At 8:05

the Rating Act (1987) 4 10-29 624235 1 Ceptain 1978 at 9.33 o'c, the Ration Aob 1897

624264.1 Conflict the section 96 of the Ratios Act 1967 9.1976 at 9.46 o'c

Measurements are Metric

547327.3 Certificate upper section 96 of the Rating Act 1967 10.3977 at 8060867.1

549981.3 Certificate under section 96 of the Rating ACD 1967 AN 22.11.1977 at 11.39 0'9 3 1 1 101 611 BOCOCLTA.L.R.

B555188.2 Variation of terms of Mortgage 130475.2 - 9.7.1986 at 2,18.

C.139003.1 Transmission of Mortgage 470868 to The New Zealand Cuardian Trust Company 14.5.1990 at 2.43 Limited as executor

Mortgage 470868 A. 16.75

975 at 10.29 c C149274.1 Transmission/to The New Zee

Guardian Trust Company Limited at 1976 at 0.22

D. 021238.1 CAVER BY REA AND DANNE MORA HODDINGS AT 3.29 O'C

D218857.2 Transfer to Fultor and Danne Mora Holdings L 24.11.1997 at 2.23

D251574.1 Mortgage to Westpac Banking Corporation 12.3.1998 at 12.00

434/930

Manukau City

154.40 Pt 16 1·5368 ha'

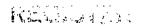
MEASUREMENTS ARE METRIC

D.P. 23052

Land and Deeds 69

Transfer No.





Transfer No.

N/C. Order No. B. 366905.3

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 21st day of December one thousand nine hundred and eighty-four under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND

WITNESSETH that ROBERT SUTTON FARMS LIMITED at Auckland

is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 23.5350 hectares more or less being Lots 12, 13, 14, 17, 18, 19 and part Lot 11 Deposited Plan 615 and being last Allotment 119 Parish of Pakuranga.

Interests at date of issue

470868 Mortgage to Robert Illiam Sutton
- 9.6.1959 at 11.47 or waried
30.8.1962 at 200 be stand varied 8.6.1964
at 11.45 oc. and varied 29.4.1966 at
11.37 oc. and varied 15.3.1968 at 9.20

130475.2 Mortgage to The lew Zealand Insurance Company 1937 1973 at 11.20 oc. and varied 19.9 1975 oc. 682027.1).

130475.3 Memorandum of Priority making Mortgage 130475.2 a first mortgage and Mortgage 470868 a second mortgage - 19.3.1973 at 11.20 oc.

941631.1 Proclamation (N.Z. Gazette 9 July 1981 No.80 page 1899) defining the middle line of Oaonui-Auckland pipeline - 22.6.1981 at 2.33 oc.

B.227992.0 CAVENT AN MATURAL GAS CORPORATION OF NEW MENAND LIMITED - 21.10.1885 at 4195 oc.

B.245127.1 Pipeline Easement Certificate under Section 71 of the Petroleum Act 1937 affecting part Lot 11 Plan 615 - 9.12 1983 at 9.41 oc

11 Plan 615 - 9.12.1983 at 9.41 oc.

757100 CAVEAR ST AT 1985 AT 2.10 oc.

Neasyrome by are Metric Communication

Assistant Land Registrar

Subject to a right of way over part marked 'A' on Plan 103253 appurtenant to Lot 1 Plan 103253 (CT 56D/1171) created by Transfer B.506045.2

Physical R. B. B.

B555188.2 Variation of terms of Mortgage 130475.2 - 9.7.1986 at 2.18

of Mortgage 470868 A.L.R. C149274.1 Transmission/to The New Zealand Guardian Trust Company Limited at Auckland as the executor - 8.6.1990 at 2.27 of

D.021238.1 CAVE THY DUSTON HOGAN LIMITED AND DANNE MORA HOGAN STATED - 17.7.199 AT 3.29 O'C

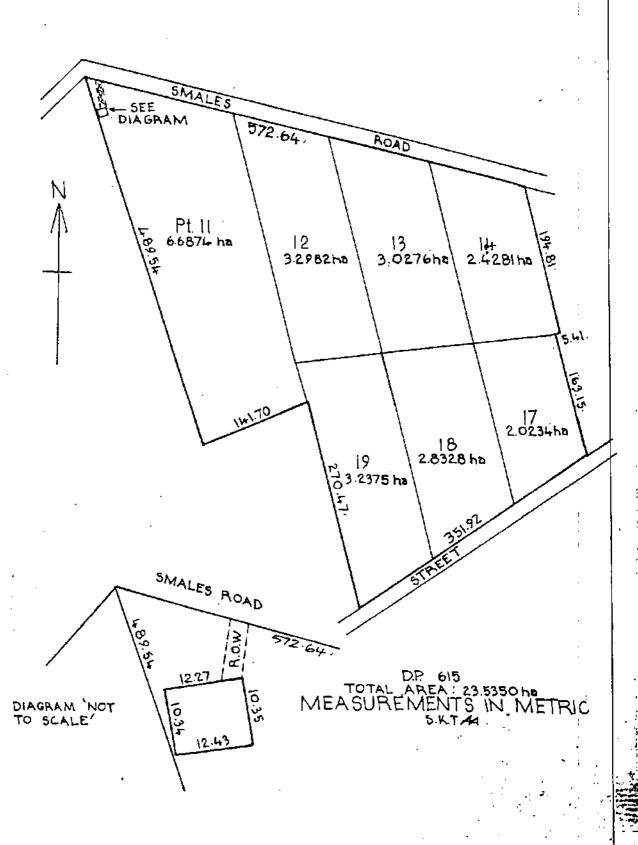
D218857.2 Transfer to Fulton Hogan Limited and Danne Mora Holdings Limited 24.11.1997 at 2.23

D251574.1 Mortgage to Westpac Banking Corporation 12.3.1998 at 12.00

for DLR -

CERTIFICATE OF TITLE No.

MANUKAU CITY



8577E-80,000/12/83MK

55A/1478

D331478.1 Compensation Certificate under Section 19 Public Works Act 1981 by The Manukau City Council 18.11.1998 at 2.46.

Smille 67

NEW ZEALAND.



CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT.

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A.L.R.

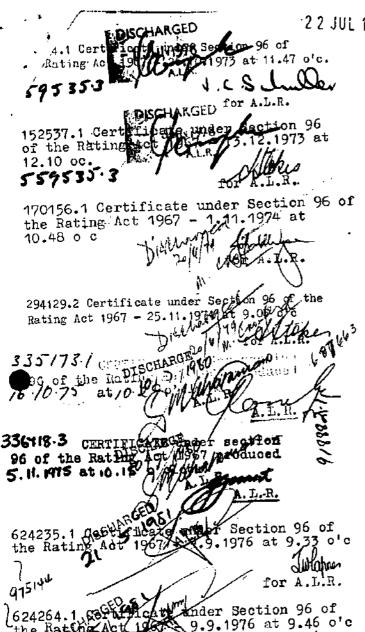
NEW ZEALAND.



REGISTE Policy Policy 12

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT.

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for A.L.R. 547327.3 Statutory Land Charge under Section 96 of the Reting Act 1967 -5.10.1977

549981.3 Statutory Tand Charge under Section 96 of the Rating Act 1967 - 22.11.197*7*

for A.L.R.

682027.1 Variation of Mortgage 130475.2 (with consent of chargeholders under charges 170156.1, 294129.2,335173.1,336718.3, 624235.1, 624264.1, 547327.3 and 549981.3) -19.3.1979 at 9.05 o'c (9) Worm

A.L.R.

941631.1 Proclamation (NZ Gazette 9 July 1981 No. 80 Page 1899) defining the middle line of the Oaonui - Auckland pipeline - 22.4.1981 #: 2.330/t Lihompson A.L.R.

B555188.2 Variation of terms of Mortgage 130475.2 - 9.7.1986 at 2.18

C.139003.1 Transmission of to The New Zealand Avadian Trust Company Limited as executive 3.5.1990 at 2.43 oc

of Mortgage 470868 C149274.1 Transmission/to The New Zealand Guardian Trust Company Limited at Auckland as the executor - 8.6.1990 at 2.27 occ

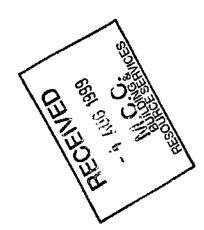
D.021238.1 CAVEAT BY PULTON HOGAN LIMITED AND DANNE MORA HOLDINGS LEATED - 17.7.1996 AT 3.29 O'C

D218857.2 Transfer to Fulton Hogan Limited and Danne Mora Holdings Limited 24.11.1997 at 2.23

Some Some forDLR

D251574.1 Mortgage to Westpac Banking Corporation

12.3.1998 at 12.00





ALEX O. PARTON

MINIZIS, Din LP, MINIZPIL

TOWN PLANNING CONSULTANT

27 July 1999

The Resource Management Engineer Environmental Services Manukau City Council Private Bag 76917 Manukau City

Attention: Howard Wright

Dear Sir

re: Dannemora - Sutton East

To this acceptable to you? Ok with me.

2/8/99

Don Wood has asked me to respond item to 1(b) in your request "for further information" in which you have asked Dannemore to "relocate Road 3 and 4 accessways as discussed or comment otherwise".

Before responding to your request I would note that Section 92 of the Resource Management Act authorises further information to be requested

"... only if the information is necessary to enable the Consent Authority to better—understand the nature of the activity in respect of which the application for a resource consent is made, the effect it will have on the environment, or the ways in which any adverse effects may be mitigated".

As I understand the situation Section 92 does not authorise the Council to seek changes to a planning proposal which is already clear in its intent.

Notwithstanding this, I respond to your request as follows.

General

As you may be aware, where there is a demonstrable need for an accessway in Dannemora's recent subdivisions - they have been designed and constructed to a width of approximately 8 m (twice the Council's minimum standards) so as to provide a high level of amenity within the accessway itself and also that of the adjoining allotments. This additional width has been provided at the initiative of Dannemora's Consultants. Accessways of 4m width have only been provided for in lower priority locations.

I understand that one of your Council's Officers has requested that the accessways in Sutton East be relocated so as to be on the same alignments as the ends of the cul-de-sacs - presumably for some perceived security reason.

I am not aware of any provision in the district plan that refers to this aspect and note that the approved concept plan for the land on the northwestern comer of East Tamaki and Smales

5 Cape Horn Boad, Hillsborough, Auckland. P.O. Box 49-034, Mt Roskill South. Telephone 627-9883. Fax 626-3607

Road (which has already been approved by your Council) includes an accessway which is virtually the mirror image of what is now proposed in road no.3.

In my opinion, there are good reasons for leaving the two accessways as presently proposed (if they are to be provided at all). These are as follows

Road No. 3

In the case of Road No.3, I was somewhat ambivalent about the need for an accessway at the time of my initial design. As I saw the situation, an accessway in that road might be a useful, but not a necessary feature. The deciding factor in my mind was that a short safe accessway could be easily provided without occupying unnecessarily large land areas or compromising the section design. This is why the accessway is only 4 m rather than 8 m wide.

The overall length of the accessway is approximately 25.5 m² If the accessway was to be realigned to run between lots 108 and 109, then its length would increase by approximately 5.74 m² (23%) to around 31.24 m². As a general rule, the shorter an accessway the safer it is.

In the circumstances, it becomes as question of judgement as to whether it is best to have a short accessway at right angles to what will be a very lightly trafficked cul-de-sac, or a 23% longer accessway on the same alignment as the road end.

In my opinion, if an accessway is to be provided at the end of Road No. 3 at all then the presently proposed route is perfectly satisfactory. However, as indicated earlier I consider it is marginal as to whether an accessway is required at all in this area.

Road No. 4

This accessway has been designed to run between lots 17 and 18 primarily to provide an efficient overland flow path to a large existing pipe structure which terminates approximately 70 m² south of its intersection with Smales Road.

The overland flowpath within the subdivision will run northwards along Road No. 1, then north westwards along Road No.4, and finally westwards via the proposed accessway into the overland flow structure in the location previously described.

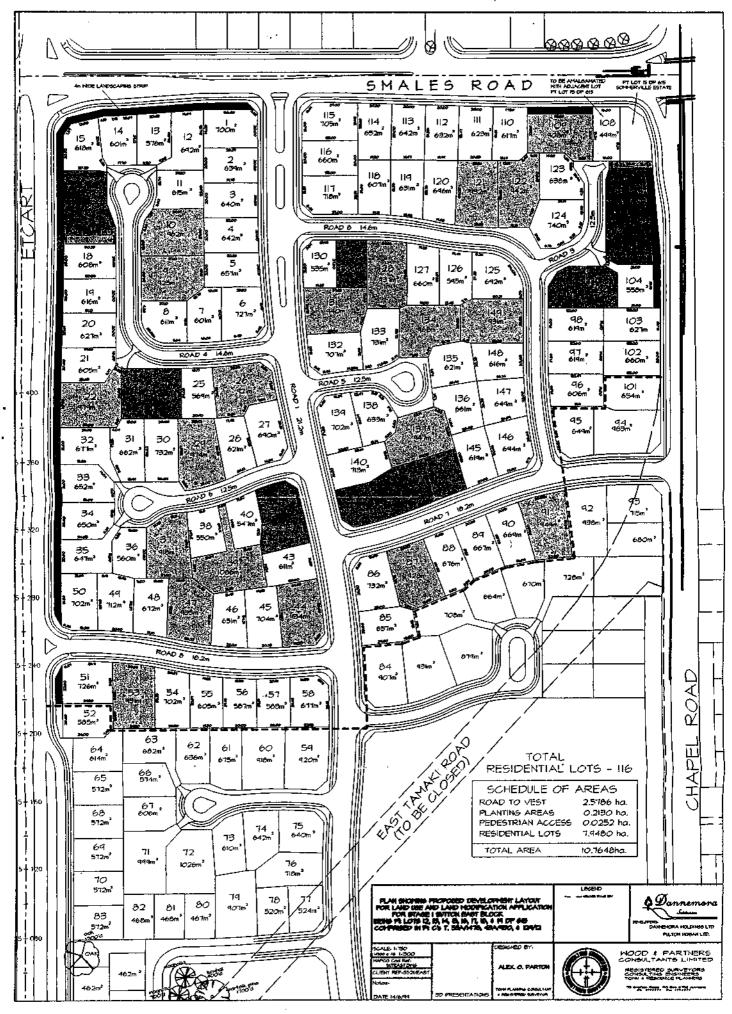
If the accessway was to be relocated so as to run between lots 13 and 14 (or similar) as suggested, then this would require some alternative duplicate arrangement to be made for the overland stormwater flow which would be inefficient and a waste to both public and private resources.

Summary

It is recommended that both accessways remain as presently proposed for these reasons.

Yours sincerely.

Alex Parton



alex o. Parton

TOWN PLANNING CONSULTANT

27 July 1999

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Alex Parton

APPENDIX M, IWI GROUPS WITH AN INTEREST IN MANUKAU CITY

This list is a guide only. If there is any doubt as to which iwi group the applicant/Council should contact, please liaise with Council's, Treaty of Waitangi Team.

General Manager	Hariata Gordon		
Huakina Development Trust ✓	Principal		
PO Box 319	Ngati Paoa Whanau Trust Board 🗸		
Pukekohe	363 Don Bucke Bood		
	Massey		
Attention: Environmental Manager	(110000)		
- morning that that agoi	Phone: 832 1860		
Phone: (09) 238 0250	Filone. 632 1600		
Fax: (09) 238 0259			
1 ax. (09) 236 0259			
(M/hala of Manulus Oit)			
(Whole of Manukau City)	(Land east of Southern Motorway)		
No. 7-11			
Ngai Tai Umupula Te Waka Totara	The Secretary		
Umupuia Marae	Ngai Tai ki Tamaki Tribal Trust (√)		
North Road	517 Oruarangi Road		
RD 2	Mangere		
Papakura			
Attention: Meryl McKenzie			
1_	Ì .		
Phone: 292-8717 (Home)			
Fax: 292 8308			
Marae: 292 8134			
· ·	<u> </u>		
(Land east of Southern Motorway)	(Land east of Southern Motorway)		
Nganeko Minhinnick	Ani Pihema		
Ngaati te Ata	The Secretary		
c/o Awaroa ki Manuka	Ngati Whatua o Orakei Maori Trust Board		
PO Box 72	PO Box 42045		
Waiuku	Orakei .		
	·		
Phone: (09) 235 9052	Attention: Grant Hawke		
Fax: (09) 235 7513			
	Telephone: 521 0617		
	' '		
]	(Note: Ngati Whatua o Orakei Maori Trust		
	Board, in terms of Resource Management		
(Land west of Southern Motorway especially	issues, have interests in the Tamaki Estuary		
around the Manukau Harbour)	and Tamaki River)		
,			
Makaurau/Pukaki Marae			
c/o Danny Roberts	 		
22 Ruaiti Road	·		
Mangere	1		
manger c	·		
(Mangara ward conneight around Manutan			
(Mangere ward especially around Manukau			
Harbour)			
	<u> </u>		



MANUKAU City Council

Facsimile: (09) 262 5168 Telephone:

(09) 262 8900

Manukau City Council Private Bag 76-917 Manukau City

TO:		Wood and Partners
	-	

ATTENTION Don Wood.....

FAX NO: 379 3236

FROM: Howard Wright

EXTENSION: 5802

DATE: 21/7/99

PAGES 1

Dannemora - Sutton East St 586198 14693 Sec 92 Notice

Please provide the following further information;

- 1 Amend the plan of subdivision for the following;
- Delete Lot 91 or demonstrate that it is clear of the Chapel Road widening shown on the (a) District Plan.
- (b) Relocate road 3&4 accessways as discussed or comment otherwise.
- Number all accessways and planting strips(the latter to be 'Road to vest') (c)
- (d) The following dimensions require amendment; Lot 6(road 1 & 6 boundary), boundary 6/7, Lot 7 road boundary, boundary 7/8, boundary 40/41, boundary 86/87, road boundary 135, road boundary 136.
- 2 Supply current certificate of titles for the underlying land including Pt lot 15 DP 615
- 3 Evidence of Iwi 'sign off' to the ARC earthworks consent and evidence of Iwi consultation in respect to the start of works as detailed in the MCC Consent.
- Is the ARC consent for earthworks still live for the minor reshaping works now required (provide evidence) and is land modification required with this Concept Consent?

Sayes Stage 3

Thank you for the response to the draft consent. Please respond further on your acceptance or otherwise to the Manukau Water facsimile sent today regarding FC 139. On receipt we will issue the consent.

Armstrong 2A & 2B

Please advise Clayton that this consent remains on hold pending receipt of the further information detailed in my facsimile of 7 July and further discussed on 12 July.

Howard Wright

Resource Management Engineer

The information in this facsimile is confidential between Manukau City Council and the intended recipient. Any other persons receiving this facsimile are required to respect that confidentiality and may not disclose, copy or make use of its contents. If you have received this message in error please notify Manukau City Council immediately and destroy this facsimile.

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1. Dan Wood & adversi. (a) Status of All Consen! (b) Do we need to give land Mod approval (afres ?) (c) Were Iwo Contached at E/w stage? (d) Sign of to the consultation.
with Iw. (Correspondence). (e) Confini poeston with accessioners NB. Mike has lit of Subs. Plan amendments to include with)?

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APPENDIX $\underline{\mathcal{M}}$, IWI GROUPS WITH AN INTEREST IN MANUKAU CITY

This list is a guide only. If there is any doubt as to which iwi group the applicant/Council should contact, please liaise with Council's, Treaty of Waitangi Team.

General Manager	Hariata Gordon
Huakina Development Trust ✓	Principal
PO Box 319	Ngati Paoa Whanau Trust Board 🗸
Pukekohe , '	363 Don Bucks Road
,	
Attention: Equipment-1 Manager	Massey
Attention: Environmental Manager	1
	Phone: 832 1860
Phone: (09) 238 0250	
Fax: (09) 238 0259	
	1
(Whole of Manukau City)	(Land east of Southern Motorway)
]
Ngai Tai Umupula Te Waka Totara	The Secretary
Umupuia Marae	Ngai Tai ki Tamaki Tribal Trust
North Road	517 Oruarangi Road
RD 2	Mangere Mangere
Papakura	Ivialiyele
- Supramitation	
Attention: Meryl McKenzie	
Amoraton. Interly: MICACINZIE	
Phone: 292-8717 (Home)	
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Marae: 292 8134	
(Land and of Coutham tales)	<u> </u>
(Land east of Southern Motorway)	(Land east of Southern Motorway)
Nganeko Minhinnick	And Faller
	Ani Pihema
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PO Box 72	PO Box 42045
Waiuku	Orakei .
m	· · · · · · · · · · · · · · · · · · ·
Phone: (09) 235 9052	Attention: Grant Hawke
Fax: (09) 235 7513	
	Telephone: 521 0617
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,	(Note: Ngati Whatua o Orakei Maori Trust
	Board, in terms of Resource Management
(Land west of Southern Motorway especially	issues, have interests in the Tamaki Estuary
around the Manukau Harbour)	and Tamaki River)
Makaurau/Pukaki Marae	· · · · · · · · · · · · · · · · · · ·
c/o Danny Roberts	1
22 Ruaiti Road	
Mangere	, ,
Mandele	'
/Adamson would are stated as a	
(Mangere ward especially around Manukau	
Harbour)	
·	

Sulton Bock (Elax).

Considerations

1. Descriptioned - No need to sent to RAN'S / Roadnest to, Doesall layout OK - Previously discussed with Chin French.

(c) Acknowledged back lotting to Except Dut noted planting strips - Needs Condition.

(c) Prefer walkway, on Road 3 to 90 clinical miles onto Smales Road for Cine of site.

This (f) Serme for Road by but exception or to decidate.

2. Faxed Plan to Steve Duellery on 12/7/99

M any requirements for ETCART contributions

or any other matters.

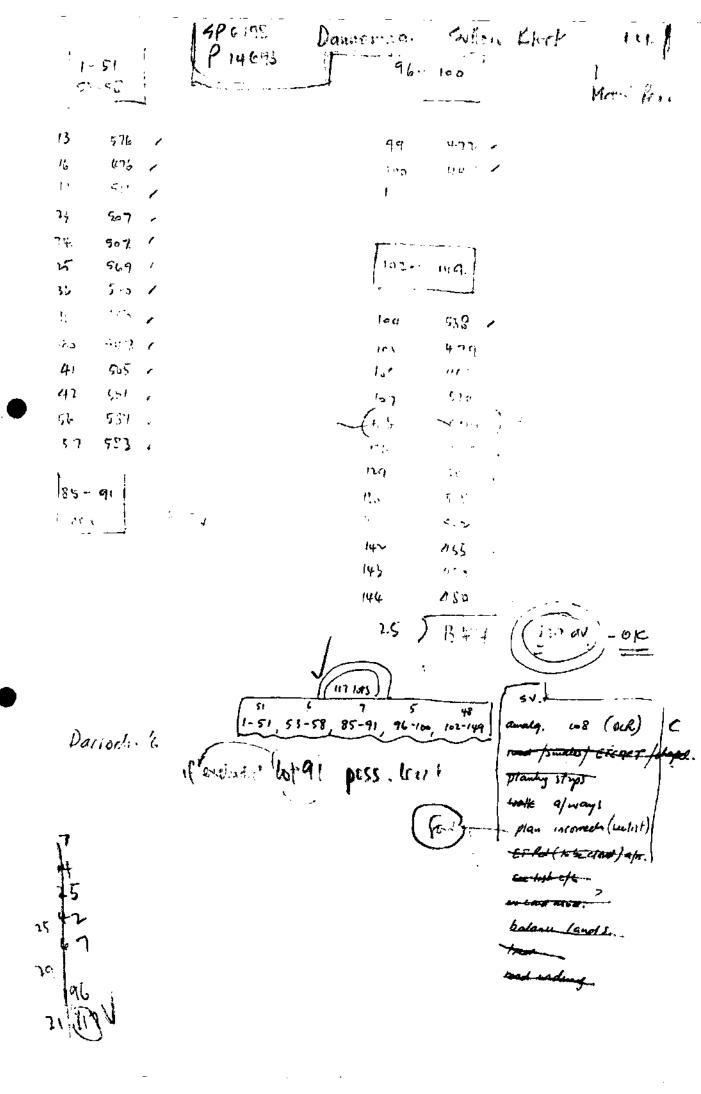
(Contributed again and promised response by 25/7)

3. As Brown away (over sear) and no sessives requirements - no special need to have comment from E/Management.

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5. Conferm with Mike the average < 600 m² sites.
Rough check is well over 500 m² /
How does Db/unit sites relate!

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Te Kaunihera o MANUKAU City Council

Facsimile: Telephone: (09) 262 5168

(09) 262 8900

Manukau City Council Private Bag 76-917 Manukau City

which y

TO:

Infrastructure Policy

ATTENTION

Steve Dudley.....

FAX NO:

5166

FROM:

Howard Wright

EXTENSION: 5802

DATE:

12/7/99

PAGES 2

Concept Subdivision Dannemora - Sutton Block (West)

Steve

Attached is a plan of the above consent we have in for approval and tomorrow we are having a lodgement meeting for the Sutton Block (west) which is on the opposite side off ETCART to this

Do you have any further conditions for contributions to ETCART for these stages or any other concerns?

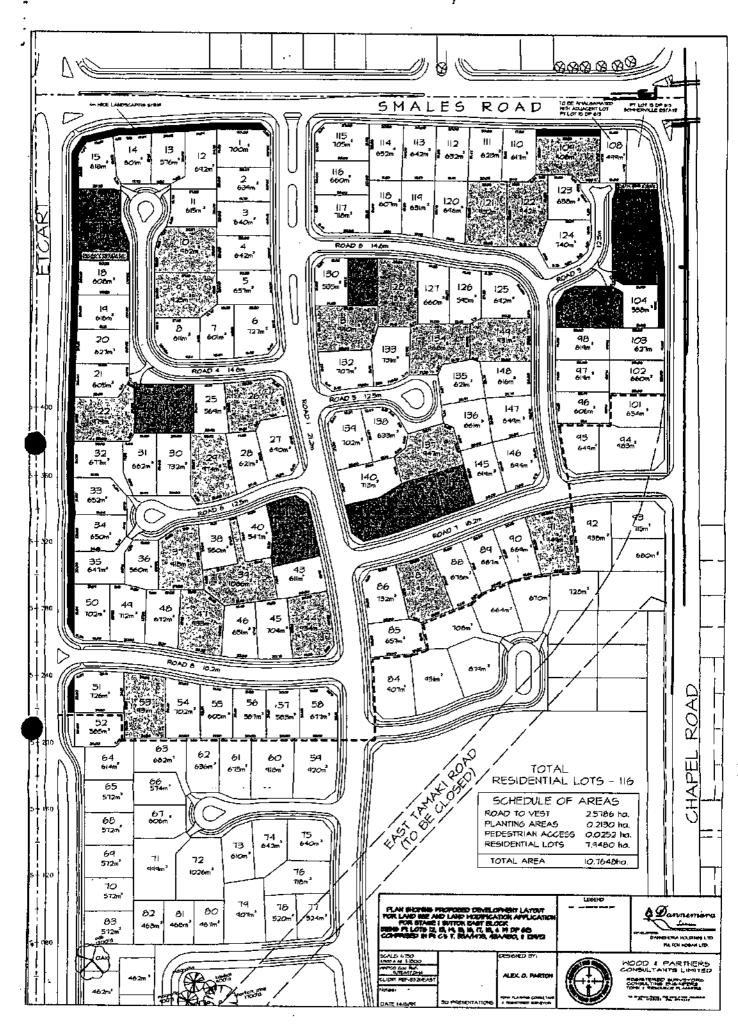
Also, when do you expect to get sign off from Chris to the draft condition I gave you on Sayes 3?

Howard Wright

Resource Management Engineer

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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., E.N.Z.I.S., R.S. FIJI
T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S.
D. W. WILLIAMS B.SURV., M.N.Z.I.S.
J. F. GARDINER B.E., M.I.P.E.N.Z.
M. G. WILLIAMS B.SURV., M.N.Z.I.S.





Our Ref: DM/SuttonE/RC

15 June 1999

The Team Leader
Building & Resource Consents
Manukau City Council
Private Bag 76-917
MANUKAU CITY

ATTENTION: MIKE PRITCHARD

Dear Mike

RE: DANNEMORA SUTTON EAST STAGE 1 LAND USE CONSENT

Further to the meeting on Thursday 10^{th} June, we enclose herewith 1 x A1 and 3 x A3 copies of the amended concept plan for the above stage of Dannemora.

We have, as requested, excluded Lot 52 and also added a schedule of areas of lots and roads.

We trust you can now proceed with processing this application.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD Director

PEFERRED TO "STION TAKEN INITIALS DATE

M. Arieland

Information

E.M.S. 100

From:

Howard Wright po8.KMawhinn

To:

Subject:

P14693-Dannemora Sutton Block-Concept Subdivision

I note you have taken a copy of the above on 11 June. Have you any requirements? Please give me a progress position today.

Howard





Correspondence: Private Bag 76-917,

Manukau City,

New Zealand

DX EP75557

Telephone: 09 263 7100

Facsimile: 09 262 5151

7 Nov 1997

Fax - Building and Resource Services: 262-5168

Wood & Partners Consultants Ltd P O Box 6752 Auckland

Attention J F Gardiner

Dear Sir

Applicant:

Application: Proposal:

Dannemora Holdings Ltd / Fulton Hogan Holdings Ltd RESOURCE CONSENT FOR LAND USE ACTIVITY TO UNDERTAKE LAND MODIFICATION WORKS

(Earthworks only)

Location:

474 East Tamaki Road

Legal Description:

Pt Lot 2 DP 82625, Pt Lot 2 DP 23052, Lots 10, 12, 13, 14,

17, 18, 19, 20 & Pts 9, 11 & 15 Deeds Plan 615

Zone:

MCC Proposal No:

Future Development - Main Residential 10520

BRS Reference:

6081/474

DECISION

I wish to advise that your application for the above proposal has been considered under delegated authority as a Restricted Discretionary Activity and that consent has been granted pursuant to Sections 104, 105 and 108 of the Resource Management Act 1991 and the rules of the Transitional District Plan for Manukau and Proposed District Plan for Manukau subject to the following conditions:

Earthworks / Land Modification

- All land modification works shall be undertaken in general accordance with the 1. approved plans numbered C4-10520 (1 sheet) by Council and with the following reports submitted as part of the application:
 - Geotechnical Investigation Report On The Proposed Sayes Block Residential Subdivision At East Tamaki For Dannemora Holdings / Fulton Hogan Ltd. (Job 7409, dated 19 Aug 1997). This report covers the fill material for the site.

- (b) Geotechnical Investigation Report On The Proposed Sutton Block Residential Subdivision At East Tamaki For Dannemora Holdings And Fulton Hogan Ltd. (Project No. 7410, dated 3 Sept 1997). This report covers the site to be filled.
- 2. All work shall be supervised by an engineering representative appointed by the owner (refer to the engineering standards).
- Arrangement of a 'pre-construction' meeting is required at least 48 hours prior to commencement of the works. Please contact Melissa Rodgers (phone 262-8900 extn 5856)
- 4. All land modification works associated with the activity involving either removal of soil from the site to an approved clean fill location or its relocation on site, shall be undertaken in such a manner as to ensure that beyond the boundary of the site there should be no 'dust' or 'soil erosion / siltation', which in the opinion of an enforcement officer who is employed by Council, is objectionable, offensive or has the potential to create an adverse effect on the receiving environment.

The proposed development will require a resource consent from the Auckland Regional Council for the control of silt, however the silt and air pollution measures set out in the application shall be the minimum standard for this consent.

5. Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of Rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME		NOISE LEVEL (dBA)					
PERIOD [Monday - Saturday			Sunday and Public Holidays			
	L_{95}	L ₁₀	Lmax	L ₉₅	L_{10}	L _{max}	
0700-1800	60	75	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	65	

Notwithstanding the noise standards above, the Council reserves the power conferred on it under the relevant sections of the Resource Management Act 1991, to control any noise which contravenes the provisions of the above-mentioned Act.

The noise levels shall be measured and assessed in accordance with NZS 6801:1991 "Measurement of Sound" and NZS 6802:1991 "Assessment of Environmental Sound".

- - These land modification works proposed shall be undertaken in a manner which
 ensures that the land within the above site and the land on adjoining properties
 remains stable at all times.
 - 7. Fill material for this development from outside the property shall be carted along a route across private property, and not along public roads.
 - 8. Right of Entry is be obtained from the owners of the affected properties along the haul route prior to any work commencing.
 - 9. All trucks that are to leave the site by public roads shall manoeuvre on a clean 'all weather' surface at all times, with any soil deposited on the roading network being cleaned up immediately at the applicants expense.
 - A Foundation Completion Report for the site shall be submitted to the satisfaction
 of the Manager Development Compliance upon the completion of the land
 modification works.
 - 11. Adequate provision shall be made for the protection of the existing gas line across the property to the satisfaction of the owner of the pipeline.

Protection Of Archaeological Features And Cultural Matters

- 12. No work shall be undertaken in the vicinity of the hand laid dry stone basalt boulder wall located adjacent to the north west boundary of the site until the Historic Places Trust has been consulted as to the archaeological status of the wall, and if necessary consent has been obtained from the Trust to modify it.
- 13. Prior to the commencement of earthworks an on-site archaeological inspection shall be undertaken in the area identified as "Area A" on the attached plan numbered C4-10520-A. The report shall be submitted to the Historic Places Trust, with a copy to the Manager Development Compliance.
- 14. If any archaeological or waahi tapu sites not previously identified are discovered during the earthworks all works in the area must cease until authority to proceed has been obtained from the Historic Places Trust.

The following people shall be notified immediately:

An archaeologist

The Regional or Head Office of the Historic Places Trust

The contact person for the iwi authorities as listed below:

Nganeko Minninhick Ngaati te Ata c/- Awaroa ki Manuka PO Box 250 WAIUKU (Telephone (09)235 9052, Fax (09) 235 7513)

Ngati Paoa 363 Don Bucks Road MASSEY Attention: Principal - Hariata Gordon (Telephone 832 1860)

Carmen Kirkwood
General Manager
Huakina Development Trust
PO Box 319
PUKEKOHE
Attention: Rangi Mahuta
Environmental Manager
(Telephone (09)238 0253 Fax (90)238 0259)

The Secretary Ngai Tai ki Tamaki Tribal Trust 517 Oruarangi Road MANGERE

15. The following tangata whenua authorities shall be notified in writing at least 10 working days prior to the commencement of earthworks on the site in order to allow kaumatua to be present during these earthworks.

Nganeko Minninhick Ngaati te Ata C/- Awaroa ki Manuka PO Box 250 Waiuku Telephone (09)235 9052 Fax (09) 235 7513 The Secretary Ngai Tai ki Tamaki Tribal Trust 517 Oruarangi Road Mangere

General

16. That pursuant to section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this resource consent are paid in full.

Costs

- That pursuant to Section 36 of the Resource Management Act 1991 the applicant shall be responsible for paying for administrative charges relating to receiving, processing and granting of the resource consent.
- 2. That in addition to the consent charge a monitoring and supervision charge relating to the engineering conditions of the resource consent will be applicable. The applicant will be advised of the charges as they fall due, covering the fair and reasonable costs incurred by the Council.

Advice Notes

The applicant is advised as follows:

- 1. Further Resource Consents are required. This consent does not constitute a resource consent for subdivision or land modification for the installation of public utility services. Application will need to be made for such consents where that application complies with or addresses to the satisfaction of Council the rules and requirements of the Manukau Proposed and Operative District Plans. This shall include the submission and approval of full engineering plans prior to works commencing. Further conditions will be imposed in the subsequent consents.
- In accord with Section 125 of the Resource Management Act 1991 this consent shall lapse two years after the date on which it was granted unless it has been given effect to before the end of that period.
- The development conditions of this consent require compliance through completion of the works to the satisfaction of the Manager - Development Compliance within six months of the commencement of these works.

4. The following addresses are listed for your information:

New Zealand Historic Places Trust Auckland Regional Office PO Box 105 291 AUCKLAND Attention: Kim Tatton / Amanda Young (Telephone 307 0413)

New Zealand Historic Places Trust Wellington Head Office PO Box 2629 WELLINGTON Attention: Vivienne Rickard (Telephone (04)472 4341

Reasons for the Decision

- The effects of land modification works from silt / soil erosion, dust and noise have been mitigated by the imposition of the above conditions, and the silt control measures proposed by the applicant. In this regard, the effects on the environment have been identified as minor.
- 2. The proposed works are necessary to establish a stable building platform upon which to undertake the intended activity on the land.
- 3. The short term adverse effects (identified within Reason I. above) of the proposed land modification are outweighed by the long term benefits of the potential use of the above land for the proposed activity.

Within 15 working days of receipt of this decision you may lodge an objection to the decision pursuant to Section 357 (2) of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Should you have to enter into any future correspondence or enquiries relating to this consent, could you please ensure that you include the file reference at the foot of this letter.

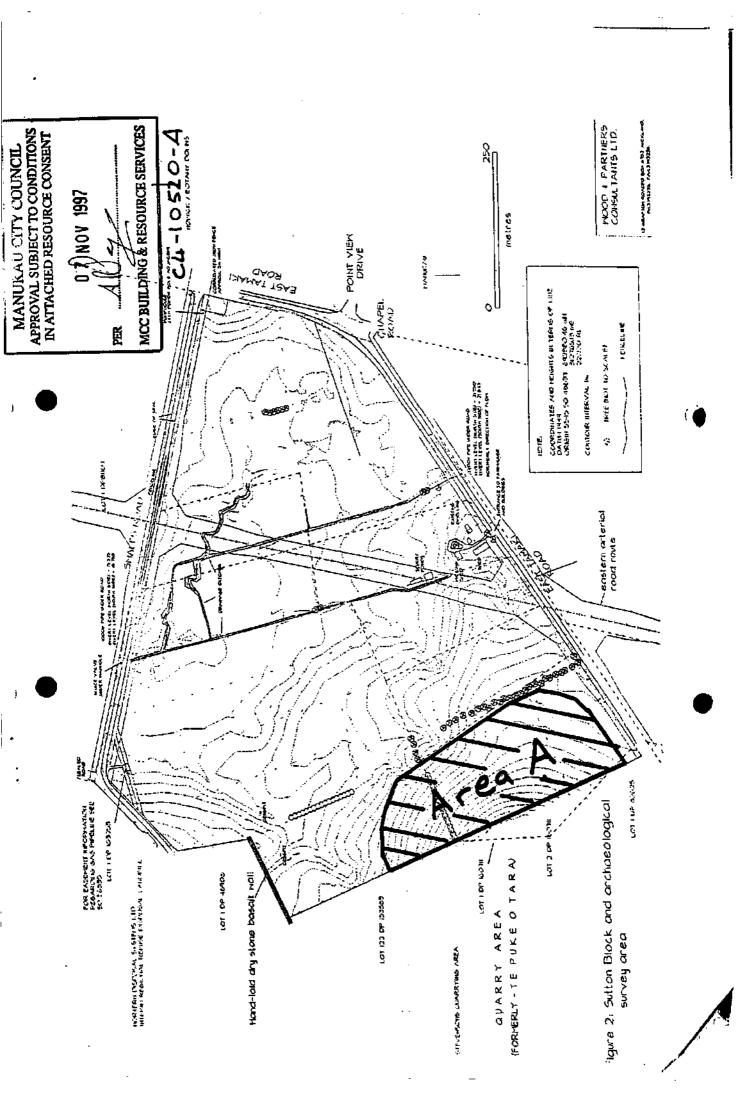
Yours faithfully

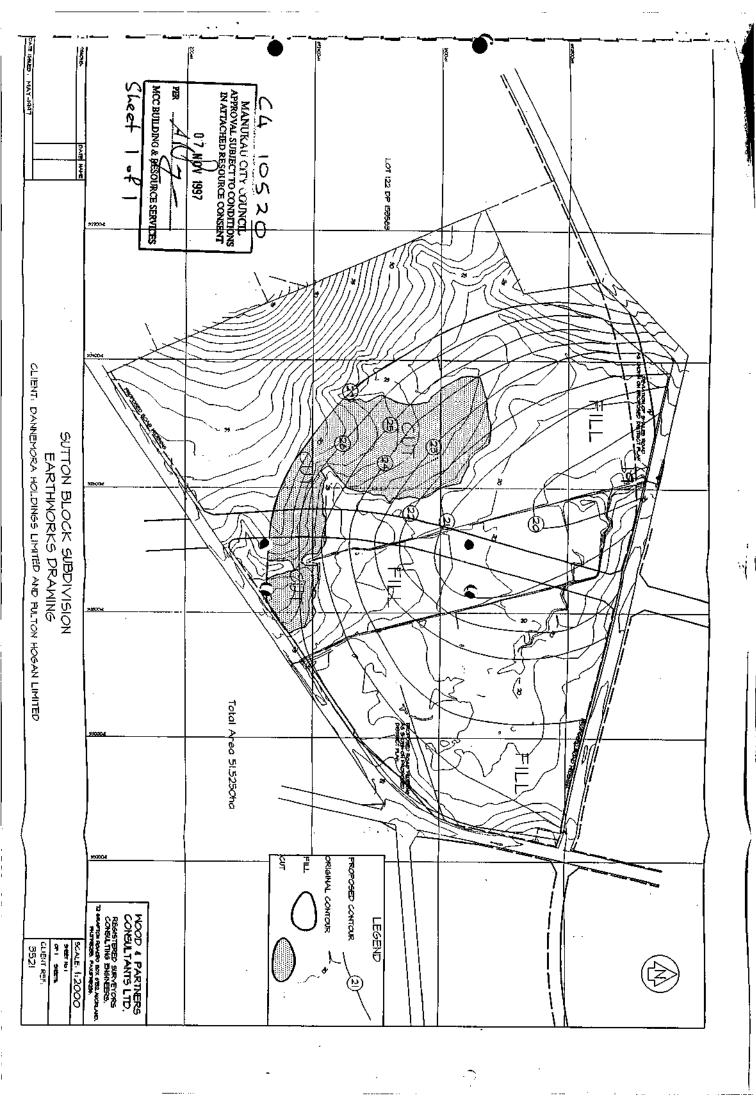
Date _____ 4/11/47
Commencement of 15 Working Days

RE: \$357 RM Act 1991

Cheryl Cleary

Team Leader - Resource Consents **BUILDING & RESOURCE SERVICES**





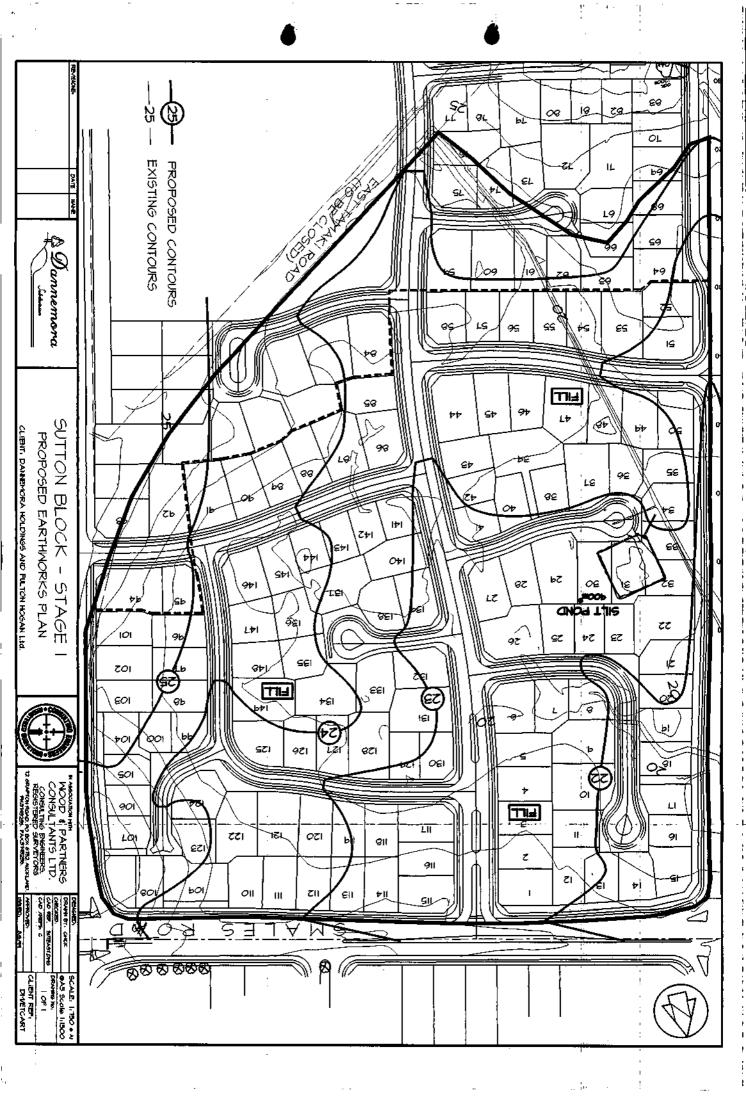
WOOD & PARTNERS CONSULTANTS LTD CONSULTING ENGINEERS, REGISTERED SURVEYORS RECEIVED AUCKLAND Auckland DIRECTORS: 8 JUN 1999 Level 3 D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FUI 72 Grafton Road T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.LS. City, D. W. WILLIAMS B.SURV., M.N.Z.LS. P.O. Box 6752 ASSOCIATES: Phone: Bus. 379 3235 J. F. GARDINER B.E., M.I.P.E.N.Z. Fax: 379 3236 M. G. WILLIAMS B.SURV., M.N.Z.I.S. To Date Project with: No.: Revision: Description: Sent by: AMENDED PLANS For your Approval Information Comment Records Action As Requested

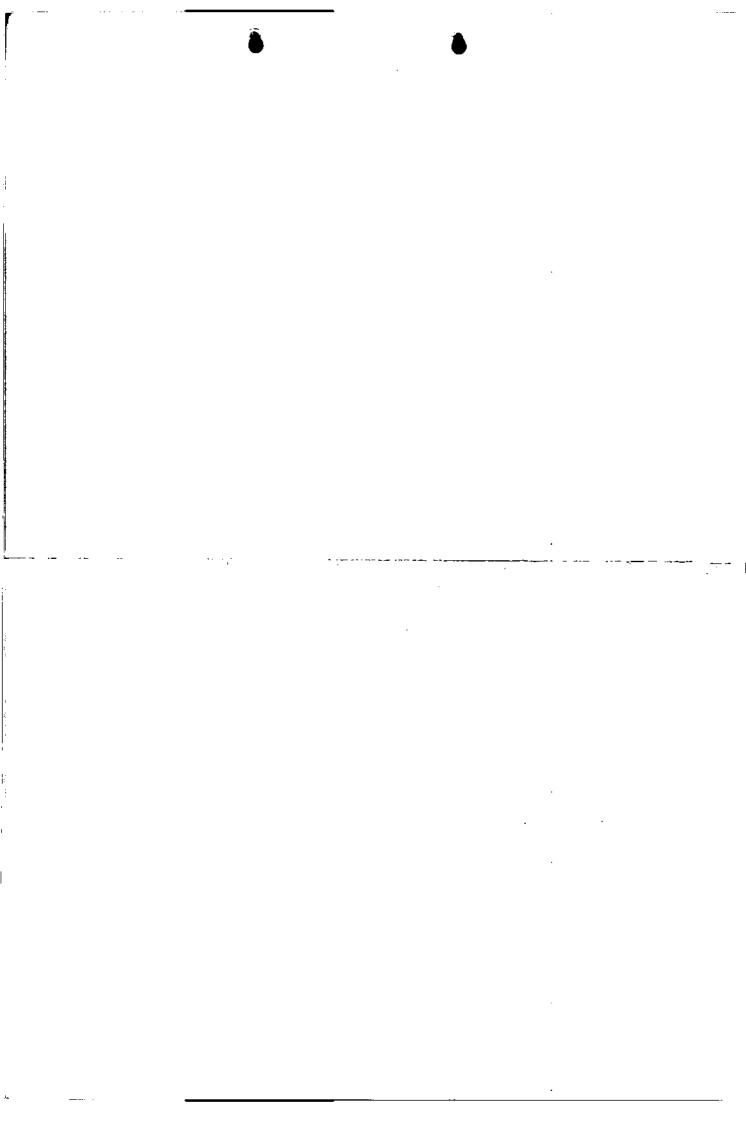
Please note:

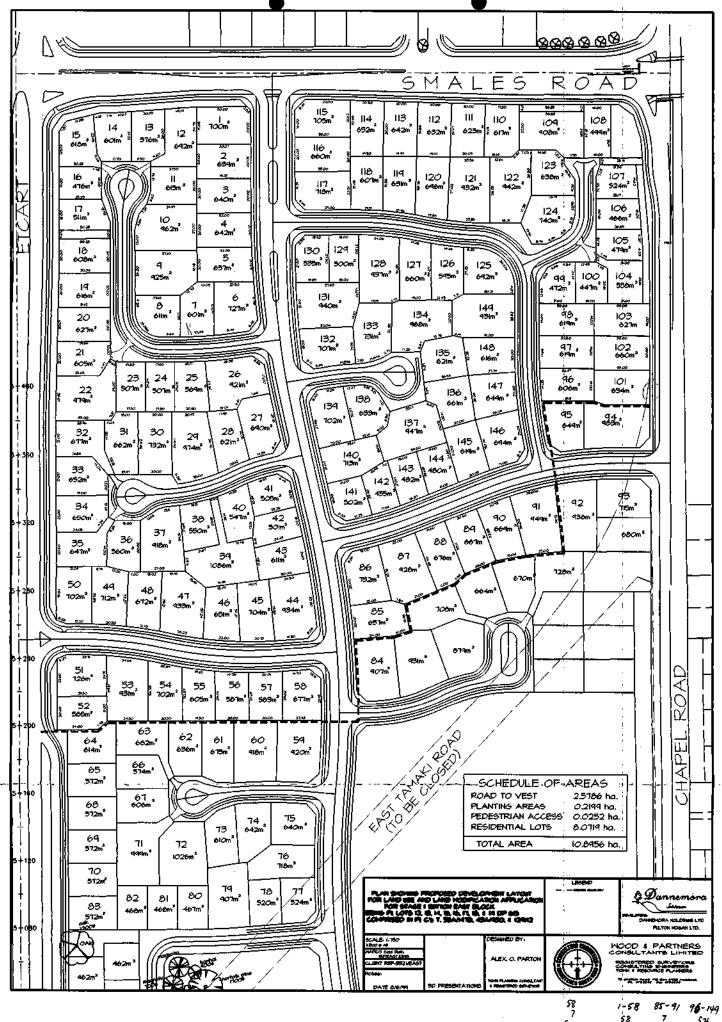
the Howard wight

With Compliments

WOOD & PARTNERS CONSULTANTS LTD.







sy. 58 7 54 11, 9



BUILDING & RESOURCE SERVICES

		Site Ref No:	
RECORD OF TELEPHONE CONVERSATION:		Date:	
RECORD OF PERSONAL INTERVIEW:		Time:	
OFFICER:		Page:	
CUSTOMER:		Phone:	
,	• • • •		
SITE: 5P6 198 P 146	93.		
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Don Wood to Regget	7exh	a plan	8. :
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Refer to:			



MANUKAU City Council

Facsimile: Telephone: (09) 262 5168

(09) 262 8900

Manukau City Council Private Bag 76-917 Manukau City

TO:

Wood and Partners.....

ATTENTION

Don Wood.....

FAX NO:

379 3236

FROM:

Howard Wright

EXTENSION: 5802

DATE:

1/6/99

PAGES 1

Dannemora Lodgement Sutton-East(Stage 1) 57 6198 P. 14693

Don

Further to our meeting and subsequent discussion please forward the following items to complete lodgement.

The second completed report 1

Devant Wreyhow

A further subdivision plan (A3) at double the submitted size (for the actual subdivision) 2 including boundary dimensions and a schedule of the bulk areas (roads etc)

An earthworks plan showing existing and proposed contours, areas of cut and 3 fill, sedimentation ponds etc.

A copy of the previous Land Modification Consent and plans.

On receipt we will return the lodgement acceptance form with your receipt.

Thanks

The information in this facsimile is confidential between Manukau City Council and the intended recipient. Any other persons receiving this facsimile are required to respect that confidentiality and may not disclose, copy or make use of its contents. If you have received this message in error please notify Manukau City Council immediately and destroy this facsimile.

	•
1 XX	MANUKAL
	City Council

PRIVATE BAG 76917 MANUKAU CITY DX EP 75557 PHONE 263-7100

G.S.T. Reg. No. 51-963-660

OFFICIAL RECEIPT

Wood & Partners Consultances und Po Box Wellesley St art: Don wood

PROPERTY No). <u>[</u> [4693	SP 6198
LOT	D.P.		
RATES/WATER	RATES		
SUNDRY A/C			
RENT A/C			
CREDIT A/C	3330	1257	014693
		' \$	562:50
East Tar	make.	<i>ا</i> لم	
Resource Ce	nent	- Depos	it 474 lon

370 LAND USE CONSENTS \$562.50 01.06.99 roomal 76 CHEGUE Tax Invoice/Receipt OST Aut: \$62.50

FOR: BLDG & RESOURCE SERVICES 64 9 2625168 SEND DATE START RECEIVER PAGES TIME NOTE	, Á	\$ [- [0]	-	12:38 13793236	12:38	1-JUN
FOR: BLDG & RESOURCE SERVICES 64 9 2625168 SEND	NOTE	TIME	PAGES	RECEIVER	ω Έ Χ	ÐĤ-LE
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SERVICES 64 9						;
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A CHANCED POTES

BUILDING AND RESOURCE SERVICES

Resource Consent Team

INTER-OFFICE MEMO	
DATE: 2/6/99. Bruce Howland TO: Environmental Policy LOCATION: Admin C.8.	
FROM: Manager - Resource Consents	
Resource Consent Co-ordinator / Contributor Mike Prichard	ext <u>5874</u>
PLEASE REPLY BY: 45 AP	

RESOURCE CONSENT APPLICATION

REQUEST FOR INPUT

FOR

14693

SP6198

474 EAST TAMAKI ROAD

OTARA

31/05/99

DANNEMORA HOLDINGS LTD/FULTON HOGAN

Iυ

MAIN RESIDENTIAL

PRIVATE BAG

H112629

ELLERSLIE

\$562.50

Land Use

116 LOT SUTTON BLOCK STG1 CONCEPT LAND MODIFICATION

Michael Pritchard

Bruce . BACKGROUND INFORMATION / ON THE PROPOSAL:

Does this concept subdivision. roading reflect your meeting Atex Parkon . - are you comfortable with this proposal.

9/6 Bruce Harlands happy with waar layout
for this stage 1. but that is all.

W zong to sowth of ETRd is hihre residential.

46/99 Danneuma - Sutton Blook. Sulton Block. designations 1) Etout road underry. Dann & Coural agreemt 2) Road closury Roschy layout pederhian access OK BH 9/6/99. reserves. BH 9/6 was adore re reserve in Sutton block went of ETCART. 5) 120 lots - 3 sizes B w. s/w s/s. water. Env Man plan 0 - 2 orner? Dann + Bob Suffer Form foch report Geo report Ø ARC efw 6

SPG198 P14693

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SP6198 P14693

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Dannewood - Suffor Block

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MANUKAU CITY PROPOSED DISTRICT PLAN



Designations

Proposed Road Widening

 (3	0								1 . 1
	p ∌e d Ro	37	37			•		37, 48	Also on Map
	opaged Road Widening	Watercare Services Ltd: Wastewater Purposes - Pipeline and Associated Structures	Proposed Public Open Space	and into land issued by ARC Environment and resource consent PRM 6291/1 issued by Manukau City Council	No. 928677 Discharge of leachate and landfill gas through the clay liner No. 928678 Diversion of groundwater No. 949458 Discharge of landfill gas to the atmosphere	No. 928676 Diversion and discharge of stormwater	Northern Disposal Systems Ltd - Interim Regional Refuse Disposal Landfill for the purposes of and in retation to refuse disposal and in accordance with the conditions (or any subsequent modifications of these conditions contained in resource consents:	Proposed Public Open Space	Description of Designation
		Various	Main Residential		_		Public Open Space 2 , Future Development Stage 1	Main Residential	Underlying Zone
		Watercare Services Ltd	Manukau City Council		·		Auckland Regional Council	Manukau City Council	Requiring Authority
		\$		ID No:	Her	_			
				Also on Map	itage Res Prot		37 25 25 37		Also on Map No:
<u> </u>	<u> </u>	"Willowbank" Cottage Dairy Factory Managers Office	Schedule 6A - Buildings & O	Description	Heritage Resources to be Protected		Allens Road/ Waiouru Road/ Allens Road/ Waiouru Road East Tamaki Road	Chapel Road	Road Name
		s Office	3ulidings & O			Pt Lot 16 East side	North side Lot 2 DP South side Lot 1 DP West side	East side	Descrip

ų	25	25		Also on Map No:
Dasi lamaki Road	Allens Road/ Waiouru Road	Allens Road/ Waiouru Road	Chapel Road	Road Name
Pt Lot 16 DP 23052 Pt Lot 16 DP 23052 East side -Pt Allot 103 to Pt Allot 109 East side 2.55m	South side - Lat 1 DP 85660 to Lot 1 DP 67076	North side - Lot 3 DP 58543 to Lot 2 DP 88982 inclusive	East side -Pt Albot 110 Pakuranga Psh Varying Depths (See diagram 1 4B of the plann	Description of Affected Properties
East side 2.55m		4.65m	h Varying Depths (See diagram 12 in Appendix 4B of the planning Maps)	Description of Affected Properties

	10 140.	Map	Description	Address
al Manukau City Council		• .	Schedule 6A - Buildings & Objects	ects
Watercare Services Ltd	•	. ** .	"Willowbank" Cottage	459 East Tamaki Road, East Tamaki
	5		Dairy Factory Managers Office	508 East Tamaki Road, East Tamaki
		Market No.		
Depth of Building LineFor Road Widening Purposes		en Nove		
4.65m				
Varying Depths (See Diagram 12 in Appen- 4B of the Plan-				
5 to 4.65m				
Varying Depths (See diagram12 in Appendix 4B of the planning Maps) 4.65m				
1 4.65m		·		
Psh Varying Depths				Limited Drainage Infrastructure Protected 9

Also on Map No:

East Tamaki Road Smales Road Road Name

North side - Pt Lot 1 DP 29684 to Lot 2 DP 81107 inclusive North side -Lot 17 Deeds Plan 615, Pt Lot 16 DP 23052

Affected Properties Description of

East Tamaki Road Smales Road Smales Road

East side - Pt Allot 109 Pakuranga Psh Varying Depths

(See diagram 1 in Appendix 4B of the Planning Maps)

To Very Limited Oralnage Infrastructure

Protected Stream

South side - Lot 6 DP 99568 to Lot 1 4.65m

Chapel Road Smales Road

South side - Lot 12 Deeds Plan 615 to 4.65m Pt Lot 15 DP 615 inclusive Varying West side - Pt Allot 121 (See di

North side - Lot 1 DP 81107

From:

Steve Dudley

To:

PO1.APayne

Date:

20 August 1999 8:55am

Subject:

Sutton Block Conditions

Alan,

Please find attached the memo for you with conditions for the Sutton West and East Concept Subdivision Consents from Dannemora.

I will put a signed hard copy in the post today.

Steve

CC:

CFreke

ENVIRONMENTAL MANAGEMENT

Infrastructure Policy

LEVEL 8 CIVIC CENTRE

INTER-OFFICE MEMO

DATE

19 August 1999

TO

Alan Payne, Senior Resource Engineer

FROM

Steve Dudley, Infrastructure Policy Analyst

FILE REF

SUBJECT

CONDITIONS FOR SUTTON BLOCK (EAST) CONCEPT

SUBDIVISION

Please insert the following conditions to the abovementioned consent notice with regard to roading contributions to ETCART and Smales Road.

"1. The applicant shall provide a monetary contribution toward the construction of ETCART for the length frontage specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of lots 15, 16, 17, 18, 19, 20, 21, 22, 32, 33, 34, 35 and 50. From the projected northern boundary of lot 51 south to the projected southern boundary of lot 52. This being the length of frontage where no edge treatment is provided to the ETCART route. This contribution is to be based on a through road standard.

- The applicant shall construct at no cost to the Council, all works required to intersect Road 8 with the ETCART route including the construction of footpaths and berms.
- 3. The applicant shall be required to provide a monetary contribution to the construction of Smales Road for the length of frontage specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of pt lot 15 DP 615 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and pt lot 15 DP 615. This contribution shall be based on a through road standard.

- 4. The applicant shall construct at no cost to the Council all works to intersect Road 1 with Smales Road, including construction of footpaths and berms.
- The applicant shall be required to construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road. The value of this work shall be deducted from the contribution required in Condition 3.
- 6. All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council."

You may wish to check the number of the lot I have quoted as pt lot 15 DP 615 at the intersection of Smales and Chapel Roads. The print on the faxed pan I have is hard to read. If you have any questions regarding these conditions, please contact me on ext. 5890.

Regards

Steve Dudley
Infrastructure Policy Analyst
ENVIRONMENTAL MANAGEMENT

From:

Nihal Ginige

To:

PQ1.HWright

Date: Subject: 8 July 1999 9:35am Sutton Block -east

Howard,

Please find attached the conditions of approval and advice note to go into the concept subdivision. I have not indicated the sizes of watermains to go on ETCART road and ET Road as we have not decided on the sizes. We want to keep the options open.
Please phone me or Mark if you need any clarifications

regards

Nihal

Manukau Water

INTER-OFFICE MEMO

To:

Environmental Services

Attention:

Micheal Pritehard Howard Wught

From:

Nihal

Date:

08-Jul-99

Site Address: 474 EAST TAMAKI ROAD, OTARA

Site ref:

6081/474 SP6198

Proposal No:

14693

Type of development: concept subdivision

Number of buildings / lots: 116

CONDITIONS OF APPROVAL

The attached plans are approved as Network Extensions for Water and Wastewater systems subject to the following conditions:

SPECIAL CONDITIONS

Servicing

- 1. Adequate provision is to be made for the disposal of wastewater to the nearest adequate wastewater system, which makes provision for any upstream catchment. This involves extending the wastewater system to and within the site to provide each lot with an individual connection point in accordance with the Development and Performance standards of the proposed District Plan.
- 2. An adequate water supply reticulation system is to be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. This involves extending a water supply system to and within the site to provide each lot with an individual connection point in accordance with the Development and Performance standards of the proposed District Plan.
- 3. The applicant is advised that the site is not currently serviced for water. A new 200mm watermain will be installed along Smales Road by Manukau Water in due course for which, the applicant will be required to pay a financial contribution based on the road frontage.. The applicant will be required to liase with Manukau Water in relation to the proposals for water reticulation along ETCART Road, East Tamaki Road and the internal reticulation.
- 4. The applicant will be required to pay a financial contribution based on the gross area for wastewater servicing (Smales Road sewer -FC 139). This will be assessed at the time of the full subdivision.

Proposal No:

14693

File Ref:

SP6198

SITE ADDRESS

474 EAST TAMAKI ROAD

OTARA

LEGAL DESCRIPTION **LOT 12 DEEDS PLAN 615**

APPLICATION: 116

BLOCK LOT SUTTON

CONCEPT STG1

LAND

MODIFICATION

Applicant:

DANNEMORA

HOLDINGS Agent: WOOD & PARTNERS LTD

WARD

LTD/FULTON HOGAN LTD

Address: PRIVATE BAG

ELLERSLIE

Address:

PO BOX 6752

WELLESLEY STREET

Att: Mr Don Wood

Contact: DON 379 3235

Consent Type Land Use

Cadastral Map

Operative Zone

FUTURE

DEVELOPMENT

(STAGE 1)

7/46ý7/46ý7/46ý7/46ý7/4

6ý7/46

Consent Co-ordinator Proposed Zone

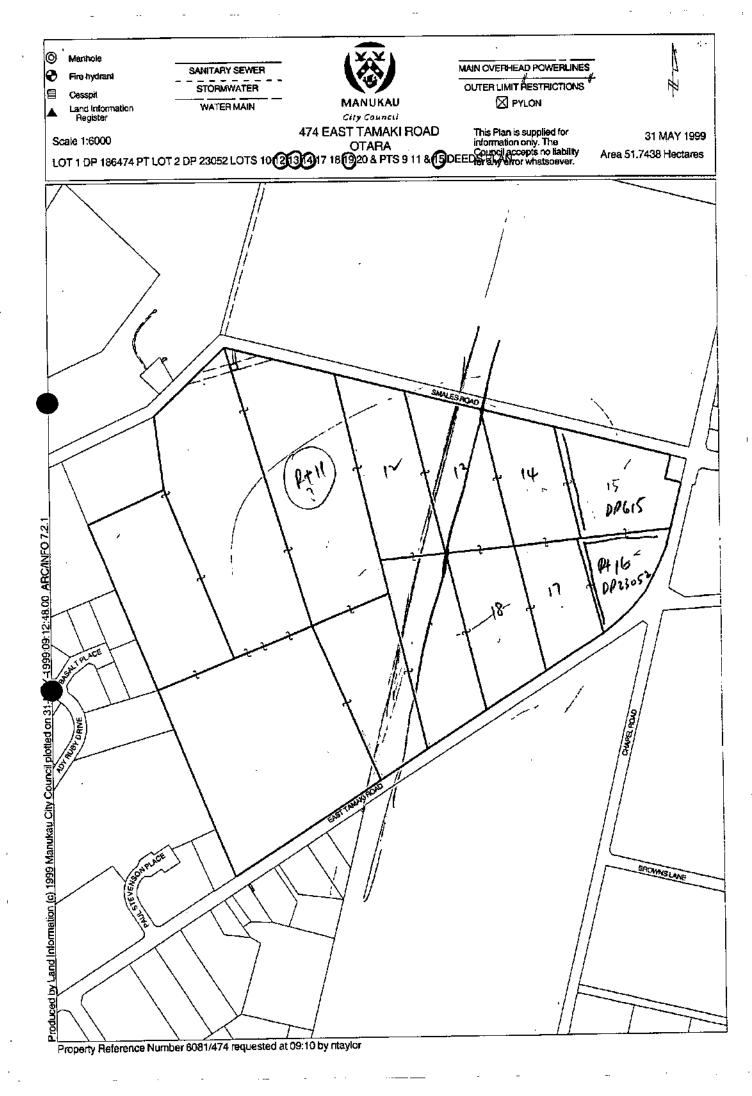
Michael Pritchard MAIN RESIDENTIAL

District Plan Map

Does not: Vetting comments. Please select option and if necessary provide details over Discipline require Have taken copy and Comments (more space over Signed vetting NFA will provide written (tick ✓) leaf) conditions Planning Refer to Urban Designer Yes/No Subdivision Engineering: Financial contributions Yes/No Manukau Water (M) 11/ Transportation: Refer to roading Yes/No Building Copy of cross lease/unit title plan to Consents 15.6 Robin Mechan Yes/No Environmental :: 11.6 Protection Ten days Fast Track Yes/No Received 31/05/99 Twenty days

Section 94 assessment	Notified Non-not		Site inspection		
Section 92 re	-	Information received	Internal referrals to	_ _ \$	Response
	•				
Decision stat	us Gran	ted/Refused/Withdrawn	District Plan Activity	Type	

Decision date	Operative PE/CA/DA/RD/NC/PR Proposed PE/CA/DA/RD/NC/PR
NOTES	



Manukau City Council - Internal Property Summary generated at 09:10am 31/05/1999 PRM REF 6081/474

Owner/Ratepayer

Address

474 EAST TAMAKI ROAD, OTARA

(EAST TAMAKI)

Legal description

LOT 1 DP 186474, PT LOT 2 DP 23052, LOTS 10,12,13, 14,17,18,19

,20 & PTS 9,11,& 15 DEEDS PLAN 615,

District Plan Details (incl. Public Works)

Area 51.7438 Hectares

FUTURE DEVELOPMENT (STAGE 1)

Cadastral map 7/46

PROPOSED ROAD (UP S1) , 27a, 37b, 37d, 38b, 38c, 38d, 39a, 47a

INDUSTRIAL 1

Proposed

MAIN RESIDENTIAL PROPOSED ROAD

Wind Zone HIGH

BUSINESS 5 ROAD WIDENING

Rates assessment number

Valuation number Not Separately Assessed

Water account number **NOT ON SUPPLY**

Meter last read

Miscellaneous Notes

Health

None known

Pool fencing

No Pool Registered

Manukau City Council - Internal Property Summary generated at 09:10am 31/05/1999 PRM REF 6081/474

Following consents effect the whole site.

Resource Consents issued under Resource Management Act.

Decision	Description	Applicant	Decision	Status	As at	See
Date /	\		Туре		Date	Note
25/02/94	SUBDIVISION 4380	W.A. STEVENSON	& SON Granted			
17/12/97	Variation to Cons	ent Condition Dannemora Hold	lings L Granted	Not Checked		1
27/05/98	Consent realignme	nt of a secti Natural Gas Co	orporat Granted	Not Applicable		2

Notes

- No Compliance checks have been undertaken by MCC due to either, MCC have not been formally
 advised of compliance, or the proposed use has not commenced. As Compliance is a condition of
 Consent approval, you are required to check the current activity and determine whether the
 original conditions have been complied with.
- 2) There may be conditions at this resource consent that require compliance before the commencement of the use, or on an ongoing basis. Details of such conditions are embodied in the original consent.

Building Consents/PIM's/Permits issued.

CCC - Code Compliance Certificate

Issued Work Description

Status

CCC Details

Area

Dwellings

n/a DWELLING EXISTING - AGE UNKNOWN - NO RECORDS EXISTS

- PLEASE NOTE NO RECORD OF FIELD INSPECTIONS EXIST. FILE HAS NOW BEEN MICROFILMED.
- * PLEASE NOTE FIELD INSPECTION RECORDS ARE INCOMPLETE. FILE HAS NOW BEEN MICROFILMED.

IF REQUIRED COUNCIL WILL CARRY OUT AN INSPECTION WHERE THE DATE OF THE PERMIT IS
OLDER THAN 10 YEARS. A FEE WILL BE APPLICABLE. PLEASE CONTACT FIELD OPERATIONS
ON 2625108 QUOTING LIM 6081/474 - PLANS OF THE CONSTRUCTION ARE AVAILABLE THROUGH
THE LOCAL WARD CENTRE OR COUNCIL'S CUSTOMER SERVICE CENTRE, KOTUKU HOUSE, GROUND
FLOOR, MANUKAU CITY. THESE PLANS ARE TO BE ON SITE FOR THE INSPECTION.

Property Remarks :	none pres	ent.			

5/4380 7 Stevenson.

BUILDING & RESOURCE SERVICES Resource Consent Lodgement Meeting Bookings

FORM 1 14693

Contact Name:	Don Wood_	
Contact Phone No.:	3793235	7/14/6
Site Address:	H14 Eust Tamaki Rd.	12 H 1726
Ward:	Otara.	13 4112
Lagal Description:	Pt Lots 12-18,19 DP. 615.	-16 HH26
Description of Prop	osal	19 HILL
<u></u>	and Use a Land modification	· Consont
uligal Da	esenthon Please.	
If a subdivision, ho	w many Lots? 116. Is a Building Consent required? Yes.	<u>No</u>
Has the applicant o	r his/her agent been involved in a pre-application meeting for	this
Has the applicant or about this applicant	r his/her agents been involved in any previous discussions with the fator on? Howard Wolght Mike Pator	th Council star?
Type of consent re-		
(If possible, rick on	e of the following, but always add detail above)	
Subdivision	Concept only (usually only for large subdivisions) Fee Simple	
	Cross Lease - second house on site Cross Lease - more than 2 houses on site	
Land Use	Drainage only To allow another house to be built on the lot (before cross lea To allow industrial or commercial use	se)
	Boundary infringement - e.g. Too close to boundary Building in Airport Outer Control Area review Pen	
Other		
Meeting Time:	3.15 Meeting Date: Monday 3/3	st May.
Meeting Room:	Oval	

RESOURCE CONSENT LODGEMENT MEETING PRELIMINARY ASSESSMENT OF INFORMATION

PRELIMINARY ASSESSMENT OF INFORMATION	Customer Copy
2. 44. 1000	Council Copy
Lodgement meeting date: 31 Mary 1999. Site: Damenora Sullon East- Stage 1	
RRS ref. 51	
BRS ref: 51. Consent Co-ordinator: Mike Pulchan.	· - · ·
You may contact the Consent Co-ordinator on phone 262.8900 ext. 5874	<u> </u>
· · · · · · · · · · · · · · · · · · ·	
Applicant: Language Phone: Fax: Agent: Wood & Pouries Phone: 379 3235 Fax:	276 27 27
Agent: Vosac > / acces > rhone: 3/9 3 2 3 5 rax:	311307e.
Please note that the following information is necessary to satisfy the statutory Section 88(4) of the Resource Management Act 1991. Failure to provide	
information detailed below will render your application inadmissible to the Co	encil.
GENERAL	YES N/A NO
ls Form 5 -	/
Completed correctly?	☑
Signed by the person responsible for any charges?	Ø D D
Clearly identifying who is to be contacted?	
Are affected parties' consents attached? (Section 94 RMA)	
Is the deposit attached?	🗹 🗆 🗆
PLANNING	
Land Use Plans	DY IT IT
A3 plans (3 copies) Are the plans legible? Refer Sub Section In there a north point?	
Is there a north point?	
Are the plans to scale? (1:50, 1:100 or 1:200 only)	
Are all existing structures shown?	
Are all elevations with relevant HIRB recession planes shown?	
Are there any infringements shown?	
Are landscaping proposals included?	
Are scheduled tree / tree species identified (height over 3.0m)?	
ls parking provision indicated?	
ls vehicle access/egress shown?	
Have items on the IPS been addressed?	• = =,=
Assessment of Environmental Effects	. الله الله
Is an assessment of the environmental effects of the application included?	
Miscellaneous	
Explanation of application	. 000
Copy of previous resource consents (relevant resource consents only)	<i>‰</i> □ □ ♂
Is the site within the area being investigated with regard to the asbestos issued?	
If yes, is supporting information sufficient? See Geotechnical Report	
Is the property within the Air Noise or Outer Control Boundary?	
If yes, does supporting information show compliance with District Plan	

Indeasing Nams & Comments sather

ENGINEERING CHECK LIST	BRS-RC-105 Issue No 1 Page 2 of 3
Engineering Plans	YES N/A NO
Have four (4) sets of Engineering plans - at A3 size been provided?	
Plans at appropriate scales, and readable at A3 size?	
Scale true for size of plan	
The plans need to include:	
The MCC standard detail drawings appropriate to this application	
All proposed details and existing features	
Gas, power and telephone services layout	
Sanitary Sewerage	4
Sanitary sewer plans - show connections for all proposed lots	
Sanitary sewer long-sections - all required details shown?	
Minimum depth of service connection 1.2m	
Application - building in close proximity to sewer (if <1.5m from sewer)	
For 40 lot subdivisions or larger, or if pump station proposed	
Catchment plan	
Assessment of catchment population in 50 years	
Flow calculations.	
Calculations w.r.t. adequacy of downstream system	
Stormwater	
Stormwater plans - connections shown for all the lots?	
Stormwater long-sections - all required details shown?	
Minimum depth of service connection 1.2m	
Are the stormwater calculations, including catchment plan, appropriate?	
Does the design cater for the upstream catchment?	
Is the assessment of downstream stormwater system satisfactory?	
Is the overland flow assessment accurate Water Supply	
Are water connections shown for all lots?	
All proposed valves, hydrants, bends shown?	
Pipe materials specified?	
-Ducted rider mains for three or more lots served off accessway?	
Forthweeks and Stability	
Earthworks plans included? Louise previous affecting Quantity of cut/fill identified? Louise & Plans	
Quantity of cut/fill identified? Languary & Plans	
Cut and fill areas defined?	
Silt control measures?	
Has ARC consent been obtained? (If over 1 ha, or 0.25 ha and over 15° slope	
or 50m from stream or wetland)	
Is the geotechnical report adequate - steep or filled or unstable sites?	
Accessway / road construction details shown?	
Road marking and signage shown?	
Right of Entry	
Have written rights of entry from affected parties been provided?	
If 'no', summary of approaches made and results of consultation	
If 'no', have all other alternatives been exhausted?	

	Issue No 1 Page 3 of 3	
SUBDIVISION CHECK LIST Is consent sought for:	YES N/A NO	
'Land modification' (being a Concept Subdivision)?, or		
Full subdivision (including engineering approval)?		
Is a recent search copy of the Certificate of Title for the site supplied?		
Is land use consent concurrently required?	8/00	
Have any other Resource Consents been granted in relation to the site?	百百酉冬	phy
Has an assessment of the environmental effects of the application been supplied?		/
Are 4 x A3 copies and 1 x A4 plans of the proposed subdivision supplied?		iount
Do the plans or supporting information show:		موم .
The net site area of the existing and proposed sites?	= = **	ace Dinensa
The site coverage of all buildings shown on the new sites?		vinena
The areas and dimensions of all proposed allotments?		
The positions of all new boundaries including unit and covenant boundaries?		
The location and areas of all proposed reserves with improvements?		
The location and areas of any land below mean high water spring tide		
The locations and areas of land to be set aside as new road?		
The location and areas of any existing or proposed easements?		
All watercourses with an average width greater than 1 metre?		
The proposed staging of the subdivision (if any)?		
The area and dimensions of all privateways and common areas?		
The height in relation to boundary details for all new boundaries?		
The position of any eaves in relation to a privateway or driveway?		
The position and species of any trees on the site?	000	
INFORMATION FOR THE APPLICANT	,	
Is a Building Consent required?		

BRS-RC-105

This preliminary assessment of information is check for information requirements for Resource Consents and does not alleviate responsibility to comply with the Development and Performance Standards of the District Plan(s).

Schedule of Mans

31/5/99. (Date)	Fax - Building & Resource Services 262-5168
Box 6752 Wellerley	
●ar Dom	
ACKNOWLEDGEMENT OF FOR Dames	OF RESOURCE CONSENT APPLICATION - Sutton East. Stage / Consept
AT: Suales and	East Tamake Re
31. Marg. 19.7.7.	s receipt of the above application received on Your contact person at the Council for your co-ordinator
Should clarification or more Section 92 of the Resource laborking days.	e detailed information be required, in accordance with Management Act 1991 you will be contacted. within 5
It is important to note that a all the requested information	assessment of this application can only commence once in has been provided.
Please find attached a recei application.	pt for \$562-50, being your deposit paid on the
Yours faithfully	· ·
Consent Co-ordinator OTARA/CLEVEDON.Tea BUILDING & RESOURG	
IN YOUR REPLY PLEASE QUOTE: Extn	BRS 586198 Proposal 14693 - Ph 262 8900

DANNEMORA

LAND MODIFICATION &

LAND USE CONCEPT APPLICATION

FOR SUTTON EAST STAGE 1

SMALES &EAST TAMAKI ROADS

EAST TAMAKI

MANUKAU CITY



WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DANNEMORA

LAND MODIFICATION &
LAND USE CONCEPT APPLICATION

FOR SUTTON EAST STAGE 1

SMALES &EAST TAMAKI ROADS

EAST TAMAKI

MANUKAU CITY

DANNEMORA

LAND MODIFICATION AND LAND USE CONCEPT APPLICATION

FOR SUTTON EAST STAGE 1 SMALES & EAST TAMAKI ROAD

EAST TAMAKI - MANUKAU CITY

INDEX OF CONTENTS

- 1. Submission letter
- 2. Application under Section 88 of the Resource Management Act
- 3. Alex Parton's Report on Planning Issues, Scheme Design and Assessment of Affects
- 4. Wood & Partners Report on Engineering Issues, Utility Servicing, and Environment Management Plan
- 5. Copy of Titles
- 6. Archaeological Report
- 7. Geotechnical Report
- 8. Auckland Regional Council Soils Conservation Consent
- 9. Plans Sheet 1 Master Plan at scale of 1:5000 Development plan layout
 - Sheet 3 Earthworks and existing topography
 - Sheet 4 Existing title boundaries

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



Our Ref: DM/SuttonE/RC

28 May 1999

The Manager
Building & Resource Consents
Manukau City Council
Private Bag 76-917
MANUKAU CITY

ATTENTION: MR ROBERT CHIENG

Dear Robert

RE: DANNEMORA DEVELOPMENT DANNEMORA HOLDINGS LTD & FULTON HOGAN LTD LAND MODIFICATION AND LAND USE CONSENT APPLICATION SUTTON STAGE 1 EAST TAMAKI & SMALES ROAD

We advised at the recent Dannemora/Council liaison meeting that we would shortly be lodging with Council for approval Land Use and Land Modification Consents for a stage of Sutton East Block bounded by Smales, East Tamaki Roads and Etcart.

We enclose herewith two copies of a Land Use and Land Modification Consent application for the above area containing:

- (a) A formal application (Form 5) as required under Section 88 of the Resource Management Act.
- (b) A report by Alex Parton on planning issues, scheme design and assessment of effects.
- (c) A report by Wood & Partners on Engineering issues, utility servicing and an Environment Management Plan.
- (d) Copies of Certificate of Title.
- (e) Archaeological Report.
- (f) Geotechnical Report.
- (g) Copy of Auckland Regional Council Soil Conservation Consent and plan.
- (h) Various plans including
 - Sheet 1 Master Plan at scale of 1:5000
 - Sheet 2 Development plan layout
 - Sheet 3 Earthworks and existing topography
 - Sheet 4 Existing title boundaries

(i) A cheque for \$562.50 being the requisite deposit fee of \$500 plus GST.

It is intended that construction works on this stage of the development will commence in October 1999, and we are working on the Engineering design at present. Once this is completed, we will make an Application to Council for a Resource Consent (subdivision). This application will be for at least two, if not three sub stages.

If you require any further information please let us know.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

- کین کہ حل

D.L. WOOD

Director

APPLICATION FOR RESOURCE CONSENT

Form 5

MANUKAU CITY COUNCIL

APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

This form is to be completed as part of your Resource Consent application.

We request that you provide all details relevant to your application.

Should you require assistance to complete this form, staff are available at the Kotuku Customer Centre, and the Howick Ward Centre.

To accompany your application for Resource Consent we require the written information requested in the enclosed Checklists and Form 5.

Providing all required information when you submit your application will minimise delays when the Council considers your application.

Please submit your application at any Ward Centre, the Kotuku Customer Centre or mail to Manukau City Council.

Note: If an Air Discharge Permit is required in conjunction with this application, please request an Air Discharge Information and Effects List.

)

MANUKAU CITY COUNCIL

APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

To:

The City Manager

Manukau City Council Private Bag MANUKAU CITY

Attention: Building & Resource

FOR OFFICE USE ONLY:

File Ref: Ward

Deposit Paid

Plans A1 (

) A3 (

Cheque Details Receipt No.

DETAILS TO BE COMPLETED BY THE APPLICANT

Mr/Mrs/Miss/Ms:

Full Name:

Trading Name:

Dannemora Development

Limited Liability Company Name:

Dannemora Holdings Ltd & Fulton Hogan Ltd

Street Address:

Suburb:

Private Bag, Ellerslie

Daytime Telephone Number:

579-6187

Fax Number:

579-7801

DETAILS TO BE COMPLETED BY THE AGENT (where applicable)

Mr/Mrs/Miss/Ms:

Full Name:

Trading Name:

Limited Liability Company Name:

Wood & Partners Consultants Ltd.

Street Address:

PO Box 6752

Suburb:

Wellesley Street

Daytime Telephone Number:

379-3235

Fax Number:

379-3236

ADDRESS FOR SERVICE

Mr/Mrs/Miss/Ms:

Name:

Street Address

C/- Agents, Wood & Partners

Suburb:

PLE	ASE COMP	LETE THE	FOLLOWIN	IG DETAILS			; 		
(1)	The description of the activity to which the application relates is: A further stage in the subdivision of the Dannemora development.								
(2)	The type of Resource Consent(s) sought is/are: [place \(\nu\) in appropriate box] Land Use Consent Subdivision Consent								
	Discharge Permit (Air)		\ _□ \	- Cross leas		e/unit title			
	Coastal Per	mit		- Fee	simple				
	Other			Land	Modification C	Consent			
	For other pla	ease specify	:			.===	<u> </u>		
(3)	The location to which this application relates is:								
	No: Street/Roa		Road: New S	ubdivision off	Smales and	East Tama	ki Roads		
	Locality:		East Tamaki						
	Legal Descr	iption:	R Lots 12-18,	and 19 DP 615	5				
	P. C'sT 55A/1478, 43A/930, and 129/12								
	address, the	e legal descr	n a manner wh iption, the name proximity to any	of any relevan	t stream, river	or water bo	ody to which the		
(4)			of the owner and re as follows:	d occupier (oth	er than the app	olicant) of ar	ny land to which		
	Owner:	N/A		Occupier:	N/A				
(5)	The following additional resource consents are required in relation to the proposal and have OF have not been applied for: [Place \(\nu\) in appropriate box.]								
	Land Use Consent			Applied for					
	Subdivision	Consent	V	Appli	ed for				
	Coastal Permit			Appli	ed for				
	Water Permit			Applied for					
	Discharge Permit (Air)			Appli	ed for				
(6)			of any effect tha rth Schedule to		l activity may h	nave on the	environment ii		
	See Alex P	arton's acc	ompanying rep	ort					
(7)		er informatio an or Regula	on (if any), requ ations.	ired to be inclu	uded in the ap	plication by	y the District o		

See attached report on Engineering matters from Wood & Partners

(8)	Where	the application is for a subdivision consent?
	l attacl	n information in accordance with Section 219 of the Act sufficient to adequately define:
~	(a)	The position of all new boundaries
~	(b)	The areas of new allotments (Not required for cross-leases, company leases or unit plans
•	(c)	The location and areas of new reserves to be created, including any esplanade reserves to be set aside on a survey plan under Section 230 of the Act.
N/A	(d)	The location and areas of any esplanade strips to be created under Section 232 of the Act.
N/A	(e)	The location and areas of any existing esplanade reserves, esplanade strips, or access trips.
N/A	(f)	The location and areas of land below mean high water springs of the sea or of any part of the bed or a river or lake which is to be vested in the crown or local authority under Section 237A of the Act.
•	(g)	The location and areas of land to be set aside as new road.
(9)	Mhere	the application is for a coastal permit for reclamation]
	reclaim	n information in accordance with Section 88(7) of the Act to show the area proposed to be ned, including its size and location, and the portion of that area (if any) to be set apart as lanade reserve.
TERM	MS ANI	CONDITIONS OF THE APPLICATION AND CHARGES
(1)	City So 1991. admini	osit must accompany this application: The deposit is in accordance with the Manukau thedule of Administrative Charges in terms of Section 36 of the Resource Management Act Confirmed by Special Order by the Council on 31 October 1996. The schedule of strative charges can be viewed at the Kotuku Customer Centre. Further charges may be ad for processing the application and for compliance and supervision.
(2)	accept	this form be incomplete or further information is required, you will be advised as we cannot this application until all the required information is supplied. You will receive an ance letter to confirm your application has met all the requirements.
(3)	At the outstar	completion of processing your application (whether consent is granted or not) all noting fees are payable prior to the issuing of the resource consent decision.
THE	PERSO	N RESPONSIBLE FOR THE CHARGES INCURRED MUST SIGN THIS FORM
proces	sing our n 36 of th	e Terms of our Resource Consent application and understand that at the completion of application, we are liable for additional charges incurred by the Council in accordance with the Resource Management Act 1991.
Name:		Don Wood Date: December 1998
Street	Address	: Wood and Partners, PO Box 6752, Wellesley Street, Auckland
Suburt		. ,

ATTACHMENTS

- Information provided in respect of Items (6), (7), (8) and (9) above
- (a) (b) Written consent of affected persons [Where required for a resource consent]

ALEX O. PARTON

MUSEZ ES., Dio FP. MOY Z.P.K.

TOWN PLANNING CONSULTANT

APPLICATION FOR LAND USE CONSENT AND EXTENSION TO EXISTING LAND MODIFICATION CONSENT ON BEHALF OF DANNEMORA HOLDINGS LIMITED SUTTON EAST

INTRODUCTION

Dannemora Holdings Limited seeks a land use consent, and extension of its existing land modification consent (which lapses in November 1999), for the residential development of the greater part of its Sutton East Block which comprises approximately 15.0 hectares of land located between Smales Road in the north, East Tamaki Road in the east and south east, and ETCART in the west.

ZONING

The land is zoned "future development zone (Stage 1)" under the operative (transitional) district plan, and "main residential" under the proposed district plan review. There are no outstanding submissions or references affecting the future zoning of the land, which means that the main residential zoning is now operative in its effect in terms of Section 19(b)(ii) of the RMA.

The land is subject to two series of designations. The first of these relates to ETCART (which is presently under construction along the western boundary) and the second relates to various road widenings on the Smales Road and East Tamaki Road frontages.

TOPOGRAPHY AND VEGETATION

The land is predominantly in pasture and near level apart from the southern corner which rises gradually towards the intersection of East Tamaki Road and ETCART. A large part of the block has been raised by between 1m - 4m depth of filling which has been imported from the Sayes/Kellaway blocks in conjunction with the ETCART earthworks over the past two contracting seasons.

There are several trees located towards the south western corner of the block (beyond the area of the presently proposed subdivision) which are worthy of preservation. These include three Norfolk pines, a plane tree, and two magnolia trees in close proximity to the East Tamaki Road frontage, and an oak tree which is located close to the eastern boundary of ETCART. The location of these trees is illustrated on the proposed development plan.

PROPOSED CLOSURE OF PORTION OF EAST TAMAKI ROAD

It is understood that the Council proposes to close that portion of East Tamaki Road which runs between Chapel Road and ETCART (refer appended letter from Chris Freke dated 13 May 1999). The reasons for the proposed road closure are as follows.

- 1. The road will no longer serve as a district arterial traffic route as shown on the district plan once it has been physically "cut off" by ETCART (programmed for September 1999).
- Dannemora (which is in favour of the closing) owns the land on both sides of the road and is the only property owner served by the truncated portion of the road, and directly affected by the proposed closure.
- Closing of the road would enable a more comprehensive and efficient design and development of Dannemora's adjoining land holdings.
- 4. The Council has entered into an agreement with Dannemora Holdings to close the road as part of its compensation agreement relating to ETCART.

Notwithstanding the foregoing, it is understood that no road closing procedures have yet been initiated by the Council, and the town planning maps do not show East Tamaki Road as being proposed to be closed. (In fact on the contrary they show the road as being proposed to be widened!) There therefore remains a very slight possibility that the road

may remain open. In these circumstances Dannemora is only seeking consent at this time for a development which stops well short of the "diagonal" East Tamaki Road frontage (which is proposed to be closed) so as not to foreclose or compromise the future development options for the intervening area.

In the unlikely event that East Tamaki Road is not closed, this will then enable the intervening land between East Tamaki Road and the southern extent of the development currently sought to be redesigned. Such a redesign would include the redirecting of Road No. 1 so as to intersect at right angles with East Tamaki Road, and the development of Road Nos. 2 and 7 as a single loop road or crescent off Road No. 1 (i.e. without the connection through to East Tamaki Road).

The remainder of this report assumes that East Tamaki Road will be closed and that the northern end of the Spencer Block will be developed for residential purposes as indicated in the preliminary East Tamaki structure plan

ROADING LAYOUT

The basic roading layout comprises a central north/south oriented spine road (Road No. 1) running between Smales Road in the north and a future connection between Accent Drive and Bavistock Road to the south. A series of east/west through roading links are proposed to connect this north/south spine road with the adjoining Chapel Road to the east, and ETCART to the west. It is intended that the connections onto Chapel Road (including Road No. 7) will provide for full turning movements, while those connections onto Smales Road and ETCART (Road Nos. 1 and 8) will provide for left in/left out movements only.

The ETCART and Chapel Road frontages are proposed to be developed in part with service roads, and in part by way of reverse lotting backing onto a 4 metre wide landscape planting and mounding strip located between the normal road boundary and adjoining section boundaries. The latter reverse lotting areas and associated planting strips are located predominantly in the vicinity of major intersections where direct access onto the surrounding roading network would be awkward and unsafe. The planting strips will "mirror" those which are already approved for the northern side of the intersections concerned.

The remaining roading system comprises a series of internally focused cul-de-sacs and minor loop roads which lead off the central spine road.

The main objectives of the roading design have been

- to provide a roading network that is safe and efficient and which provides ready access between the surrounding main distributor and arterial roads and residential properties, and which also provides ready access between the residential properties and the main activity areas such as schools, reserves, and bus routes etc.
- to utilise the roading network as much as possible as the main stormwater overflow
 paths in times of heavy rainfall. (In this regard it is noted that Road Nos. 1 and 4 and an
 adjoining pedestrian accessway will act as the primary overland flow path through the
 area terminating at an inflow structure located approximately 65 metres south of Smales
 Road on the eastern side of ETCART.)
- to discourage extraneous through traffic movements, and maximise residential privacy,
 and
- to comply with the relevant objectives and policies of the proposed district plan review.

PEDESTRIAN ACCESS

It is expected that there will be a significant flow of pedestrians through the next stage of the subdivision which will incorporate the northern potion of the Spencer Block. It is also expected that most of the pedestrians will be children walking to the proposed primary school in Browns Lane (which is due to open in early 2001) from the Sutton West Block via the proposed overbridge across ETCART (at its intersection with East Tamaki Road). The future roading pattern provides for a major east/west pedestrian route to lead from the foot of this overbridge where it exits onto the eastern side of ETCART, along the future east/west road to where it intersects with Chapel Road approximately 100 metres north of Browns Lane. It is expected that a pedestrian crossing will ultimately be required within this latter 100 metre length of roadway across Chapel Road.

In addition to the foregoing major pedestrian route, it is also proposed to provide for a continuation of the pedestrian access from the Howick Parklands block on the eastern side of Chapel Road, and two other pedestrian connections to Chapel Road by way of Road No. 7 and a short accessway from the end of Road No. 7. Two other pedestrian routes are also proposed to ETCART via Road No. 8 and an accessway off Road No. 4.

The foregoing pedestrian routes when coupled together with the existing road network, will provide excellent pedestrian connections in a north/south direction through the subdivision to and from a proposed centrally located reserve area (see later), and in an east/west direction out to the potential future bus routes along ETCART and Chapel Road, and also the Browns Lane primary school.

RESERVES

No reserves are proposed to be provided in the first stage of the Sutton East Block. However a 0.9 hectare (approximately) reserve is proposed to be established centrally within the composite Sutton East/Spencer Block in the position shown on the accompanying plan.

The reserve has been designed to incorporate most of the grove of significant trees previously referred to alongside the present northern East Tamaki Road frontage.

SECTION LAYOUT

The development comprises a total of 120 lots which have been designed to accommodate basically three categories of section sizes (types). These include

- a wide range of single dwelling sections mostly ranging between 526 750m² in area
- several unsubdivided "double unit" lots mostly ranging between 920 940m² in area, with 36 metre minimum depths (or widths) and with adequate room for vehicle access well clear of the front dwelling, and capable of being subsequently subdivided by cross lease, unit title or fee simple, and
- a series of what Dannemora term "subdivided double unit lots" which mostly range between 450 - 525m² in area, have 18 metre minimum frontages, and which are usually located in "pairs".

All of the lots have been designed well in excess of the Council's minimum area and frontage requirements in general accordance with past experience and current market demand.

EFFECTS OF PROPOSED LAND USE

The following assessment of effects follows the general format indicated in MCC form LCN-069.

The assessment has been prepared on the basis that the residential zoning provides for the development of the land at some time in the future, and it is only the form, timing and effects on services, etc., that are relevant in the present application.

The following sections deal with

- Constructions effects (items 11 and 17 of LCN-069)
- Traffic effects (item 27 of LCN-069)
- Visual character of streetscape (item 13 of LCN-069)
- Effects on supply of residential sections

Items 6, 7, 22 and 25; and items 23 and 26 (of LCN-069) which relate to stormwater control, and supply of utilities and sewerage disposal are addressed separately by Wood & Partners Consultants.

Potential construction effects

These include dust, silt runoff, noise and visual and are most likely to occur during the earthworks phase of the development rather than during road metalling, sealing and installation of services. Most of the bulk earthworks for the development have already been completed as part of an earlier land modification consent (which is current to November 1999) and the current application to extend this consent only involves relatively minor earthwork volumes associated with the shaping of the roads and overland flow paths etc.

The nearest existing occupied houses are located within the Howick Parklands Block to the north east of the Smales Road/East Tamaki Road/Chapel Road/Kilkenny Drive intersection. The occupants of these dwellings are likely to experience some noise nuisance during the earthworks construction phases of the development. However it should be noted that the occupants are likely to suffer greater disturbance from the housing construction works taking place nearby. Notwithstanding this it is recommended that the consent be subject to the following condition (which is the same as that applying to past stages of development)

- (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) the identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
- (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises (any queries in the foregoing should be referred to the Team Manager - Environmental Services).
- (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information.

	NOISE LEVEL (dBA)							
TIME PERIOD	Monday - Saturday			Sunday and Public Holidays				
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{mex}		
0700-1800	60	75	85	45	50	65		
1800-2200	45	50	65	40	45	65		
2200-0700	35	40	65	35	40	65		

(d) The noise levels shall be measured and assessed in accordance with NZS 6801:1991 "Measurement of Sound" and NZS 6802:1991 "Assessment of Environmental Sound".

Increased Traffic Effects

The development will obviously lead to some relatively minor increase in traffic flows on the surrounding roading system, and in particular Smales Road, Chapel Road, and ETCART. However this increase in projected traffic flows has already been catered for in the designs of the roads concerned. It is expected that Dannemora will be required to contribute towards these upgrading works on the relevant roads in the normal manner as a condition of subdivision consent.

Visual Character of Streetscape

Provision is proposed to be made for landscape planting within the turning circle islands in all of the cul-de-sacs, and also within the median islands located within Road No. 1. This is in addition to the normal street planting. It is also proposed to densely plant the 4m wide landscaping strips in proximity to the main road intersections which should achieve a good level of amenity in the areas concerned.

The foregoing landscaping provisions will provide a pleasant street amenity but not an outstanding streetscape. Dannemora would prefer to have set aside larger areas for street landscaping, but is aware that the Council is trying to minimise its future maintenance responsibilities in this regard, and is not in favour of installing street planting beyond the bare minimum.

Effects on supply of residential sections

The applicant's proposal will help to meet the continuing demand for residential sections in the Botany South Area.

SUMMARY

The continued development of Dannemora's landholdings as proposed is unlikely to have any significant adverse effects either in the short or long term.

It will have some noise effects on the adjoining properties to the north east, but these effects are likely to be of short duration and largely masked by the more localised noise associated with house construction on the Howick Parklands subdivision itself. The latter effects are common in most subdivisions of this kind and are unfortunately unavoidable.

A. O. Parton

M.N.Z.P.I., M.N.Z.I.S., Dip T.P.

Date: 26 May 1999

PART 1: INFORMATION CHECKLIST

(Relating to Resource Consent applications)

INTRODUCTION

This checklist has been designed to assist you in preparing your application for a Resource Consent.

Your will need to provide all relevant information which relates to your application to enable the Council to properly assess your application.

Please check all items "\(\mu''\) or "NA" (not applicable). Remember the information you provide should only address those matters relevant to your application. Many of these items may not apply.

Written details must be provided to accompany your application for Sections 1, 4 and 5 of the checklist.

SECTION 1: THE PROPOSED ACTIVITY

This section will describe the proposed activity for the site. <u>Please provide written details to accompany your application.</u>

- 1 N/A The proposal or proposed use for the site and each building including basements, lift towers, parking, storage or service areas.
- 2 N/A Hours of operation.
- 3 N/A The number of people employed and/or accommodated on the site.
- 4 N/A The type and frequency of vehicle movements to and from the site.
- 5 N/A Describe the types and methods of storage of materials on site.
- 6 N/A Identify and describe any hazardous substance manufactured, stored, transported, used or disposed of or from the site. (Refer to Hazardous facility screening checklist available from Kotuku Customer Centre).
- Describe the type, frequency and duration of any discharge of contaminants into the environment including odour, dust and noise.
- The proposed methods for the treatment and or disposal of effluent, stormwater or any contaminant and the management of any stormwater overland flowpath.
- 10 Provide a geotechnical investigation report/statement tailored to the specific site*.
- The proposed extent of land modification (earthworks, including quantity of material), the location for disposal of excess soil, and the methods to manage soil erosion/siltation from the site.
- * We recommend you seek additional advice from the Kotuku Customer Centre or refer to the Proposed District Plan Chapter 9, Rule 9.13.2(g)(v).

SECTION 2: DESCRIPTION OF THE SITE/PROPERTY

This section will identify and describe the characteristics of the site which is the subject of the application.

(a) The Site

- The topography of the site (e.g. flat, sloping, hilly)
- 2 Any known areas of fill on the site.
- 3 N/A Any known areas of instability/earth movement on the site.
- Any areas of wetlands, habitats or watercourses on the site including location of protected streams as identified in the District Plan and stormwater overland flowpaths.
- 5 N/A Any areas of past geological or volcanic activity e.g. Tomos.
- 6 N/A Any other significant features of the site.
- 7 N/A Any known previous site contamination.

(b) Vegetation

- 1 The location and type of vegetation on the site.
- 2 Any notable trees or stands of trees*.
- Any species of trees to be protected. These are identified species which stand 6 metres or greater in height*.
- We recommend you consult the tree register which is available at the Kotuku Customer Centre, ward centres and in the Proposed District Plan in Chapter 6.

(d) Heritage

- 1 The presence of any notable house, church, well or gun emplacement*.
- 2 The location of any archaeological site*.
- The presence of Waahi Tapu*. These are significant to tangata whenua such as urupa (burial sites), pa, battle sites and canoe landings.
- * We recommend you consult the Manukau City Cultural Heritage Inventory which is available at the Kotuku Customer Centre and in the Proposed District Plan in Chapter 6.

SECTION 3: PROPERTY DETAILS

A current certificate of title and any details which affect the title, eg encumbrances, covenants, easements, leases or building line restrictions. This is a requirement for subdivisions only.

SECTION 4: PROJECT TIME FRAME

Please provide written details to accompany your application

- 1 Indicate the projected commencement and completion dates.
- 2 If it is planned to stage the work indicate the number, duration and extent of the stages.

SECTION 5: OTHER RESOURCE CONSENTS:

Please provide written details to accompany your application

Indicate if other resource consents are required and/or if other resource consents have been applied for from other consent authorities, e.g. soil conservation (ARC) and Permit to take Water (ARC).

SECTION 6: CONSENTS OF AFFECTED PARTIES

- 1 N/A Have you obtained the written consents of all affected parties on Form C?
- 2 **N/A** Advice on whether it is required is available from a Resource Consent Officer. Have the affected parties signed the plans?

SECTION 7: PLAN REQUIREMENTS TO ACCOMPANY APPLICATION FOR RESOURCE CONSENTS

- † GENERAL REQUIREMENTS
 - (a) Identification Requirements
 - 1 Address of the site including road name
 - 2 Legal Description
 - Full name of the owner and applicant (if different from the owner)
 - (b) Requirements to be included on site plan
 - 1 A scale of not less than 1:100
 - 2 V Northpoint
 - 3 All legal and proposed boundaries including all dimensions and area of the site or proposed sites.
 - 4 N/A The location and dimensions of all existing and proposed buildings, additions or alterations.
 - The topography and contours of the site in relation to the Land Information New Zealand (LINZ) datum (height above sea level) including original boundary ground levels at 0.5 metre intervals. The benchmark datum level is available from LAND INFORMATION NEW ZEALAND.

- 6 N/A Floor levels of all buildings in relation to the contours of the site and where appropriate, spot heights on the relevant boundaries. N/A 7 The position and purpose of any easement over the site. 8 Existing and proposed water courses, drainage and sewerage pipes (public and private) within and adjacent to the site. Information on existing water courses, drainage and sewerage pipes (public and private) is available from Kotuku Customer Centre and ward centres. 9 All earthworks including filling, excavation and retaining walls with horizontal and vertical dimensions and proposed finished contours. N/A 10 Existing and proposed vehicle and pedestrian access, parking, loading bays and vehicle manoeuvring on site. Details of the adjoining road where traffic issues are present. N/A 11 For multiple residential units the location and dimension of the building platform, parking, outdoor living, service areas and common areas and covenant boundaries. N/A 12 Site coverage information.
- Requirements to be included with the floor plan (c)
 - N/A A scale of not less than 1:100.
 - 2 N/A Where several floors are identical a standard floor plan may be shown.
 - N/A Floor area and usage.
- Requirements for elevations of each building (d)
 - N/A 1 A scale of not less than 1:100.
 - 2 N/A External appearance of the building including doors and windows, external cladding materials - walls/roof.
 - N/A 3 Building height and height in relation to boundary.

SPECIFIC REQUIREMENTS 2.

- (a) Requirements for subdivision application
 - 1 Foregoing requirements as applicable.
 - Proposed reserves including esplanade reserves. 2
 - Proposed roads and accessways including widths. 3
 - The balance of property. 4
 - N/A Areas subject to flooding or other natural hazards. 5

- N/A Location of existing and proposed septic tanks and soakage systems.
 Existing fences.
 Existing roads, carriageways and footpaths.
- 9 Certification as to the accuracy of the plan.
- 10 Suitable geotechnical report.
- 11 N/A Existing high capacity electricity lines.
- (b) Requirements for Engineering Plans (Construction plans for proposed public stormwater, sewer, water supply, roads, telecommunications, gas, electricity) as required by rule 9.13 of the Proposed District Plan 1995.

(In most instances these plans are to be provided by an engineer or surveyor)

- 1 N/A Engineering design plans and calculations accurately defining the work to be undertaken including long sections.
- N/A Stormwater catchment plan.
- 3 N/A Stormwater calculations.
- 4 N/A Right of entry from owners of affected properties for the above engineering works.
- 5 N/A Road pavement design calculations.
- 6 N/A Structural calculations.
- 7 N/A Geotechnical stability, report and calculations.
- 8 N/A Areas of overland flow of stormwater including any proposed easements.
- 9 N/A Copies of previous general engineering advice from Council (GIR).

See attached information.

(c) Requirements for Landscape Plans

This section is applicable if landscaping is a requirement for the activity.

When landscaping plans are required they must be submitted with the Resource Consent application.

The requirements for landscaping are:

- 1 N/A Plans are to be drawn at a scale of 1:100 or 1:200 if the site is larger than 1500m².
- 2 N/A Must show the areas to be landscaped.
- 3 N/A Must show the areas to be grassed.

- 4 N/A The location and type of any significant vegetation, notable trees and whether these are to be retained. For those being retained their dripline must be shown.
- 5 N/A Plant species to be used including plant numbers, planting size and spacing as well as height and spread at maturity.
- 6 N/A The outline of buildings, carparks, vehicle accessways.

The enclosed application is for a Land Use Consent.

SECTION 8: NUMBER OF PLANS REQUIRED

- (a) Application for resource consent, general requirements are:
 - 4 copies of plans at a suitable scale
 1 A3 reduction of the plan to scale
 Where applicable, 1 copy of A1 size landscaping plan

The exceptions are:

- (i) Restricted Discretionary Activity (Development Standard Modification) 2 copies of all plans to scale
- (ii) Engineering Plans 4 copies of A3 size

Stormwater catchment plans - 2 copies Stormwater calculations - 2 copies

This report includes:

- (a) 4 copies of report and ancillary plans of A3 size
- (b) 2 copies of development layout at scale of A1.

WOOD AND PARTNERS CONSULTANTS LIMITED CONSULTING ENGINEERS AND REGISTERED SURVEYORS

May 1999

DANNEMORA SUTTON EAST ENGINEERING INFORMATION REGARDING SERVICING

1. The application is for a Land Use and a Land Modification Consent. Detailed engineering drawings will be submitted as part of the Resource Consent (Subdivision) plans to be submitted to Council for approval. The following is an indication of the general servicing available with the recent works carried out in conjunction with Smales Road upgrading, Etcart Construction, the 1650 diameter and 2050 diameter stormwater lines, and the 450 diameter sewer. While installation of all of these services are completed, the As Builts have not yet been prepared. The construction has been carried out in accordance with the design, and the design plans are included herewith for reference.

Wood & Partners, as Consultants to Manukau Water have designed a 200 diameter watermain to be laid in the normal position (1100 off boundary) on the southern side of Smales road. This main is to be laid when the earthworks for the Smales Road upgrading at present being carried out by Fulton Hogan Limited have been completed. It is anticipated that this line should be able to be laid in October-November 1999.

2. Sanitary Sewer Drainage

An extension has been constructed to Council's 450 diameter sewer, constructed approximately 12 months ago between Etcart and the gully to the west. As shown on our accompanying drawing E1 Cad ref 1650DWG, this 450 diameter sewer extension crosses Etcart north of Smales, then crosses Smales just east of Etcart, terminating in a blank cap some 80m south of Smales, and alongside Etcart.

This position is the low point in Etcart, and is the lowest point on Sutton East. The sanitary Sewer to service Sutton East will commence from the end of the existing 450 diameter line, and terminate at East Tamaki Road, to be further extended into Athy block and the proposed primary school site in Browns Lane.

3. Stormwater

Considerable consultation has been carried out in conjunction with Manukau Consultants Limited on behalf of Manukau City, and Harrison Grierson Limited on behalf of upstream developers, as regards stormwater reticulation in the area East and South of the Smales Etcart intersection.

(a) A 2050 diameter line has been laid from the existing gully west of Etcart to the low point in Etcart, (80m south of Smales). This pipe has been calculated by Manukau Consultants Limited as having sufficient

1

capacity to take the 100 year flow from the upstream catchment, (excluding that flow East of East Tamaki and Chapel Roads, reticulated to the 1650 diameter line). All the design flow from the area including Sutton East, Etcart, and the catchment south, to approximately opposite Browns Lane, will reticulate to the end of this 2030 diameter pipe.

(b) A 1650 diameter RC line has been laid from the termination point of the 2050 diameter line in the gully west of Etcart, eastwards, across Etcart, east along the northern boundary of Smales to East Tamaki Road. At the intersection of Smales and East Tamaki picks up a 1050 diameter line from under East Tamaki. The 1650 diameter line then goes South along East Tamaki, on the West side terminating at present 140m south of Smales and picks up an existing 375 diameter from under East Tamaki.

It is proposed that this 1650 diameter line continues along the West side of East Tamaki, and Chapel, and picks up the flow from the culvert under East Tamaki, just north of Browns Lane, together with any flow from the East Tamaki Chapel carriageway, and catchment to the East.

4. Water Reticulation

The enclosed plans show the proposed 200 diameter reticulation along Smales Road to be laid once the Smales Road upgrading has progressed further. The internal reticulation will be connected to this 200 diameter main at the intersection of Road No. 1 and Smales, and carried through the development.

5. Roading Hierarchy

The roading pattern has been developed by Alex Parton after due consultation with Council's Traffic Planner Tony O'Conner. This aspect of the design is more fully covered in Alex's portion of this report in Section 3, together with mention of the overland flow path from Chapel Road to the termination point of the 2050 diameter line.

6. Utility Services

Power, Telephone and Gas services can be extended by the relevant authorities from existing services to the North in Dannemora development, and to the East in Howick Parklands development.

Wood & Partners Consultants Ltd Consulting Engineers and Surveyors

May 1999

DANNEMORA DEVELOPMENT

EAST TAMAKI

ENVIRONMENT MANAGEMENT PLAN

This Environment Management Plan has been prepared on behalf of the developers to show the measures to be taken to minimise the impact and effects of the development and earthworks works on the environment, the surrounding properties, and the downstream catchment.

SILT CONTROL

The developer has applied to the Auckland Regional Council Environment Division for a Resource Consent to carryout earthworks associated with site development, in accordance with previous consents issued on stages of the development.

Prior to earthworks being stated the following shall be in place;

- (a) Silt ponds designed on the 1% basis to detain silt from any area which has been stripped of topsoil and vegetation.
- (b) A dewatering device entailing a 1050 diameter manhole, 150 diameter Novaflow pipes connected into the manhole, the whole surrounded in AP20 filter media, or a floating intake together with a concrete outflow pipe through the wall of the pond.
- (c) This outlet pipe or spillway capable of taking the 100 year AEP flow.
- (d) The downstream face of the pond shall be either topsoiled and grassed. Hydroseeded, or covered in a geotextile fabric to prevent silt from by passing the pond.

- (e) Other silt detention measures to be constructed include:
 - (1) Cut off drains with a maximum of 1% grade.
 - (2) Silt Control fences constructed of Geotextile fabric.
 - (3) Use of haybales in emergencies.
- (f) A child proof fence shall be erected around the pond with a suitable warning notice.
- (g) Good construction practices to be taken daily include;
 - (1) Re-excavate cut off drains at the end of each days work.
 - (2) Re-spread topsoil and grass as soon as an area has been cut or filled to final level.
 - (3) Seal off each days fill areas with a rubber tyred machine.
 - (4) The whole site is not to be stripped but only sufficient area to work within, as instructed by the Engineer.
 - (5) Sediment is not allowed to fill the pond to any greater than 50% of its volume it being cleaned out.
 - (6) Surface water flow changes with excavation and filling and this should be taken into account with cut off drains.

2. COMMUNICATION WITH NEIGHBOURS

- (a) It is considered important that the surrounding neighbours who may be affected by Noise, Dust or Smoke are made aware of;
 - (I) The extent and duration of the works.
 - (2) A line of communication from the surrounding property owners to;

The Contractor's representative

The Consultant

The Manukau City Council representative

The Developers representative

This line of communication will normally include work and after hours and mobile telephone numbers and a priority list of who to contact first to obtain assistance.

(3) The reasons for the construction works i.e. earthworks for road subgrade, and residential building platforms.

3. AIR POLLUTION

Generally air pollution will fall into two categories, smoke, or dust.

(a) Smoke:

There should normally be very little effect from smoke in that fires are banned at certain times of the year and then only permitted for noxious weeds such as gorse etc.

Permits are required for all fires and common sense details are necessary when lighting fires in that:

- (i) Lit only when wind will not blow smoke onto adjacent dwellings.
- (ii) Lit in a safe position as far away as possible from existing dwellings, or bush or trees to be retained.

Should wind conditions change from those which prevailed at the time of lighting the fire, then appropriate action should be taken such as dampening down, or extinguishing the fire until the wind changes again.

(b) Dust:

The dust sources on excavation sites are usually:

- (i) Stripping and stockpiling, or respreading topsoil
- (ii) Wind blown material from stockpiles
- (iii) Removal of topsoil by cultivating and load onto truck, or screen and load onto trucks.
- (iv) The movement of earthmoving machines along a constant track which in dry weather can cause large volumes of dust.

Excavating and placing clay fill itself does not normally cause a dust problem as a material is generally slightly damp which does not lead to dust.

The stockpiles of topsoil shall be situated as far away as possible from existing houses. This will reduce both the noise affect, and the possibility of dust.

Where dust occurs either during the placing or removal of topsoil and detrimental effects be observed or experienced. The stockpile shall be watered with a water cart or other suitable system. Should this not prove satisfactory the Contractor shall carry on with some other earthwork operation until conditions are suitable. The Contractor shall

also take advantage of prevailing and non prevailing winds, and carry out works accordingly.

NOISE

It is important that all engine mufflers, and track linkages and other noise making areas are in good working condition and not prone to making excessive noise.

The current acceptable noise and standards as laid down NZS 6803P:1984 - the Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work are appended hereto and the Contractor shall have all his machines checked for compliance with the requirements. Again wind directions plays a large part in causing disruption to people in adjacent dwellings, and the contractor will take due notice of this factor.

The Contractor shall at all times carry out his operations to cause as little disruption to the surrounding people as possible, and if conditions are such that excessive noise/dust is being created then the contractor shall stop that operation forthwith.

RECORDS

The Contractor shall keep daily records of positions where particular machines have been working, wind directions, and timing of complaints when these have been received. If complaints have been received, the measures taken by the Contractor to minimise the factors causing complaints.

6 HEALTH AND SAFETY IN EMPLOYMENT

The Developer has a policy to conduct its activities in such a manner so that the Health and Safety of its employees, and the employees of Contractor that it engages to carryout construction works on its Developments are safeguarded to the best of its ability.

The Contractor will be expected to include the following in its Health and Safety Plan.

(a) Commitment

- (1) Commitment to active management of Health and Safety
- (2) Set clear goals and areas of responsibility

(b) <u>Planning</u>

- (1) Comprehensive hazard identification
- (2) Hazard Assessment
- (3) Appropriate control measures and management strategies determined

(c) Action

- (1) Control measures and management strategies implemented including;
 - (i) Information
 - (ii) Training and Supervision
 - (iii) Workplace/worker monitoring
 - (iv) Emergency procedures
 - (v) Accident reporting and investigation

(d) Application

The above guideline apply to Principals, employees, contractors, sub-contractors and all works being carried out on the development.

7 NOTIFICATION

The development is in general progressing in a southerly direction. Progress is such that successive stages are developed generally prior to the occupation of houses in a previous stage. Notwithstanding this all lot purchasers are advised of the continuation of the development adjacent to their property, and the starting and completion dates of the current stage, the Developers contact who is on site daily, contractors contact and all other information required. Contact with persons on external boundaries is also to be made when work is being carried out adjacent to their properties.

WOOD & PARTNERS CONSULTANTS LTD CONSULTING ENGINEERS REGISTERED SURVEYORS

P O BOX 6752, WELLESLEY STREET LEVEL 3, 72 GRAFTON ROAD PH: 379-3235 FAX: 379-3236 DECEMBER 1997

3000arms.emp

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Transfer No. N/C. Order No. B.366905.3



CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 21st day of December one thousand nine hundred and eighty-four under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND

WITNESSETH that ROBERT SUTTON FARMS LIMITED at Auckland

is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 23.5350 hectares more or less being Lots 12, 13, 14, 17, 18, 19 and part Lot 11 Deposited Plan 615 and being part Allotment 119 Parish of Pakuranga.

Interests at date of issue

470868 Mortgage to Robert William Sutton
- 9.6.1959 at 11.40 oc and varied
30.8.1962 at 6.00 br family varied 8.6.1964.
at 11.45 oc. and varied 29.4.1966 at
11.37 oc. and varied 15.3.1968 at 9.20

130475.2 Mortgage to the lev Zealand Insurance Company 19.3 1973 at 11.2 oc. and varied 19.9 1979 at 9.05 oc. (682027.1). at 11.20

130475.3 Memorandum of Priority making Mortgage 130475.2 a first mortgage and Mortgage 470868 a second mortgage -19.3.1973 at 11.20 oc.

941631.1 Proclamation (N.2. Gazette 9 July 1981 No.80 page 1899) defining the middle line of Caonui-Auckland pipeline - 22.6.1981 at 2.33 oc.

B. 227992. P CAVENT BY WATURAL GAS CORPORATION OF NEW 34 at

B.245127.1 Pipeline Easement Certificate under Section 71 of the Petroleum Act 1937 affecting part Lot 11 Plan 615 - 9.12.1983 at 9.41 oc.

757100 CAVEAT BY ATT DIGURICT LAND REGISTRAR 57 to 1914 Ht 2.10 oc. Weasyromeths are Metric Pour



Subject to a right of way over part marked 'A' on Plan 103253 appurtenant to Lot 1 Plan 103253 (CT 56D/1171) created by Transfer B.506045,2

B555188.2 Variation of terms of Mortgage 130475.2 - 9.7.1986 at 2.18

LOLA.L.R C.139003.1 Transmission The New Zealand Guardian Trust Company Lemited as executor -

A.L.R. of Martgage 470868 C149274.1 Transmission/to The New Zealand Guardian Trust Company Limited at Auckland as the executor - 8.6.1990 at 2.2

A.L.R. D.021238.1 CAVEAR BOSCON HOGAN LINITED AND DANNE MORA HORNYNGS INTED - 17.7.199 3.29 O'C

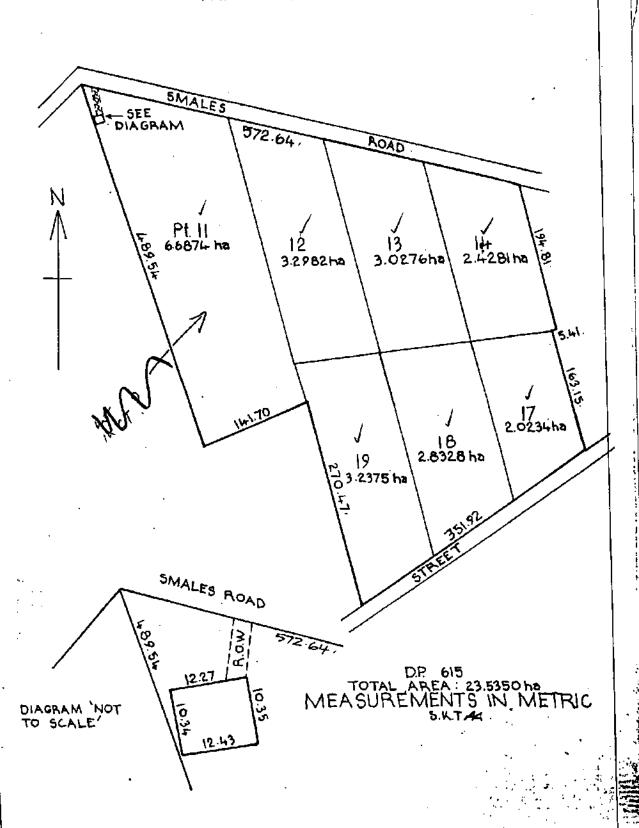
D218857.2 Transfer to Fulton Hogan Limited and Danne Mora Holdings Limited 24.11.1997 at 2.23

D251574.1 Mortgage to Westpac Banking Corporation 12.3.1998 at 12.00

<u>K.L.R.</u>

CERTIFICATE OF TITLE No.

MANUKAU CITY



_9577E-50,000/12/83MK__.

55A/1478

D331478.1 Compensation Certificate under Section 19 Public Works Act 1981 by The Manukau City Council 18.11.1998 at 2.46.

Similar O

.225

References Prior C/T 626/7 (Bal.)

Transfer No. N/C. Order No. 6B2027.2



REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 19th day of March one thousand nine hundred and seventynine under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND

WITNESSETH that ROBERT SUTTON FARMS LIMITED at Auckland

is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 1.5368 hectares more or less being part Lot 16 Deposited Plan 23052 and being part allotment 119 Parish

of Pakuranga



Assistant Land Registrar

Interests at date of issue

470868 Mortgage to Release William Sutton -9.6.1959 at 11.4700 and Verged 30.8.1962 at 2.00 o'c 8.0. 9645 11.45 o'c 29.4.1966 at 11.37 o'c and 08.3.1968 at 3.20 o'c

130475.2 Mortgage to The Zealand Insurance Company Limited 198 3 1973 at 11.20 o'c and varied 1983 1978 at 9105 o'c (682027.1)

130475.3 Memorandum of Priority making Mortgage 130475.2 a first Mortgage and Mortgage 470868 a second Mortgage - 19.3.1973 at 11.20 of the Rating Act 1957, 1974 at 10.48

170156.1 Certificate under Section 96 of the Rating Act 0967 11111974 at 10.48 o'c 294129.2 Certificate under Section 96 of the Rating Act 1967 - 25.1107974 bt 9:05 o'c

335173.1 Captificate 10 of action 96 of the Rating Ac (498) 15.0.975 at 10.29

624235.1 Centarios and Section 96 of the Rating and 1967 1979 at 9.33 o'c.

624264.1 Confficate and section 96 of the Ration Act 1967 9.1976 at 9.46 o'c

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547327.3 Certificate under section 96 of the Rating Act 1967 10.1977 at 12.30 o'c 8060867.

549981.3 Certificate under section 96 of the Rating Acto 1967 Al 22-11.1977 at 11.39 o'c 3 11.39 Com

B555188.2 Variation of terms of Mortgage 130475.2 - 9.7.1986 at 2,18

C.139003.1 Transmission of Mortgage 470868 to The New Zealand Glataian Trust Company Limited as executor 14.5.1990 at 2.43

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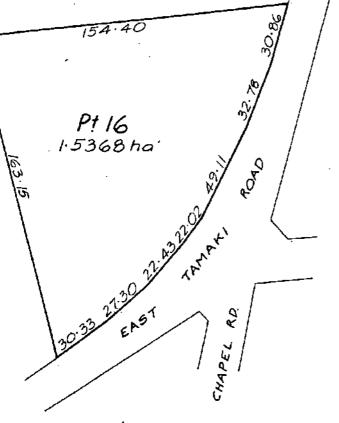
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D218857.2 Transfer to Fulton and Danne Mora Holdings: Lim 24.11.1997 at 2.23

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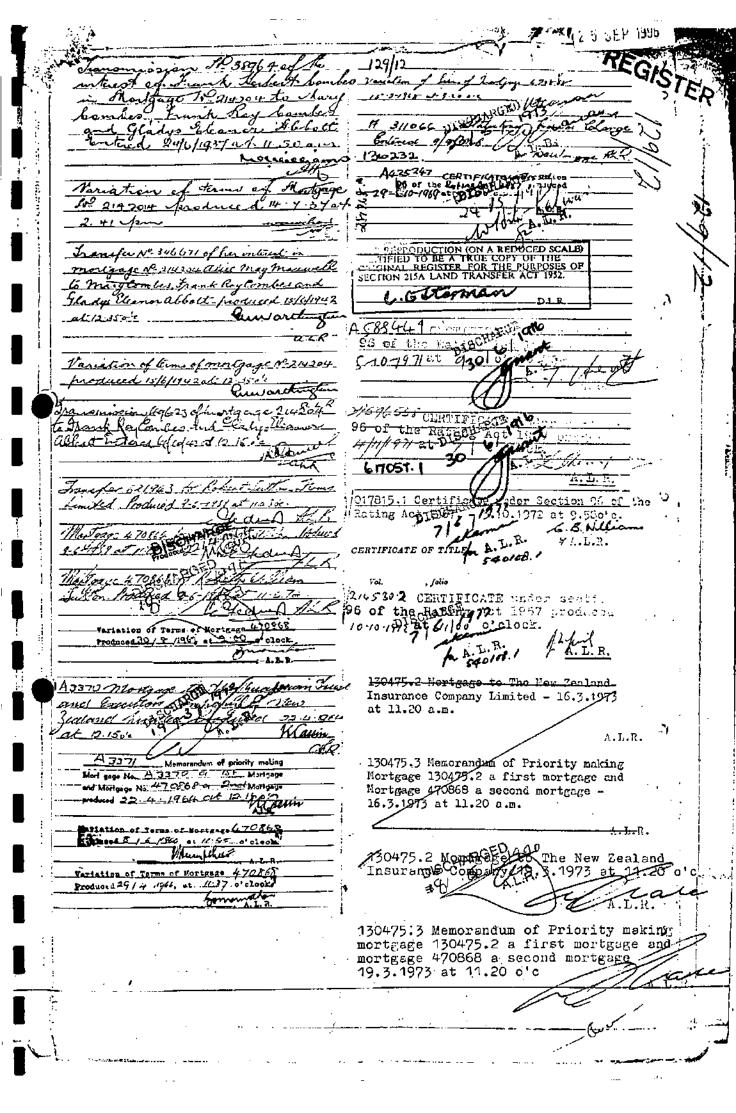
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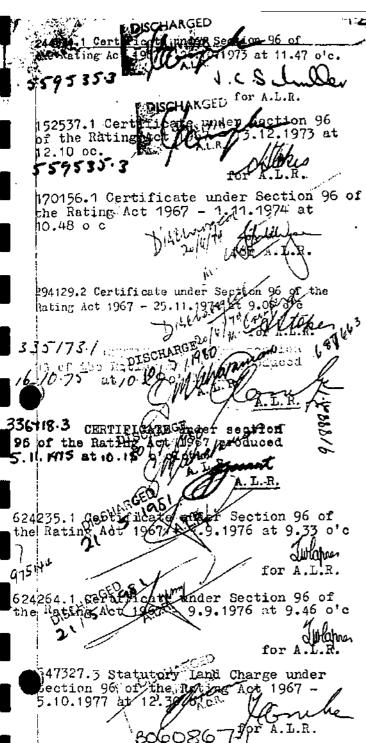


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Limited as executive 9.5.1 Trust Company QA.5.1990 at 2.43 oc of Mortgage 470868 C149274.1 Transmission/to The New Zealand Guardian Trust Company Limited at Auckland as the executor - 8.6.1990 at 2.27 o'c D.021238.1 CAVEAT BY FULTON HOGAN LIMITED AND DANNE MORA HOLDINGS LIMITED - 17.7.1996 AT 3.29 O'C A.L.R. need new C.T.

549981.3 Statutory Land Charge under Section 96 of the Rating Act 1967 - 22.11.1977 at 1778 0 c for A.L.R.

682027.1 Variation of Mortgage 130475.2 (with consent of chargeholders under charges 170156.1, 294129.2,335173.1,336718.3, 624235.1, 624264.1, 547327.3 and 549981.3) - 1 19.3.1979 at 9.05 o'c

A.L.R.

941631.1 Proclamation (NZ Gazette 9 July 1981 No. 80 Page 1899) defining the middle line of the Oaonui - Auckland pipeline - 22 4.1981 at 2.330/c Dehompson A.L.R.

WOOD AND PARTNERS CONSULTANTS LTD

AN ARCHAEOLOGICAL SURVEY OF THE SUTTON BLOCK, EAST TAMAKI, AUCKLAND

Bioresearches Consulting Biologists and Archaeologists, PO Box 2828, Auckland 1, New Zealand

Wood and Partners Consultants Ltd

An Archaeological Survey Of the Sutton Block, East Tamaki, Auckland

April 1997

For: Wood and Partners Consultants Ltd

By: Bioresearches

Jeff Mosen (MA Hons)

1. <u>INTRODUCTION</u>

Dannemora Holdings Ltd is proposing to develop 51 hectares of land known as the Sutton Block located at East Tamaki, Auckland. Wood and Partners Consultants Ltd on behalf of Dannemora Holdings Ltd requested Bioresearches to undertake an archaeological survey of the proposed development.

1.1 Location

The Sutton Block is located at East Tamaki Heights. The eastern and southern boundary fronts East Tamaki Road, while the northern boundary fronts Smales Road. The western boundary is bound by Stevenson Quarry and Northern regional Disposal Systems (Figure 1).

The land is predominantly rolling flat land pasture, although it rises up to the south-west in this part of the property. This rise is part of the Smales Mountain (Te Puke o Tara) lava flow system. Two north-south running drainage ditches are located in the middle part of the property and help drain the flatter areas. They also receive waters from the adjacent (south-easterly located) properties. A small stream joins up with these two ditches and forms part of a larger tributary which feeds into the Pakuranga Creek. The ground in the lower lying parts of the property is extremely puggy which suggests that in wet weather poor drainage creates a soft and boggy surface.

Vegetation consists of some macrocarpa trees along fence lines and several lines of hawthorn hedging in specific areas. Eucalyptus and pampas also occasionally dot the landscape.'

2. BACKGROUND RESEARCH

2.1 New Zealand Archaeological Association (NZAA)

An inspection through the Auckland region NZAA site recording scheme file revealed that no archaeological sites had been recorded at the property. However, the property backs onto Stevensons quarry which is the former location of Smales Mountain (Te Puke o Tara - R11/36) - a once fortified volcanic cone pa. The pa and surrounding area was visited in 1961 by Bob Brown, and Gillian Smith (anthropology student) in 1976. Brown (1961) describes Smales Mountain as a hill pa and stated that 50% of the site had already destroyed by quarrying and that



the remainder was under threat. Smith (1976) recorded Te Puke o Tara as the south easterly lava flow and that this was an area containing unfortified living and gardening sites.

There is also an historic account by Hochstetter who visited the mountain in the middle parts of the 19th century. Hochstetter (1864:200) gives the following description "Otara Hill (or Mary Gray) consists of a scoria cone about 150 ft high and the rudiments of a low tuff cone still half preserved on the east side. The crater of the scoria cone, which has for the most part losts its original form through the passage of time and ancient fortifications of the Maori's is breached to the south. On this side lava has poured out and flowed in a south-westerly direction".

A considerable number of other archaeological sites have been recorded in the general area and these include the cone pa of Green Mount (Matinganui - R11/24) also destroyed through quarrying activities), shell middens and a range of site types (stone mounds, heaps, alignments, walls etc) associated with Maori horticultural activities. The East Tamaki area was highly favoured by Maori because of the volcanic cones and soils which were well suited for cultivation.

3.2 Land Information New Zealand (LINZ)

Historic survey ordnance (SO) plans were examined, however no references could be found.

3.3 Aerial photographs

Historic black and white vertical aerial photographs were examined at LINZ. These included SN 1922/36,39 and SN 3239/28,29. These photographs were flown in 1960 and 1961 respectively at a scale too small to make identification of surface features possible. However, it was possible to determine that Te Puke o Tara, prior to significant modification, lay some 500 metres west of the Sutton block's western-most boundary.

4. <u>FIELD INVESTIGATION</u>

The property was inspected by Jeff Mosen (Bioresearches) and Andy Andrews (Ngati Paoa Whanau Trust representative) on April 15, 1997.

The land was walked over with particular emphasis being placed on hedge lines, drainage ditches,

the stream and areas where abrupt changes in the landscape occurred. Random probing using a metal spear probe and test pitting by way of spade was also carried out. Intensive probing was carried out in the paddocks adjoining Stevenson's quarry as it was considered likely that evidence of Maori occupation associated with Te Puke o Tara could be found on the gentle slopes (lava flows) of these paddocks.

4.1 Results

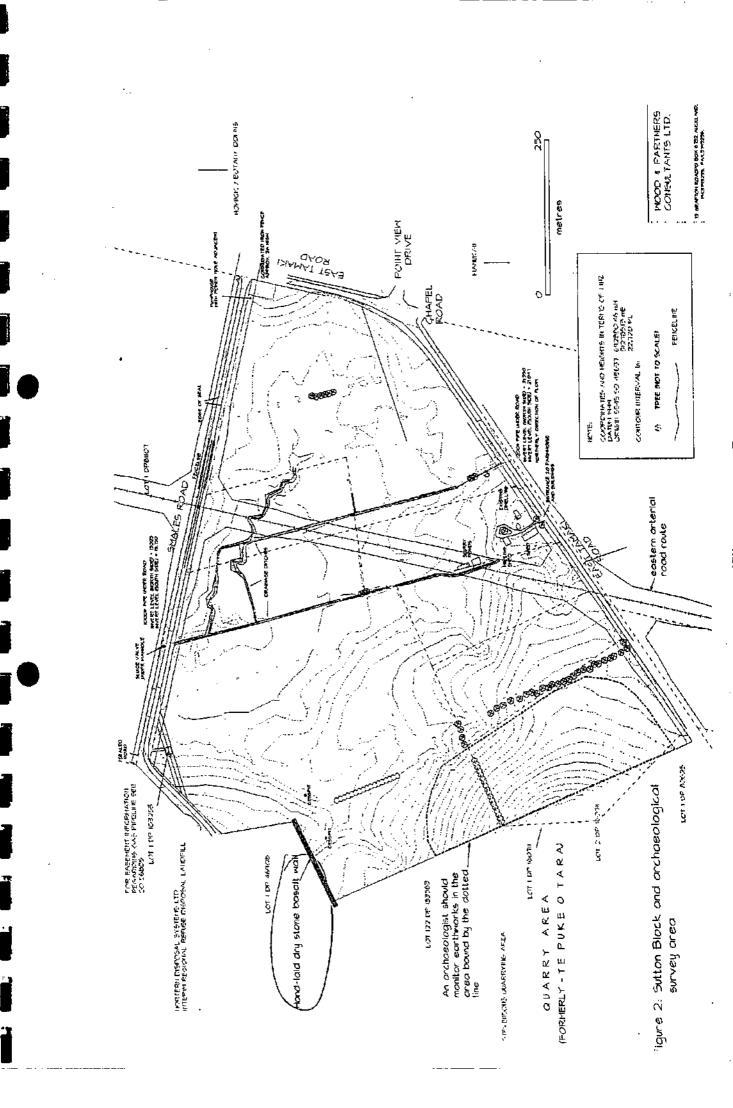
A hand-laid dry stone basalt boulder wall was found along the north-west boundary of the property (Figure 2). This wall is relatively intact and measures approximately 100 metres long by 1.2 metres wide and 1 metre high. It appears to have been modified over the years as its height has been significantly reduced. The precise date of construction of this wall is not known although it would likely predate 1900.

No archaeological sites relating to Maori occupation of the area were recorded during the survey. That is to say no surface evidence such as stone piles, mounds, alignments, stone lined terraces or pits was observed. Probing in the paddocks adjoining the quarry did not reveal any subsurface shell midden, although small scoria rocks were encountered. A test pit in one paddock revealed a 21 cm layer of rich grey black soil overlaying a yellow clay. Several test pits dug in other parts of the property showed the topsoil layer to be significantly thinner and mixed.

Earth mounds were found in two separate areas along side drainage features. These mounds were covered in kikuyu grass and were made up of soil and clay and the occasional small basalt stone. One mound along the western boundary contained pieces of scrap iron. These mounds almost certainly relate to drainage clearing activities and are likely to be of modern European origin.

4.2 Discussion

The basalt wall was the only historic feature identified and the archaeological status of this is presently unknown. This wall forms one of the western boundary lines of Dannemora Holdings Ltd land and therefore could be preserved and incorporated into any proposed developments. If this site could not be preserved then it would need to be assessed against the criteria specified under Section 2 (a) (I) and (b) of the Historic Place Act (HPA) 1993 in order to determine whether it is protected by provisions of the HPA.



paddocks adjoining Stevenson's Quarry (see Figure 2) have archaeological potential. The ground in this area clearly rises up and is likely to be part of the lava flow system of Te Puke o Tara. The soils here are rich and ideally suited for cultivating crops. Subsurface remains (garden soils, terraces) that are not easily detectable through limited archaeological survey methods could exist here. The property has been significantly modified as a result of European farming practices such as ploughing and stock movement, and this in turn has altered the archaeological landscape.

It is therefore considered appropriate that an archaeologist be present during any earthworks in the area identified in Figure 2 for the purposes of identifying any archaeological evidence that might be uncovered. If any archaeological evidence was to be uncovered then tangata whenua and the New Zealand Historic Places Trust should be contacted to determine an appropriate course of action.

5. **RECOMMENDATIONS**

- 1) That, consent for earthworks be granted subject to the following condition: that prior to commencement of earthworks, an archaeologist be given the opportunity to examine the subsurface profile in parts of the area identified in Figure 2. This task could be accomplished by removing topsoil in selected areas using a machine digger.
- 2) That, attempts be made to preserve the basalt stone wall located along the western boundary.
- 3) That, if any archaeological evidence be discovered during earthworks, then all works in the immediate area should cease, and an archaeologist contacted immediately.

W:\Archaenkigy\9771.RPT

GEOTECHNICAL REPORT

The enclosed report was carried out by Foundation Engineering Limited in September 1997. Copies of bore hole logs (part of the original report) positions trial pits, Cone Penetrometer tests, were included with the information submitted to Council for a Land Modification Consent issued in December 1997, this information can be supplied if required.

Approximately 95% of the filling as shown on the "Contour map of fill depth" in this report, pertaining to this Consent Application has been placed, and monitored by Harrison Grierson Limited. A Foundation Completion report on this filling will be compiled by Harrison Grierson, and supplied to Council when the 224(c) Application is made to Council for Sutton East.



Consulting Geotechnical Engineers Foundation Engineering Limited Johns Lane, Box 51-556, Pakuranga, Auckland, N.Z. Facsimile 64/9/576 3920 Telephone 64/9/576 3236

GEOTECHNICAL INVESTIGATION REPORT

ON

PROPOSED SUTTON BLOCK RESIDENTIAL SUBDIVISION

ΑŦ

EAST TAMAKI

FOR

DANNEMORA HOLDINGS AND FULTON HOGAN LIMITED

PROJECT NO: 7410

3 SEPTEMBER 1997

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Introduction

This Geotechnical Investigation report has been prepared for Dannemora Holdings/Fulton Hogan Limited to outline expected ground conditions for urban development on the Sutton Block Residential Subdivision, East Tamaki. It also forms part of an application to the Manukau City Council for development consent in accordance with the requirements of the Resource Management Act 1991.

Where appropriate, investigation methodology, testing and reporting are in accordance with recommendations of Section 2 of the Manukau City Council Engineering Quality Standards, and related documents.

Presented herein are the results of our observations, geological appraisal, borehole and CPT investigation and insitu testing, together with conclusions and recommendations pertaining to satisfactory residential development of the area under investigation.

Site Description and Development Proposals

Broadly triangular in shape and comprising a total area of 51.525 hectares, the site is bounded to the south-east by East Tamaki Road, to the north by Smales Road and the west by several industrial lots and Stevenson's East Tamaki Quarry. The block is currently in pasture and is fenced for dairy farming.

Overall, the site is gently undutating with various shallow streams and drainage ditches traversing a broad, relatively level terrace area in the eastern portion of the site. The highest part of the site is along the western boundary and the topography generally falls to the east towards the intersection of East Tamaki and Smales Roads.

From the current draft earthworks plan supplied to us it would appear that the earthworks will involve a small amount of cut in the centre of the site, with up to 4 metres of filling occurring throughout the eastern half and along the northern section of the site. From preliminary discussions with Wood and Partners there will be a large amount of filling material imported from the adjacent development of the Sayes Block.

We understand that roading access for future development will be from Smales Road, East Tamaki Road, or from the proposed future Arterial Road which will run through the centre of the site in a north-south direction.

Foundation Engineering Limited

Geology

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The geological setting of the site is relatively complex, straddling marine terrace deposits, volcanic tuff and ash, possible basalt lava at depth, soft alluvium 'ponded' behind volcanic deposits as well as Waitemata Group sandstones and siltstones at depth.

Kermode (1991) describes the surficial alluvial deposits of the region as:

Floodplain, coastal and stream flats alluvium: forms part of the extensive lowlands near Ardmore Aerodrome, bayhead flats around Waitemata Harbour, and small stream flats especially where volcanic deposits have obstructed the stream flow. Very thinly to thickly bedded, variously coloured, angular to well rounded, mixed sizes (usually graded, coarse becoming fine upwards) of mud, sand and gravel, comprising rock fragments and weathered rock residue from the hinterland. Includes some beds of black, humus-rich clay and fibrous peat. Unconsolidated to very soft.

The underlying marine terrace deposits are described as:

"Very thinly to very thickly bedded, fight-grey to yellow-brown, angular to well rounded, mixed sizes (sometimes graded, coarse becoming fine upward) of mud, sand, and some gravel, comprising weathered rock fragments with minor beds of white, mud-sized, splintered pumice fragments, and black, organic clay and peat. Very soft to moderately soft."

Beneath these alluvial deposits, the underlying bedrock is Miocene Age (approximately 20 to 22 million years old in this area) Waitemata Group sandstones and siltstones.

The local Waitemata Group rocks have relatively higher intrinsic clay contents and tend to form a more subdued landscape than northern and western areas of Auckland, due in part to its sedimentary history and depositional setting.

Generally, local Waitemata Group coastal and stream exposures consist of alternating, thinly to moderately thickly bedded grey to dark-grey, interbedded sandstone and mudstone, with the material weathering to a firm to stiff, non to moderately plastic range of silts, clayey silts and silty clays to depths of up to 10 metres. A large

7410: Sutton Block Residential Subdivision, East Tamaki

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proportion of the alluvial deposits present are likely to be formed from eroded, weathered Waitemata Group material.

The third and youngest (less than 100,000 years old) surficial deposit mantling the general area and forming the higher ground along the western side of the site airfall basaltic volcanic ash and tuff, deposited downwind from volcanic centres in the East Tamaki area such as Greenmount, Sykes Swamp and Otara Hill. There may also be basalt lava flows at depth adjacent to the Greenmount landfill and Stevensons Quarry.

Depending on grain sizes, proximity to the source vent and age, the material can weather to a range of orange/red/brown, soft to stiff, non to plastic range of sandy silts, clayer silts and sandy/silty clays. Larger particle sizes, ranging from coarse sands through to scoriacious gravels and boulders may also occur, especially close to source.

In summary, the overall site setting is that of surficial alluvium "ponded" behind a tuff ring formed as part of volcanic eruptions in the area, overlying Waitemata Group bedrock at depth.

References:

Kermode, L.O. 1991:

Whangaparaoa - Auckland. Infomap 290,

D.O.S.L.I.

R10/11, Rocktypes, 1:100,000. Wellington.

Kermode, L.O. 1992:

Geology of the Auckland Urban Area 1:50,000,

Geological Map 2. Institute of Geological and

Nuclear Sciences, Wellington.

Searle, E.J. 1981:

A Geology of Auckland. Longman Paul.

Investigation Objectives

The anticipated bulk earthworks discussed in the development proposals will involve substantial filling over the softer alluvial soils in the northern and eastern quadrants of the site, associated gully and underfill drainage, the installation of piped stormwater and sanitary sewage reticulation systems and the construction of road subgrades and

building platforms at levels that in some areas will be quite different from those existing at the present time.

The principal objectives of our investigation were therefore to determine:

- Typical topsoil thicknesses.
- Prevailing groundwater conditions.
- Depths to bedrock and /or other suitable bearing strata.
- The engineering properties of materials to be used as filling.
- The nature and bearing characteristics of the natural ground that will be exposed after cut operations and that not affected by the earthworks.
- The compressibility of the materials underlying proposed fill areas.
- The nature and likely extent of any unsuitable materials that may be present in the gullies and elsewhere.

Fleldwork

Our fieldwork for this report, which was commenced on the 11th November 1996, involved the excavation of 28 trial pits to depths of up to 7.0 metres in the positions indicated on the appended site plan.

In addition, one 80mm diameter machine auger borehole was drilled to a depth of 14.0 metres. The position of this borehole is indicated on the appended site plan.

During the drilling of the machine auger borehole and the excavation of the trial pits, insitu soil shear strength and remould tests were carried out at selected depths using a Pilcon hand shear vane and the results of these tests, together with detailed descriptions and depths of strata encountered, are presented on the appended borehole and trial pit records.

To complete the fieldwork 28 cone penetration tests ('CPTs') were also carried out across the site to profile the distribution of alluvial soils. The results of these tests are appended, and their positions indicated on the site plan.

Summary of Ground Conditions

(a) Field

(i) <u>Topsoil and Filling</u>

Topsoil depths over the majority of the site ranged from 0.1 to 0.3 metres. Filling was found in trial pit 28. This consisted of essentially farm rubbish intermixed with topsoil to a depth of 1 metre. Elsewhere on the site hardfill filling is present on farm access lanes and around gateways.

(ii) Natural Substrata

Large volumes of volcanic ash and tuff ("stiff, non to slightly plastic, orange/brown silt and clayey silt") were found in the majority of trial pits with considerably greater depths along the western side of the site.

No significant organic deposits were encountered within the trial pits to the depths excavated although there was a thin layer found in trial pits 13 and 27 at depths of 4 and 6 metres respectively.

Several trial pits to the east and north-east encountered lower strength strata generally below a depth of 4 metres. Measured shear strengths in these strata ranged between 30 and 60 kPa.

Over the remainder of the site, measured shear strengths were typically greater than 70 kPa, readings of greater than 100 kPa typically occurring within the volcanic ash, tuff and basaltic sand layers. Sensitivities to disturbance were typically low to moderate, higher values usually occurring within more silty, sandy or tuffaceous materials.

Groundwater levels, as noted during our times on site, are recorded on the appended trial pit records.

(b) Geological Appraisal

There are some very minor areas of shallow slumping along incised gully flanks together with areas of shallow soil creep and slope colluvium. We would expect this to cause few, if any problems where extensive and appropriate earthworks operations are undertaken, as we anticipate on this block.

Given the inferred setting as outlined in "Geology" above, it is obvious that some variation in soil types will be encountered during construction. We expect that the alluvial soils will tend to be soft, generally wet of optimum and slightly to moderately plastic while the tuffaceous soils may be quite sandy through to fine silty, have variable earthworks characteristics and may require a mixture of wetting and drying to achieve adequate compaction.

In terms of groundwater and slope seepage, the eastern and northern quadrants of the site are quite low lying and appear to collect runoff from adjacent sites, overall site drainage being out to the south-east.

In addition, there are sandy and fine gravelly layers within the tuff ring along the south and west boundaries that will be acting as groundwater collection layers, leading to several springs etc. being present along the base of this area and at the heads of several minor incised gullies.

As you will appreciate, groundwater conditions do need careful consideration in the area and we recommend that as far as practicable, all springs and swampy areas due to tuff ring groundwater are drained with novacoils and drainage scoria.

Additional vertical drains brought up gully flanks and bench drainage to pick up permeable bands higher up gully flanks may also be necessary in places.

Stability Assessment

Based on the relatively flat site gradients, slope stability is not considered to be an issue for development of this block.

Settlement Analysis

When a load is applied to a dry soil, the soil particles are forced closer together. In contrast, when a load is applied to a saturated soil, the particles cannot move closer together, since water fills the voids between them. Instead, the load is transferred to the pore-water. This creates excess pore-water pressure and causes the water to flow into soil where pore-water pressure is lower. As the water flows out of the voids, the soil particles are able to *consolidate*, to move closer together.

Consolidation occurs rapidly at first, because there is a high pressure-gradient between the loaded soil and the non-loaded soil. As the pressure-gradient decreases, consolidation slows.

As consolidation occurs, the volume occupied by the soil decreases and settlement occurs.

The rate at which excess pore-water pressure dissipates and the soil consolidates and settles depends on the permeability of the soil. In a granular soil such as sand, the pore-water flows away quickly and consolidation occurs rapidly. In tess permeable soils such as clays, dissipation of the excess pore-water pressure is much slower, and consolidation can take may months or even years.

Based on the very preliminary cut/fill plan supplied to us, together with the CPT information obtained during fieldwork, two interim contour plans of "Depths to Bedrock" and "Estimated Settlement" are appended. Settlement contours are based on the distribution of soil types established from CPT records and use two, somewhat empirical methods to calculate potential settlement.

Estimated settlement magnitudes vary for two reasons, this being due to the actual depth of filling placed (surcharge load) and the depth and distribution of underlying soils susceptible to induced settlement.

Our best interpretation of the underlying 'bedrock' surface on this area is that it has been formed from two channels cut by streams, during a period of lower sea level. These "subsurface channels" trend to the north-west under Stevensons Quarry and to the south under the golf driving range, to depths of up to and possibly over 20 metres below existing ground level.

These have been progressively backfilled with a mixture of terrace soils as sea levels have risen, the sequence being capped off with several metres of stream altuvium pended behind tuff deposits.

We anticipate that the stream alluvium is, geologically speaking, young and minimally over consolidated, and is expected to settle relatively substantially under filling loads.

Further fieldwork and laboratory testing would be required to more accurately confirm settlement magnitudes and rates, but for the purposes of this report our preliminary assessments are that virtually all of the alluvial flats area could settle by up to 100mm with localized settlements of up to 250mm where filling depths exceed 3 metres.

Project Evaluation and Recommendations

(a) General

Based on the results of our observations, geological appraisal, field investigations and insitu testing as described herein, we are of the opinion that the site is generally suitable for residential subdivisional development.

The earthworks plan indicates that the completed works will, in most places significantly ease the steeper contours throughout the site and will generally involve the cutting down of the high ground and the filling of the lower ground to create a gently contoured landscape.

(b) Foundations for Buildings

Provided that the earthworks construction and drainage works are carried out in accordance with NZS 4404:1981, "Code of Practice for Urban Land Subdivision", related documents and Manukau City Council's standard specifications where appropriate, then the completed development should be generally suitable for conventional light timber framed dwellings constructed in accordance with the requirements of NZS 3604:1990, "Code of Practice for Light Timber Frame Buildings not Requiring Specific Design".

Accordingly, a safe bearing capacity of 100 kPa should be available for all shallow strip and pad foundations constructed on certified litting.

In keeping with other subdivisional developments we strongly recommend that specific site investigations, stability reports and design of foundations are undertaken at the time of application for building consents by a Registered Engineer experienced in geomechanics on all lots having gradients greater than 1 in 4 within the zone of influence of their respective building platforms.

Some of the clay subsoils encountered during this investigation were moderately to highly plastic, and this is a phenomenon common to both Pleistocene alluvial and Waitemata Group subsoils throughout many parts of the Auckland area. The resulting effects of possible shrinkage and swelling in relation to brittle house construction will be considered at the time of preparation of our Geotechnical Completion Report, but may be adequately covered by the foundation provisions of NZS 3604.

Any lots having low strength, organic or pumiceous subsoils within 1.5 metres of the underside of proposed house foundations after completion of the earthworks may require specific site investigation and foundation design at building consent stage. These will be commented on in our completion report and would most likely involve building development at the western end of the site. However, it is not considered to be a major problem.

(c) Roading and Services

Based on our experience with the residual soils in this vicinity it is likely that the cut CBR's will be below 7, typically 3 to 4. Conversely, provided that the subgrade filling is compacted in accordance with the earthworks specification, CBR's in these situations should be in excess of 7.

We recommend that a programme of scala penetrometer tests is carried out when the roads are being formed to their final levels to confirm actual CBR values.

Lime stabilization of subgrades may be an economical alternative to undercutting in areas where low CBR's are recorded. Cement stabilisation may prove more beneficial within tuffaceous soils. We note that subgrade problems have occurred elsewhere within tuff soils in the area where beds of loose volcanic ash (silt) have been encountered.

Groundwater levels were not relatively high when measured, but in the long term the network of subsoil, sanitary and stormwater sewer drains to be installed as part of the normal land development process should help to regulate groundwater levels throughout the subdivision.

For finished ground gradients in excess of approximately 1 in 4, it is recommended that all underground services are laid in properly backfilled and compacted (with clay) shallow trenches to prevent them from becoming cut-off drains, with associated scour and piping problems. Trenches running parallel to contours should be avoided where possible as they can hold water, help develop tension cracks and possibly lead to slope instability. Where they cannot be avoided, the pipe bedding in all stormwater trenches should contain a Novafio drain coil which is connected into each manhole on the line.

If the stormwater and sanitary sewage reticulation is constructed during the winter months, then raised groundwater levels could cause problems with stability of trench sides and additional subsoil drainage and/or dewatering may be necessary, especially in areas where deep lines are required. As far as practicable, reticulation work should be confined to the summer earthworks season.

(d) Earthworks Operations

Within areas of the subdivision affected by earthworks, all vegetation should be cleared off the site. Vegetation cover should be disturbed as little as possible outside the extent of the earthworks. Where it is necessary to remove such vegetation, reinstatement should take place as soon as possible.

Topsoil should be stripped from all cut and fill areas, stripping operations being planned to extend beyond cut and fill lines to avoid peripheral fill contamination. Stockpiles of topsoil and unsuitable materials should be sited well clear of the works on suitable areas of natural ground.

Please note that cuts within the tuffaceous soils may encounter weakly welded or cemented strata that could require extensive ripping to penetrate. In addition some basalt lava flows or basalt 'splatter' may also be encountered leading to difficulties in earthworks operations or trenching. Suitable rates should be established within tender documents to allow for this eventuality.

All identifiable deposits of unsuitable materials, should be removed from the gully regions and disposed of off the site or on topsoil stockpiles if appropriate.

All benching of slopes prior to the placement and compaction of filling should be in accordance with the normal requirements of NZS 4404:1981 as mentioned above and should be the subject of Engineering inspections prior to the placement of any drainage works or filling.

Perforated underfill drains should be installed in narrow trenches cut into competent strata within the existing gullies and also along the toes of cut benches where required. Localised seepages must be tapped and drained using Novaflo pipes and generous amounts of drainage scoria.

We recommend that these drains are covered in a suitable geotextile (e.g. Bidim A24) to prevent migration of fill and silt and to ensure long term control of groundwater conditions.

Subsoil drainage may also be required in areas remote from the gullies if the water table is encountered near to the ground surface, but positions of these drains are best determined during earthworks construction.

All groundwater from subsoil drains should be collected by means of sealed pipes and discharged either into the stormwater reticulation on site or into properly designed outfall structures. In addition, regular inspections of accessible subtill drain sumps and outfalls should be carried out during subdivision construction to ensure no damage occurs as a result of earthworks operations.

All subsoil drainage, including normal underfill drains and their discharge points should be carefully as-builted by a Registered Surveyor and the details forwarded to us for inclusion in our Geotechnical Completion Report.

(e) <u>Settlement</u>

First order settlement estimates due to fill loads and based on emperial calculation methods using CPT records have been prepared from the preliminary earthworks plans supplied to us. A plan indicating estimated settlement contours is appended.

Further work including laboratory testing would be required to confirm settlement magnitudes, as well as to provide reliable time estimates for settlement to occur.

(f) Compaction Control

Laboratory testing should be undertaken in the near future to establish specific compaction control criteria, but at this stage it is envisaged that earthworks control will be in terms of maximum allowable air voids / minimum allowable shear strengths for the general subdivisional work. However, the criteria of 95% of the maximum dry density within the appropriate water content range could also have some relevance and most likely we would control the works using a combination of both methods.

We await instructions to undertake compaction control testing.

As imported filling is to be used in conjunction with the insitu materials, it is essential that we are given the opportunity of examining its source or sources and determining its suitability for inclusion in the earthworks on the basis of observation, investigation and testing as considered necessary.

Independent of the material from Sayes Block, it will be necessary for us to inspect all truck loads of imported material for contaminants prior to dumping if we are going to be in a position to certify the completed works in terms of NZS 4431 and NZS 3604.

(g) Erosion and Sediment Control

All erosion and sediment control should be undertaken in accordance with ARC Technical Publication No. 2 dated March 1992 and the ARC Proposed Regional Plant Sediment Control, dated September 1995.

Stormwater runoff must be intercepted from all adjoining upslope areas and from areas of the site not affected by the earthworks by means of appropriately positioned cutoff drains. Discharge from these drains should be piped to suitable discharge points clear of the earthworks.

Silt retention ponds should be constructed at the lowest points of each subcatchment throughout the site. These should be constructed from certified engineered filling and designed in accordance with accepted geotechnical criteria.

Cutoff drains should be installed as specified in the above documents as should all other appropriate doubtful weather measures.

Disclaimer

This report has been prepared solely for the benefit of our client Dannemora Holdings/Fulton Hogan Limited and their professional advisers, in relation to the specific project described herein. No liability is accepted by this firm or any of its directors, servants or agents, in respect of its use by any other person, and any other person who relies upon any information contained herein does so entirely at their own risk.

This disclaimer shall apply notwithstanding that the report may be made available to a local authority in connection with an application for permission or approval, or pursuant to any requirement of law.

FOUNDATION ENGINEERING LIMITED.

R.W. Melville-Smith,

REGISTERED ENGINEER

MAF:AL:RA

LIMITATION

The opinions, recommendations and comments given in this report are subject to the limitations imposed by employing normal methods of site investigation. As factual evidence has been obtained solely from trial pits which by their nature only provide information about a relatively small volume of subsoils, there may be special conditions pertaining to this site which have not been disclosed by the trial pits and which have not been taken into account in the report. Therefore, it is in the interests of all parties that we be retained to examine the site during foundation construction, so that exposed subsoils can be related to the report assumptions. In all circumstances however, if variations in the subsoils occur from those described or assumed to exist then the matter should be referred back to us immediately.

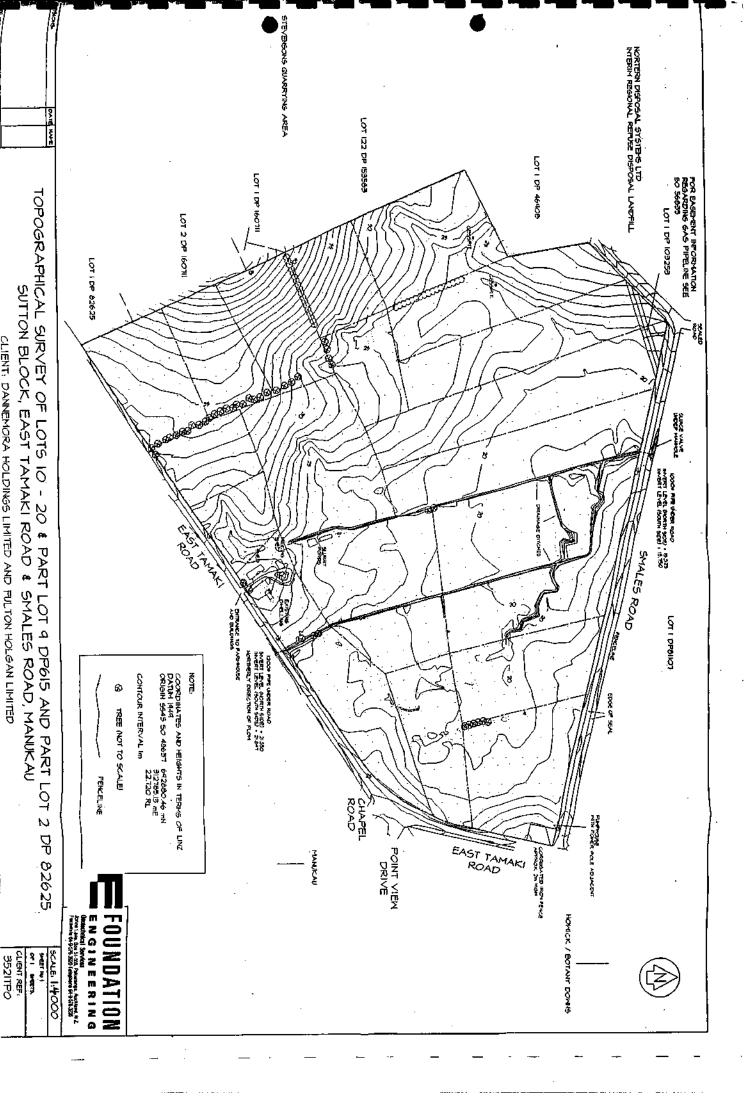
STANDARD PENETRATION TEST NOTES

The standard penetration test (SPT) is used mainly to assess the density of non-cohesive soils, but may also be used to determine relative strengths of cohesive soils. It consists of driving a 50mm diameter split spoon sampler into the soil using a 64 kg hammer free falling through 0.75 metres. The sampler is first driven an initial 0.15 metres to allow for the presence of disturbed material; the number of blows to drive the sampler a further 0.30 metres is then recorded as the "N" or "S" value.

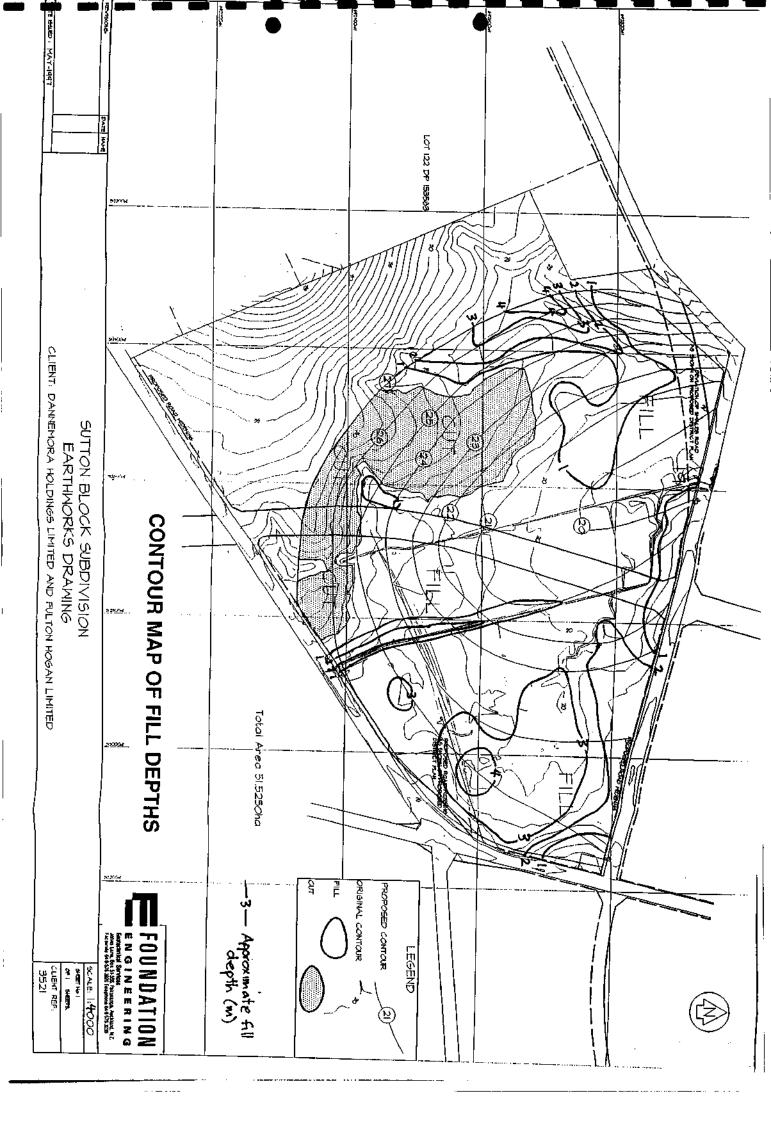
In gravels and in cemented sedimentary deposits, a solid cone may be fitted to the sampler, 50mm in diameter with a 60 degree apex, and the test is made using a similar procedure. The test is then denoted as the "dynamic cone penetration" test (CPT).

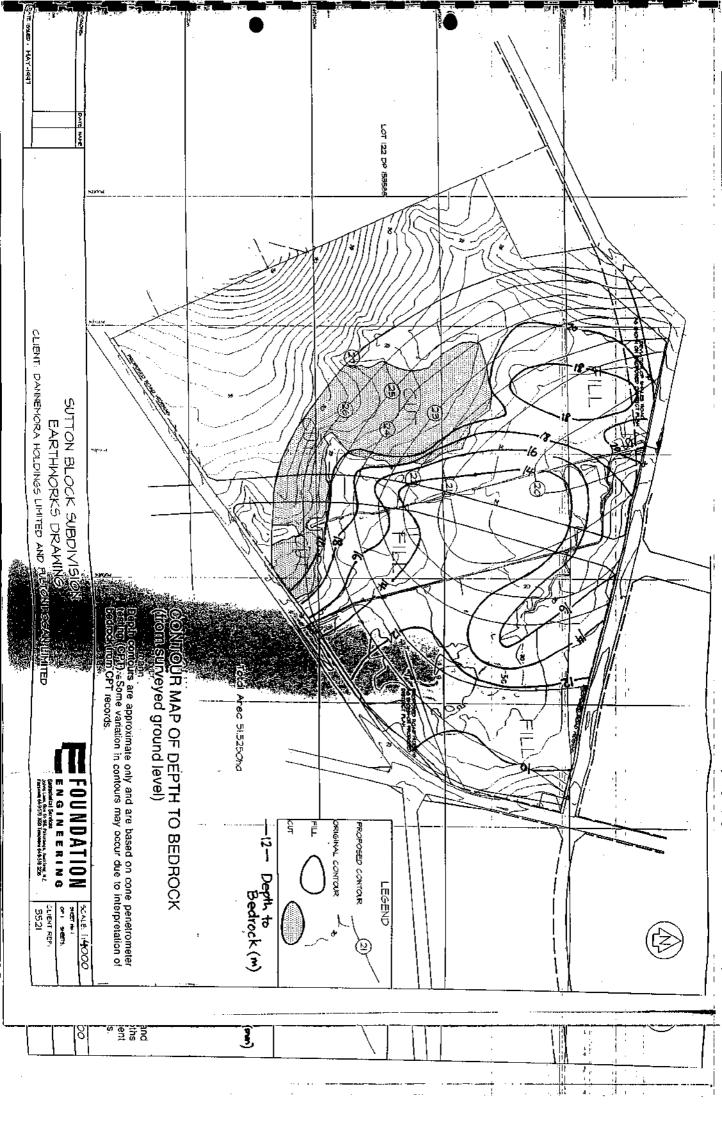
Although the two tests are similar, they are not necessarily directly comparable as the solid cone MAY meet with more resistance to driving than the split spoon sampler and hence record a higher 'N' or 'S' value.

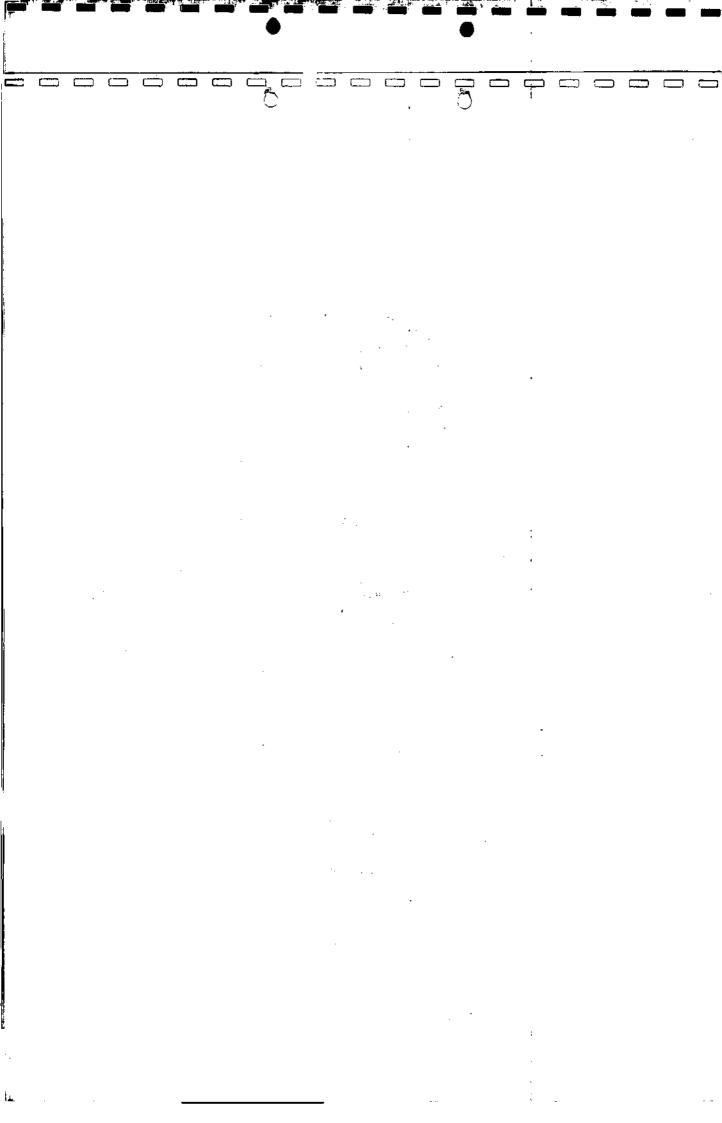




CLIENT: DANNEMORA HOLDINGS LIMITED AND FULTON HOLGAN LIMITED









FOUNDATION

Foundation Engineering Ltd Johns Lane, Box 51-556 Pakuranga, Auddand

SCHEMATIC EAST - WEST SECTION THROUGH SUTTON BLOCK, EAST TAMAKI

grd 2.9.97

7410

SCALE

East Tamaki Road alluvial / marine terrace deposits soft / ponded alluvials proposed filling proposed cut 重

West



Auckland **Regional** Council

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26 September 1997

Fulton Hogan Ltd and Dannemora Holdings C/- Wood & Partners Consultants Limited PO Box 6752 Wellesley Street AUCKLAND

File Ref:

C512/10/Sc11762

Attention: John Gardiner/Don Wood

ل∵

Dear Sirs

APPLICATION FOR RESOURCE CONSENT - RESOURCE MANAGEMENT A

Sutton Blocks.

RO A

MM

APPLICATION

Applicant:

Fulton Hogan Ltd and Dannemora Holdings-Stages 4-20.

JG

Application Number:

er: C512/10/Sc11762

Details of Application:

Land Use Consent is sought to undertake approximately

earthworks associated with a residential subdivision

Site Location:

East Tamaki Road, Tamaki Heights.

DECISION

The Group Manager, Environmental Management Department considered the above application and resolved to grant the Resource Consent in accordance with the conditions of the attached Consent document.

APPEAL PROCEDURES

You may appeal the Council's decision to the Planning Tribunal under Section 120 and 121 of the Resource Management Act 1991. This must be done within 15 working days of receiving this letter. For further information please contact this office.

Yours faithfully

K E Connolly

Group Manager

ENVIRONMENTAL MANAGEMENT

per:

Ross Winter

Soil Conservator

Land Resources

192 your :

environment is our concern

SUBJECT: Application Number Sc11762 by Fulton Hogan Ltd and Dannemora Holdings

for consent to carry out earthworks at Tamaki Heights.

FROM: Soil Conservator

FILE: C512/10/Sc11762

Auckland Regional Council

Erosion and Sediment Control Consultant.

<u>TO</u>:

Group Manager

DATE:

26 September 1997

Environmental Management

(This report is confidential until it has been considered and is not to be construed as Council policy until adopted).

1. APPLICATION

1.1 Site Name:

Dannemora 14-20, Sayes & Suttons.

1.2 Applicant:

Fulton Hogan Ltd and Dannemora Holdings.

1.3 Location:

Dannemora 14-20; Kilkenny Drive, East Tamaki Heights, Map Reference NZMS 260 R11: 812 722. Sayes Block, Guys Road, Legal Description: CT 67B/701, CT 105C/394, CT 19C/153, CT 101C/869, CT 576/87. East Tamaki, Map Reference NZMS 260 R11: 816 723. Sutton Block; corner of East Tamaki Road and Smales Road, East Tamaki, Map Reference NZMS 260 R11: 805 712 (refer to Appendix A of this report for location

map). TA. Manukau City Council.

1.4 Proposal:

Land use consent is sought to undertake approximately 75 hectares of earthworks associated with the development of a

residential subdivision.

2. NOTIFICATION

The proposed activity is a restricted discretionary activity in accordance with the provisions of the Proposed Regional Plan: Sediment Control (dated September 1995).

Pursuant to Section 93 of the Resource Management Act 1991 this application was notified on 20 June 1997.

Two submissions were received with respect to the application, one in support and one in opposition as follows:

Ngati Paoa Whanau Trust supported the application conditional on Ngati Paoa protocols relating to the uncovering of archaeological/cultural sites.

Huakina Development Trust objected to the proposal stating they have received insufficient information to assess the application. Subsequent consultation has however also resulted in written approval being received.

3. <u>DESCRIPTION OF PROPOSAL</u>

This application is for approximately 500,000m³ of cut to fill earthworks over an area of approximately 75 hectares. The area is zoned Main Residential under the Manukau City Council Operative District Plan, and the development layout is in accordance with the requirements of the district plan. The operation is also likely to include the installation of a large diameter pipe through the main civil works area (Dannemora 14-20) to achieve undergrounding of the 22,000v overhead power transmission lines.

The intent is to provide contour suitable for intensive lot development (750 lots) of which up to 18 hectares will have civil works, including drainage and the installation of utility services completed in the 1997-98 season. The remaining civil works will be undertaken in the following 2 years or as section demand dictates. The proposed development is in three distinct areas.

Area 1: Stages 14-20, Thamrin and Howick Parkland Blocks

Initial works will involve approximately 80,000m³ of cut to fill earthworks in the area previously worked under Land Use Consent: Sediment Control-Sc 11596, which will run concurrent with this consent. This area was previously known as stages 12-13. This operation is anticipated to take 4-6 weeks and some civil works are likely to commence on stage 14 during this time, progressing rapidly to stage 15. Bulk earthworks are scheduled to commence on stage 16 by mid to late November and all works including road and service installation is to be finished by the end of April 1997. Stages 14-16 involves an area of some 11.5 hectares.

As soon as bulk earthworks are finished on stage 16 (mid February) then the remaining area, some 18.5 hectares will be worked in 3 separate stages to ensure the completion of the bulk earthworks prior to the end of the earthwork season. A total of approximately 200,000m³ cut to fill is envisaged.

The site lies to the east of East Tamaki Road and is just south of the Ti Rakau Drive intersection. The site rises from East Tamaki Road through to the recent extension of Kilkenny Drive through stages 10 and 11 in the east. The northern boundary is adjacent to paddocks that border a perennial watercourse running east-west, separating the site from the perennial watercourse and Dannemora Stages 6-7 by some 80-120 metres. The area between stages 14 and 15 and the watercourse has recently been purchased for school development and will not be earthworked in the current season. There is a reserve area approximately 20 metres either side of this watercourse. A consent has been granted to undertake earthworks in the watercourse immediately upstream of East Tamaki Drive to create a large stormwater detention/water quality pond and this work was completed in the 1997-98 earthwork season. Stages 6-7 of the Dannemora development are complete and house construction is currently underway. The final service installation on stages 8-9 was completed recently.

To the south of the site is pasture land, predominantly farmed with cattle. On the western side of East Tamaki Road is the Botany Centre, a commercial and retail development, and beyond this, recent residential development. Further west there is the industrial and commercial area of East Tamaki.

The land is undulating to rolling with grades generally less than 1 in 10. The land has been used for pastoral farming for approximately 80 years. Approximately 10 hectares of the site has been partially stabilised (vegetation strips) after bulk earthworks last season, the remaining area (20 hectares) remaining in pasture. Four gullies running east-west dissect the site. The gully sidlings are generally steep, in the order of 1 in 10 to 1 in 4 gradient and are incised 2-5 metres. The gully floors vary in width but generally have a 2-3 metre wide flood plain associated with a 0.5 wide channel incised 0.3 metres. Previous works in this area involved infilling of the 3 ephemeral watercourses (gullies 1, 2 & 3) running east to west through the northern part of the site to discharge through culverts under East Tamaki Road. The floor of gully 4 have been extensively pugged by cattle although there remains a reasonably good cover of grasses and wet site plants such as rushes and buttercup.

The extension of Kilkenny Drive along the eastern boundary of the site and the sediment control ponds installed to control sediment on stages 10-11 currently divert the bulk of the flow that would normally flow down the two northern gullies. Gully 3 (third from the northern end) is currently the subject of legal proceedings as it was partially infilled during the last earthworks season without the appropriate resource consent. Gully 4 (the southern most gully) has yet to be worked.

The gullies drain under East Tamaki Road into the National Trading site immediately to the south of the Botany Centre. These watercourses have been piped under the proposed commercial centre. The gully systems contribute to tributaries of the Power Substation estuarine arm of Pakuranga Creek.

Soils are silty clays derived from Waitemata Group sediments overlaid with 200-400 mm of topsoil.

Area 2: Sayes Block

Area 2 is to the south of the recent earthworks operation by National Trading Company at the rear of the Botany Shopping Centre at the corner of East Tamaki Road and Ti Rakau Drive. East Tamaki Road lies adjacent to the eastern boundary. Approximately 15 hectares of the 30 hectare site are proposed for earthworking. The East Tamaki Arterial Route planned to commence in the 1997-98 earthwork season divides the property into two. This application applies to the eastern half only, the western half having a major gully traversing the south-western side and subject to further planning.

The contour of Area 2 is strongly rolling, rising from East Tamaki Road to a low ridge at the centre of the block.

The intent is to undertake works in 3 stages. Stage 1 will involve approximately 80,000m³ of cut to fill earthworks over an area of 6.5 hectares to allow civil works to continue for the development of 63 lots. Stage 2 will involve a cut and haul operation, removing up to 150,000m³ of fill from 4.5 hectares to the Sutton Block (Area 3). Stage 3 will also be a cut and haul operation removing the balance to a total cut and haul of 300,000m³ over a further 4.5 hectare area. It is anticipated all 3 stages will be completed by the end of April 1998.

Area 3: Sutton Block and Haul Road

The 6 stage bulk filling operation (300,000m³ over an area of approximately 36 hectares) is planned for this site.

This block lies between Smales Road and East Tamaki Road and backs onto the Stevenson Quarry to the west. The eastern two thirds of the area is flat and low lying and the intent is to use excavated material from the Sayes Block to bring the general contour up to the surrounding carriageway level. The western side of this property rises to the boundary with Stevensons Quarry by some 20 metres with an average slope gradient of 10%. This area is not part of this application and will remain in grass. Approximately 90 hectares of catchment drains onto the site at the southern end via two culverts under East Tamaki Road These culverts discharge into farm drains which link at the centre of the site forming a main drain effectively dividing the site into two. This watercourse is intermittent although this area, being swampy, contributes low volume base flows to the drain for the majority of the year.

The haul road will be approximately 500 metres long and will generally follow existing contours adjacent to, or over what will be the alignment of the adjoining East Tamaki Arterial Route, the construction of which is likely to be proceeding simultaneously. There is no plan to metal the haul road.

The applicant plans to have all bulk earthworks completed by April 1998 although as a contingency has applied for a consent expiry date of 30 April 1999.

3.1 Erosion and Sediment Control Measures

Erosion Control

This proposal is larger than any previously received by Auckland Regional Council for this area and as all the catchments drain to the head of the Power Substation arm of the Pakuranga Creek, the applicant has been requested to examine in detail the staging and development methodology to minimise the risk of significant sediment discharge. The staging proposal is the principle method of restricting erosion, and has been refined to the stage where it is considered minimum areas of exposed soil is likely to be achieved.

The construction of civil works on stages 1 and 2 makes immediate stabilisation on completion of the earthworks difficult. However it is anticipated further refinement of the progressive stabilisation programme can be made once civil design is finalised.

The trenching operation associated with the undergrounding of the power lines is to be co-ordinated with the bulk cut to fill, to minimise exposure times.

The fill operation on the Sutton Block (area 3) is to be undertaken in six stages of approximately 5 hectares each, striping topsoil from the next stage and placing on the just completed stage, thereby minimising the period of exposure.

Sediment Control

The principle sediment control measure for all three areas will be the diversion of sediment-laden over land flow to sediment control ponds and diversion of clean off-site overland flows away from denuded areas. Approximately 95% of run-off will be treated in sediment control ponds, the balance of the area being protected with fabric silt fences.

Area 1

Prior to bulk earthworks commencing, a stormwater main will be installed through the site to terminate at the upstream boundary of gully 3. Overland flow from gully 2 that is currently diverted to gully 3 will be re-routed to a manhole in the stormwater main. Gully 4 earthworks are scheduled for the late summer/early autumn period when groundwater and overland flows are likely to be more conducive to easy installation of gully fill. However, to ensure the safe passage of clean over land flow through the site, the applicant intends to install a channelled and stabilised diversion drain. The applicant intends to install this diversion well before bulk earthworks in this area commences to enable a thick cover of vegetation to establish along the over land flow path.

Area 1 has been partially worked as part of consented works in stages 12-13 and unauthorised work in gully 3. Sediment control has been provided with sediment control ponds at the toe of each gully with decanting outlets connected directly to the culverts under East Tamaki Road. These three ponds have been sized using the 2% (2m³ of volume for every 100m² of contributing catchment) criteria and will be upgraded to conform to ARC Technical Publication No.2, 'Erosion And Sediment Control Guidelines For Earthworks' dated March 1992 prior to works continuing. Particular attention is to be paid to the correct shaping of the ponds, creating a level pond base and installing a stabilised dissipation inlet. As works progress, a further two ponds will be installed in the upper half of the site, discharging directly to the newly installed stormwater system. Prior to works commencing in the gully 4 catchment a 2% sediment control pond will be constructed at the toe of the gully.

As the overland flow paths of the gully systems are long there is to be heavy reliance on earth bunds/contour drains to keep overland flow velocities low limiting the potential for erosion to occur. These will be installed as the area is brought up to grade, prior to forecasted or anticipated rainfall and prior to extended stand-down periods.

Area 2

Four sediment control ponds are to be constructed, three in existing natural depressions (gully heads) and one above an existing ephemeral watercourse near the north-east corner of the site. This watercourse is to be piped and a methodology has yet to be finalised.

Area 3

As mentioned two farm drains join at the centre of the site to bisect the area. The intent is to divert the southern most drain to the northern drain and separate this drain from the fill areas by the construction of a continuous topsoil bund around the drains. The fill operation is to be undertaken over the entire area of each stage, bringing the ground-level up evenly (level gradient) over the entire site.

The topsoil bunds will have novacoil decanting systems installed in the low points. The localised impoundments created will be of sufficient volume to provide a minimum 2% (2m³ of volume for every 100m² of contributing catchment) storage volume at all times. Stabilised spillways will be constructed across the topsoil bund at appropriate intervals, The bund batter adjacent to the watercourse will be stabilised by establishing a thick cover of vegetation, and the bund will be sized and constructed in such a manner as to allow the passage of flood flows without causing significant erosion.

The site engineer will maintain an overview as to the effectiveness of all control measures and ensure they are constructed and maintained to achieve optimum efficiency. Regular monitoring of the site controls and the immediate receiving environment is to be undertaken.

3.2 Other Resource Consents Needed

Stormwater discharge is covered by a comprehensive discharge consent held Manukau City Council. A landuse consent has been granted by Manukau City Council for the development. No section 13 consent for works within a watercourse is required.

4. <u>EVALUATION</u>

In accordance with Section 104 of the Resource Management Act, the Regional Council shall, subject to Part II of the Act, have regard to the following relevant matters when considering this application.

4.1 Assessment of Effects on the Environment

At the completion of the 1996/97 earthworks season unauthorised works were undertaken in the gully area within Dannemora Stages 14-20. These works have since been authorised by a resource consent (Sc 11813) retrospectively. The assessment of effects in this report is based on the works being carried out in an authorised way, and

subject to the proposed conditions of consent, and should not be taken as applying to the actual or potential effects from those unauthorised works.

The applicant has produced an estimated sediment yield based on the Universal Soil Loss Equation of approximately 100 tonnes. This is based on a sediment pond efficiency of 50% and a sediment delivery ratio of 0.5. Refinement of the staging programme has reduced the area of exposure, particularly for the steeper Area 1 to an average per month of 18 hectares rather than the 31 hectares that are used in the calculations.

The applicant has continued to refine the staging for all 3 areas through consultation with the Council and the most recent proposal presents reasonable certainty as to minimisation of exposed areas, whilst still providing some flexibility to the developer for contingencies. The proposal to strip the topsoil to the subsequent stage as detailed for Area 3 is particularly encouraging. However, as the bare area open at any one time is the determining factor for the volume of sediment yield, and the programme submitted is indicative only, it is considered necessary to set a consent condition that limits the maximum disturbed area in each of the 3 areas to provide certainty, as follows:

Area 1, Dannemora 14-20: 12 hectares

Area 2, Sayes Block: 8 hectares

Area 3, Sutton Block: 6.5 hectares

These maximums are determined from the applicants proposal and the statement that there will be progressive stabilisation. Progressive stabilisation is interpreted to mean stabilisation of all of those areas that will have no further bulk earthworks as soon as grade is reached. The balance of the areas will either be in pasture, hardfill, topsoil or newly sown grass.

The applicant's progressive stabilisation programme relies on establishing vegetative cover as topsoil is spread and as weather conditions allow. It is considered this progressive stabilisation by sowing to achieve the required degree of cover (80% on an areal basis) or by other approved methods is important to achieve stabilisation and therefore requires limitations as to the maximum area not stabilised with vegetation. The recommended consent condition is as follows:

- Area 1: A maximum of 11 hectares of un-stabilised ground during the months October -March inclusive, and a maximum of 6 hectares during the month of April.
- Area 2: A maximum of 10.5 hectares of un-stabilised ground during the months October -March inclusive, and a maximum of 4.5 hectares during the month of April.
- Area 3: A maximum of 18 hectares of un-stabilised ground during the months October -March inclusive, and a maximum of 6 hectares during the month of April.

Adherence to these maximum areas will require careful planning particularly for the additional and on-going works such as the undergrounding of the power lines and the installation of stormwater mains. The applicant is aware of what works are considered permitted outside the earthworks season i.e. service installation within road and accessway berms, provided these areas are protected from overland flow and the progressive stabilisation of trenching associated with minor line installation.

There is some uncertainty as to the stabilisation techniques to be employed in, and around, ephemeral watercourses in all three areas. Although an indicative methodology has been produced for the Gully 4 clean water diversion, it is reliant on good vegetation establishment which is by no means certain given the unpredictability of Auckland's weather. It is considered that specific methodology is required for all works in watercourses, and it is recommended that this be a consent requirement.

The applicant describes the immediate receiving environment below the property as being extensively modified, having been piped and channelled through downstream commercial and residential development. Staff agree that the life supporting capacity of these fresh water habitats has been compromised through piping and channelling and that sediment settling out in these areas is unlikely to have any long term significant impact on aquatic biota. The majority of sediment from this site will discharge to the marine environment of the Power Substation arm of Pakuranga Creek between 1 and 2.5 kilometres downstream of the site.

Of the 600 hectare catchment of the Upper Power Substation arm of Pakuranga Creek approximately 400 hectares is in pasture. The remainder is in relatively mature industrial and commercial development (approximately 50 hectares), recently built small lot development (approximately 100 hectares) and more mature larger lot size urban development (approximately 50 hectares). Currently, and for the preceeding 2-3 years, it is estimated that between 70-80 homes are under construction at any one time. If it is assumed that at any one time the area of exposed soil on a residential building site of 700m² is in the order of 200-300m² then the cumulative total is approximately 2 hectares. Currently none of these building sites have any form of sediment control so it can be assumed that the sediment yield from these sites will be something in the order of 100 tones per annum. The more mature commercial, industrial and residential development can be expected to produce between 0.24 t/ha/yr and 0.4 t/ha/yr (taking into account the large lot sizes and unsealed surfaces of some access roading on the steeper hillslopes), an average of approximately 0.3 t/ha/yr. A similar amount could also be expected from the recently developed residential areas (garden development, etc). The current 'background' sediment discharge can therefore be estimated at approximately 370 t/yr. Prior to development, the catchment would have yielded sediment volumes in the vicinity of 300 t/yr.

The 370 t/yr estimate does not take into account earthworks that are likely to go ahead in the near within the catchment such as the Huntington Block, National Trading Company, East Tamaki School, ETCART, Hawkins Block and Curtis Park developments. The development of these proposals over two or three earthworking seasons is likely to cause adverse cumulative effects on the receiving environment if traditional earthworking methods are utilised, where the whole site is opened up for the period of the works, without staging, progressive stabilisation or the utilisation of

any other erosion control practices and techniques. Therefore, the staging conditions which are proposed for this development will also be recommended for other proposed developments, to minimise bare soil surfaces.

One must bear in mind that the estimates of sediment discharge from the Dannemora development is based on an arbitrary pond efficiency of 50%. Recent, yet to be published work (Albany Study, Auckland Regional Council) on pond efficiency on similar soil types, suggests correctly designed and maintained sediment ponds may be more than 80% efficient. If a pond efficiency of 80% were to be used, the proposed development is estimated to increase total annual catchment sediment yield by approximately 7%. This does not take into account additional works in the catchment that is likely to go ahead in the near future as noted.

The marine receiving environment is a low energy tidal system where suspended particulate is likely to be the dominate human induced environmental impact. The marine ecosystems found in this environment can be expected to have adjusted and be robust under high suspended solid concentrations, however cumulative discharges of sediment from the catchment are likely to cause significant adverse effects in the short term.

There will be short term smothering of benthic zone organisms and an increase in discoloration of the water column. These impacts are greater when combined with sediment discharges from other consented and permitted earthwork activities within the catchment.

These effects may last for some time after the end of the earthworks season depending on catchment flows and tidal flushing effects. Sediment concentrations will reduce further down the estuary through tidal mixing and dilution effects from relatively 'clean' stormwater discharges from more mature urban developments beyond the head of the estuary. However sedimentation may be high in the lower estuary depending on flood event and tides. Sediment concentrations can be expected to be further reduced beyond this arm of the estuary because of better tidal flushing closer to the open sea.

Whilst it can be argued that the discharge from the site will eventually be reduced to approximately 50% of the current sediment discharge rate (urban sediment yields compared to pastoral, TP 69) thereby reducing detrimental impacts in the receiving environment, some short term increases in sediment yield is inevitable. The increased discharge of stormwater pollutants may also off-set any potential gains made by reduced sediment yield.

Previous development has substantially altered the marine receiving environment through sediment discharge. Sediment discharge as a result of earthworks is likely to continue into the foreseeable future. It is considered that sedimentation of the estuarine areas can only be kept at 'sustainable levels' through a catchment budget approach coupled to a thorough knowledge of recovery rates of the marine benthic zones. The available data precludes a quantitative answer, hence the precautionary approach via a staging condition of consent.

The Tamaki Estuary has been identified as an Area of Significant Conservation Value* (ASCV) in the Proposed Regional Plan: Coastal. A Coastal Protection Area within this ASCV, approximately 2.5 kilometres downstream of the confluence of the Pakuranga Stream with the coastal marine area has been identified as the Pakuranga Creek Roost. This area is a roosting site for hundreds of wading birds that feed within the Tamaki Estuary and is associated with three other Coastal Protection Areas further down the Estuary. The whole of the Tamaki Estuary is a regionally important wildlife habitat. Reduction of the life supporting capacity of the waters of the Tamaki Estuary through high sediment discharge will have a detrimental effect on the food chain on which the wading birds are dependant. What effect the estimated sediment discharge from the proposed development will have on these feeding grounds which are some kilometres away would be purely a subjective assessment. However sediment discharges into this arm of the Tamaki Estuary have been occurring for a number of years and to date no information has been produced that indicates the spread of substantially diluted sediments into the middle and lower reaches of Tamaki Estuary is having a detrimental effect on the life supporting capacity of these areas, or on the populations of coastal birds.

The applicant has consulted with Tangata Whenua, namely the Ngati Paoa Whanau Trust Board and the Huakina Development Trust Board. Written approval has been received.

An archaeological assessment was undertaken in Area 1 in 1994 by Dr Caroline Phillips. A pit/terrace complex was excavated (R11/1846). No other archaeological features are known to exist on the property. Investigation of the Sayes and Sutton Blocks was undertaken by Jeff Mossen of Bioresearches on April 1997 and recommendations made as to the protection of two middens sites, two dry stone walls and a stone weir. If these sites can not be protected then authority to modify or destroyed is to be obtained from the New Zealand Historic Places Trust. An advice notice to this effect is recommended.

The Auckland Regional Council archaeologist has also assessed the site for cultural and historic significance and it is not thought that any significant sites will be impacted on. However in the event of archaeological evidence being uncovered, work must cease in the vicinity of the discovery and the Auckland Regional Council archaeologist is to be contacted so that the appropriate action can be taken as per the proposed special conditions of consent.

It is considered that, provided the applicant meets the requirements set out in the Special Conditions proposed for the resource consent, the operation will have employed the best practical option to minimise erosion and the volume of sediment that could potentially discharge from the site.

4.2 Proposed Auckland Regional Policy Statement

Pursuant to Section 104 (1)(d) of the Resource Management Act 1991 regard must be had to the proposed Auckland Regional Policy Statement (PARPS).

Section 8 - Water Quality of the PARPS contains objectives, policies and methods which address among other things the effects of the discharge of elevated levels of sediment on water quality in the Region. In particular, Policy 8.4.7.3 states:

"all land disturbance activities which may result in elevated levels of sediment discharge shall be carried out so that the adverse effects of such discharges are avoided, remedied or mitigated."

For the reasons detailed in Section 4.1 of this report, the proposed land disturbance activity is considered to be consistent with the relevant objectives and policies of the Policy Statement.

Appendix B of the PARPS 'Areas of Significant Natural Heritage' has been consulted with respect to this site and it is noted that the proposal does not impact on any significant natural heritage sites.

4.3 Proposed Regional Plan: Sediment Control (dated September 1995)

Pursuant to Section 104 (1)(d) of the Resource Management Act 1991 regard shall be had to the relevant objectives, policies and rules contained in the Proposed Regional Plan: Sediment Control, dated September 1995 (PRPSC).

The earthworks activity and the discharge of sediment laden runoff generated by the activity is identified as a restricted discretionary activity in the PRPSC.

Objective 5.1.1 of the PRPSC seeks to "maintain or enhance the quality of water in waterbodies and coastal waters", and 5.1.2 seeks to "sustain the mauri of water in waterbodies and coastal waters, ancestral lands, waahi tapu and other taonga".

Policy 5.2.1 of the PRPSC states:

"Land disturbance activities which may result in the generation and discharge of elevated levels of sediment will be required to employ methods which avoid, remedy or mitigate adverse effects on the quality of the water in the waterbodies and coastal waters".

For the reasons detailed in Section 4.1 of this report, the proposed land disturbance activity and the discharge of sediment laden runoff generated by the activity are considered to be consistent with these objectives and policies specified in 5.1.1, 5.1.2, 5.2.1, 5.2.2, 7.1.1, and 7.1.2 of the PRPSC.

5. <u>CONCLUSION</u>

Having assessed the proposal in terms of the relevant matters detailed in Section 104 of the Resource Management Act 1991 it is considered that the operation will employ the best practicable option to minimise sediment discharge from the site. It is considered that subject to the imposition of the recommended conditions of consent, any adverse effects of the proposed activity on the environment will not be significant

and will not be contrary to the objectives and policies of the Proposed Regional Plan: Sediment Control (dated September 1995).

6. <u>RECOMMENDATIONS</u>

It is recommended that the consent be granted subject to the conditions stated on the consent document appended to this report (including the Council's Standard Conditions).

The reasons for recommending this decision are:

- That subject to compliance with the proposed conditions of consent, the proposed activity will have less than a significant adverse effect on the environment, and
- That the proposed activity is not contrary with the relevant objectives, policies and rules in the Proposed Regional Plan: Sediment Control (dated September 1995) and does not conflict with any relevant matters under Part II of the Resource Management Act 1991.

Signed by Processing Officer:_

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Erosion and sediment Control Consultant:

Lyall Babington

Ross Winter

AUCKLAND REGIONAL COUNCIL

RESOURCE CONSENT

Granted Pursuant to the Resource Management Act 1991

LAND USE CONSENT: SEDIMENT CONTROL NO. Sc11762

CONSENT HOLDER:

Dannemora Holdings and Fulton Hogan Limited

CONDITIONS OF CONSENT

Date of Expiration of Consent:

31 April 1999.

Purpose of Consent:

To undertake approximately 75 hectares of earthworks

associated with a residential subdivision.

Site Location:

Dannemora 14-20; Kilkenny Drive, East Tamaki Heights. Sayes Block; Guys Road, East Tamaki, Legal Description: CT 67B/701, CT 105C/394, CT 19C/153, CT 101C/869, CT 576/87. Map Reference NZMS 260 R11: 812 722. Map Reference NZMS 260 R11: 816 723. Sutton Block; corner of East Reference NZMS 260 R11: 805 712 (refer to Appendix A of this report

for location map).

Territorial Authority:

Manukau City Council.

SPECIAL CONDITIONS OF CONSENT

- 1. That erosion and sediment control measures shall be carried out in accordance with those described in Earthworks Consent Application No. C512/10/Sc11762 and the accompanying Erosion and Sediment Control Plan submitted by Wood and Partners Consultants Limited on 14 May 1997, supporting documents and specifications including further information supplied by Wood and Partners to Auckland Regional Council on 13 June 1997, 21 August 1997 and 3 September 1997. Any amendments that may affect the performance of erosion and sediment control measures on site, shall be approved by the Group Manager, Environmental Management, Auckland Regional Council in writing prior to construction.
- 2. That all "cleanwater" runoff from stabilised surfaces including catchment areas above the site shall be diverted away from earthwork areas via a stabilised system, so as to prevent surface erosion.

- 3. That no vegetation removal or earthworks on the site (exclusive of berm areas which have appropriate erosion and sediment controls in place as per Special Condition 1 of this consent) be undertaken between April 30th and October 1st in any year, without the written approval of the Group Manager, Environmental Management, Auckland Regional Council. Earthworks in this regard refers to both major earthworks (cut/fill/waste) associated with the site as well as those associated with laying of utility services.
- 4. That all sediment laden runoff from the site shall be treated by sediment control measures, as described in the consent application or modified under Special Condition 1 above. These structures are to be constructed in accordance with best practice, be operational before bulk earthworks commence and be maintained to perform at full operational capacity until the site has been adequately secured against erosion (whether by vegetative means, paving, or otherwise).
- 5. That all perimeter controls shall be operational before bulk earthworks begin.
- 6. That any sediment retention pond shall be constructed so as to withstand the 100 year return frequency storm event without breaching, and to incorporate an emergency spillway to accommodate that event.
- 7. That all erosion and sediment control measures shall be constructed and maintained in accordance with Auckland Regional Council Technical Publication No. 2 "Erosion and Sediment Control Guide-lines for Earthworks" dated March 1992, except where a higher standard is contained in the documents referred to in Condition 1 above, in which case this higher standard shall apply.
- 8. That the Team Leader, Sediment Management, Auckland Regional Council shall be informed in writing prior to any works commencing; then again once erosion and sediment control measures have been constructed, prior to bulk earthworks commencing; and again before erosion and sediment control measures are removed.
- 9. That the site shall be stabilised against erosion as soon as practicable and in a progressive manner as earthworks are finished over various areas of the site. Revegetation is to be completed by 30 April in the year of earthworks construction in accordance with measures detailed in the Auckland Regional Council Technical Publication No 2 "Erosion and Sediment Control Guidelines for Earthworks" dated March 1992, unless a later date is approved in writing by the Group Manager, Environmental Management, Auckland Regional Council at least two weeks before 30 April.
- 10. The earthworks will occur in a staged fashion, with each stage being stabilised as per Special Condition 9 prior to subsequent stages of earthworks occurring. The specific staging requirements are as follows:
 - Area 1: A maximum of 11 hectares of un-stabilised ground during the months October -March inclusive, and a maximum of 6 hectares during the month of April.

- Area 2: A maximum of 10.5 hectares of un-stabilised ground during the months October -March inclusive, and a maximum of 4.5 hectares during the month of April.
- Area 3: A maximum of 18 hectares of un-stabilised ground during the months October -March inclusive, and a maximum of 6 hectares during the month of April.
- 11. That the consent holder shall submit a certificate signed by an appropriately qualified and experienced engineer to certify that the erosion and sediment controls have been constructed in accordance with the erosion and sediment control plan as specified in special condition 1 of this consent, within seven days following the completion of construction of the controls. Certified controls shall include sediment control ponds, diversion channels/bunds, and check dam structures. This requirement shall also apply to sediment retention facilities that are constructed during the site development.

Information supplied shall include:

- (i) Contributing catchment area
- (ii) Retention volume of structure
- (iii) Shape of structure
- (iv) Position and design of inlets and outlets
- (v) Stabilisation of structure
- (vi) Confirmation of Compliance with Auckland Regional Council Technical Publication Number 2 as detailed in Special Condition 7 of this consent.
- 12. The consent holder shall submit methodologies addressing erosion and sediment control measures associated with works within all ephemeral watercourses for the approval in writing by the Group Manager, Environmental Management prior to works in these areas commencing.
- 13. In the event of archaeological evidence being uncovered (e.g. shell, middens, hangi or ovens, pit depressions, defensive ditches, artifactual material or human bones) work is to cease in the vicinity of the discovery and the Archaeologist, Auckland Regional Council is to be contacted so that the appropriate action can be taken before work may recommence there.
- 14. A copy of the consent and associated Erosion and Sediment Control Plan shall be available on the site during work hours and all personnel involved in earthwork activities on the site (inclusive of sub contractors) shall be familiar with the Consent and Plan requirements as they relate to erosion and sediment control.

STANDARD CONDITIONS OF CONSENT

The Auckland Regional Council may by serving notice on the consent holder of it's
intention to do so at any time within the period commencing one year after the date of
the commencement of this consent and expiring six months thereafter, review under
section 128 of the Resource Management Act 1991 the conditions of this consent for
any of the following purposes.

- To deal with any adverse effect on the environment which may arise from the exercise of this consent and which it is appropriate to deal with at a later stage;
- ii. To require the holder of a discharge permit or a coastal permit to adopt the best practicable option to remove or reduce any adverse effect on the environment; or
- iii. To deal with any other adverse effect on the environment on which the exercise of the consent may have an influence.
- 2. The resource consent holder shall pay to the Auckland Regional Council any administrative charge fixed in accordance with section 36(1) of the Resource Management Act 1991, or any additional charge required pursuant to section 36(3) of the Resource Management Act 1991, payable in respect of this consent.
- 3. The consent holder shall permit the servants or agents of Auckland Regional Council to have access to relevant parts of the property at all reasonable times for the purpose of carrying out inspections, surveys, investigations, tests, measurements and/or to take samples.

ADVICE NOTICE

- 1. That fill shall be restricted to cleanfill only. Cleanfill is defined as soil (other than contaminated soil), rock, asphalt, fibrolite, plaster/clay products, glass, and concrete with a maximum of 5% by volume per 10 truckloads of attached structural building materials (wood and structural steel excluding corrugated iron).
- 2. That the Land Use Consent: Sediment Control, associated conditions and report be included in the Contract Documents.
- 3, That the applicant make the Contractor/Consultant associated with the proposed works aware of the Industrial Registration Course for Plan Implementors/Preparers available through the Auckland Regional Council.
- 4. When utilising lime stabilisation for roading or earthworks activities associated with this proposal, care should be taken to ensure that the storage and use of the lime does not lead to a discharge to receiving environment.
- 5. An archaeological assessment has identified, and recommended the protection of, two midden sites, two dry stone walls and a stone weir on the Sayes and Sutton Blocks. If these sites cannot be protected then an authority to destroy, damage or modify is required from the New Zealand Historic Places Trust prior to any works being undertaken which may impact on these recognised sites.

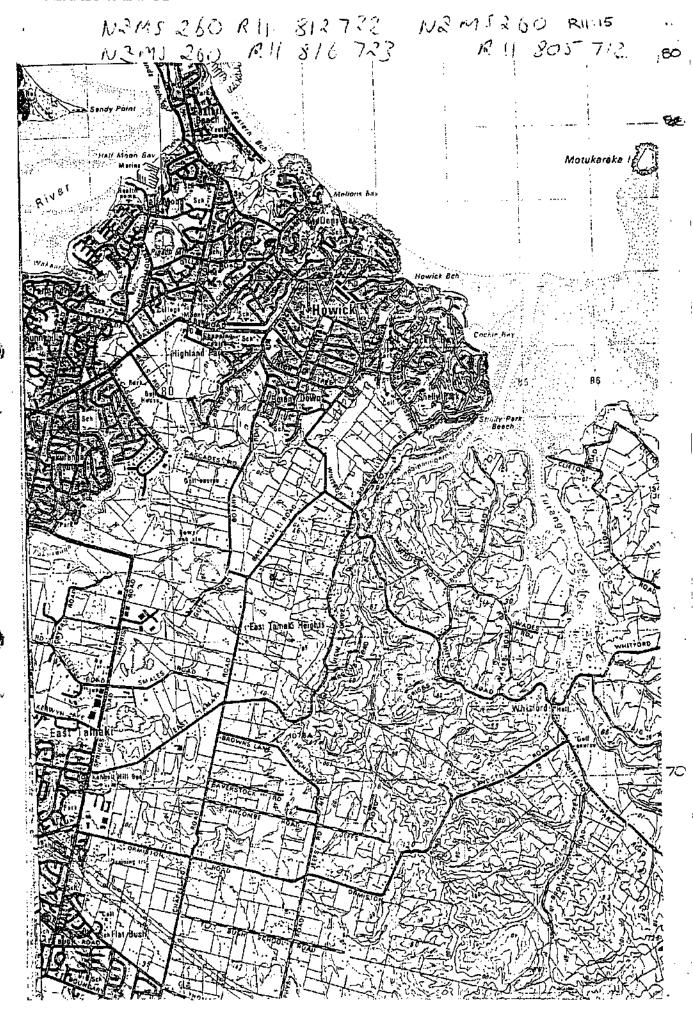
SIGNED AT AUCKLAND FOR AND ON BEHALF OF THE AUCKLAND REGIONAL COUNCIL

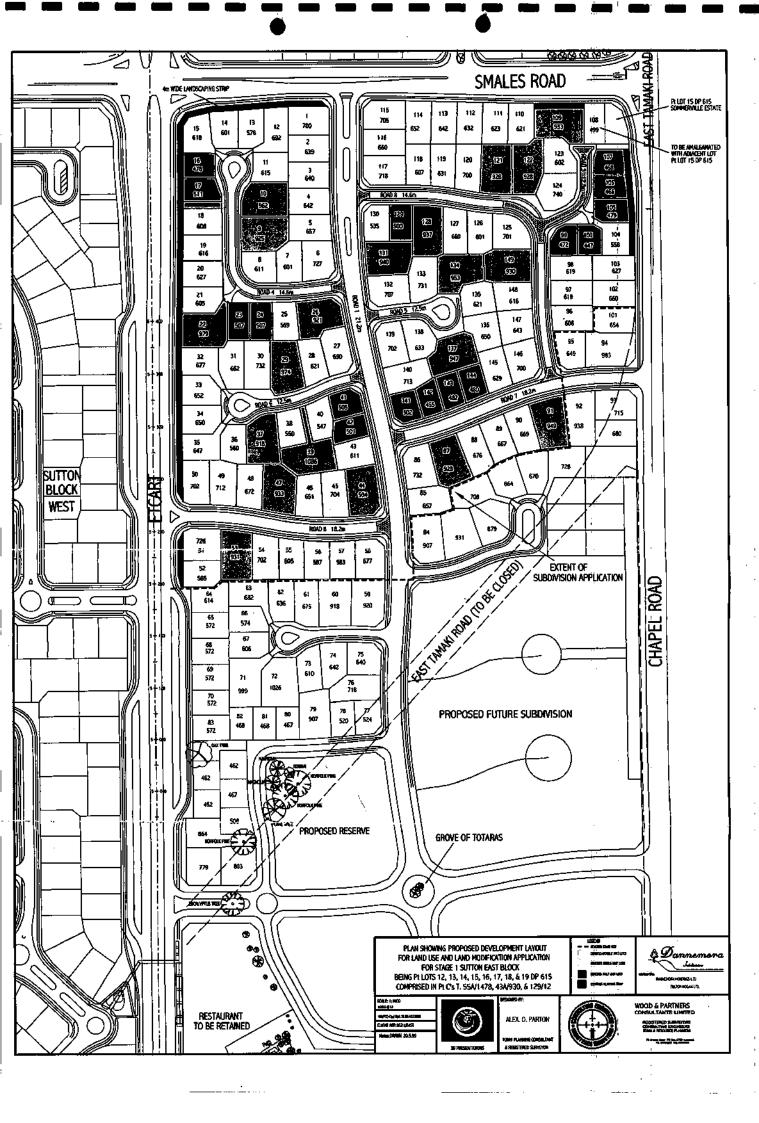
K E Connolly
Group Manager
ENVIRONMENTAL MANAGEMENT

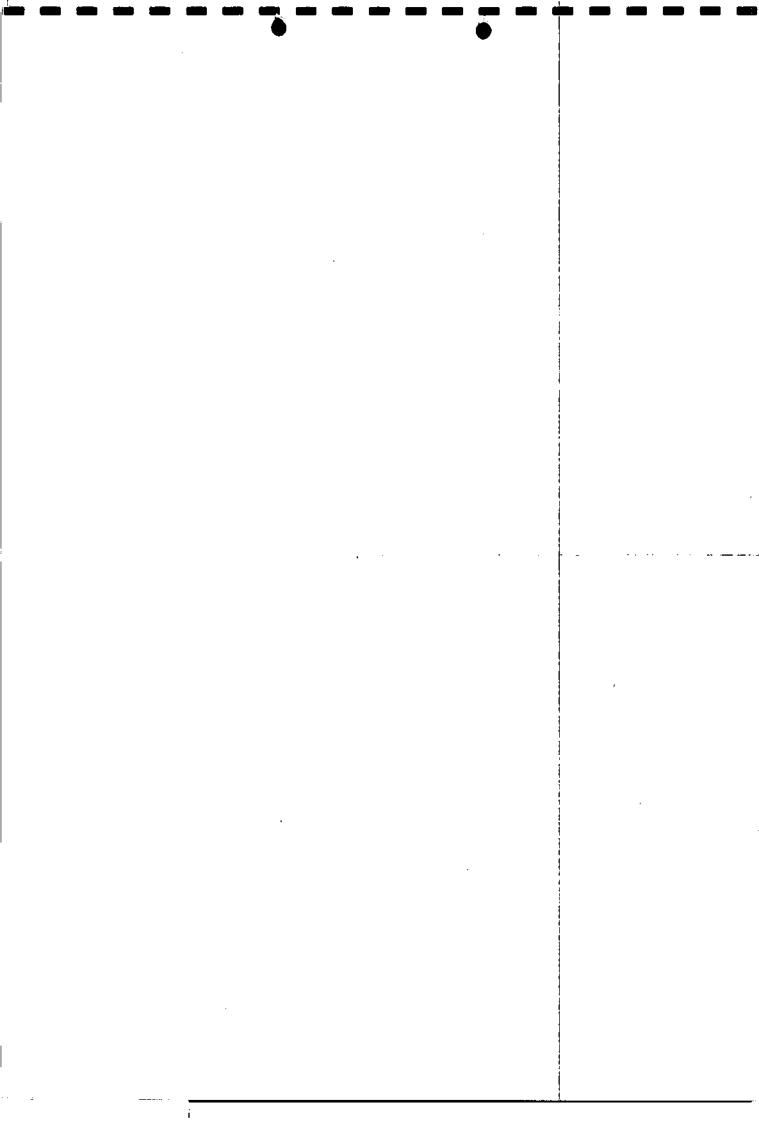
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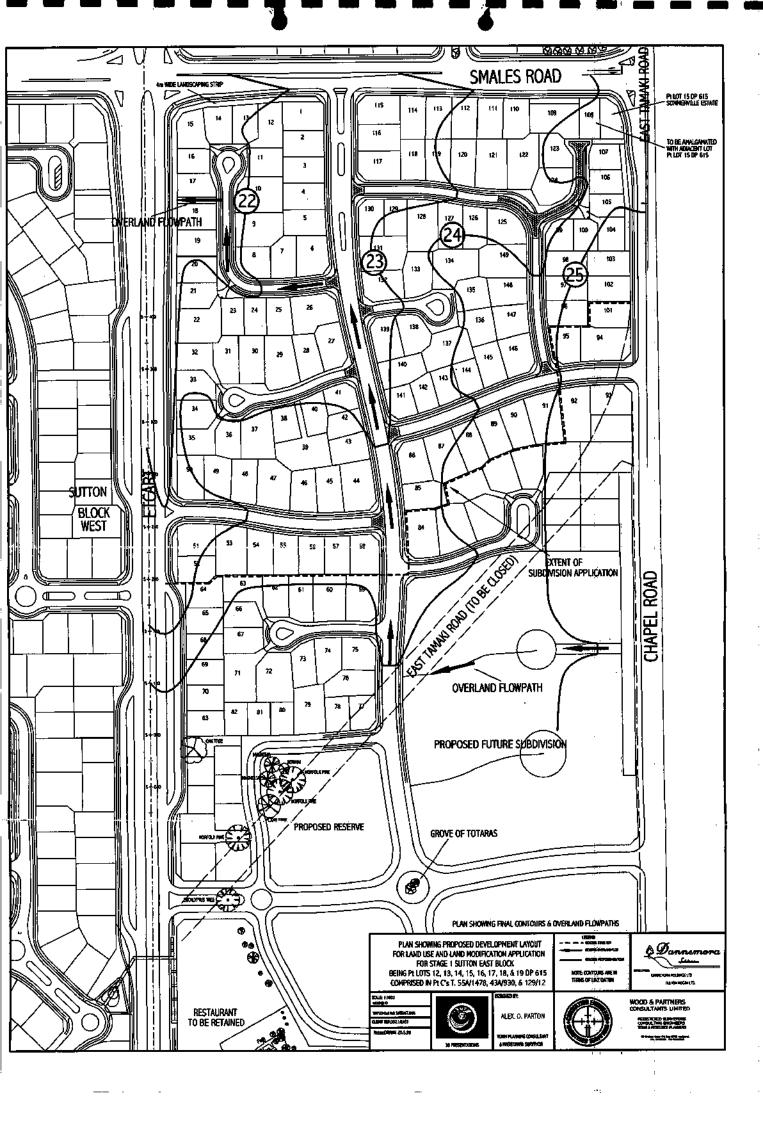
Ross Winter

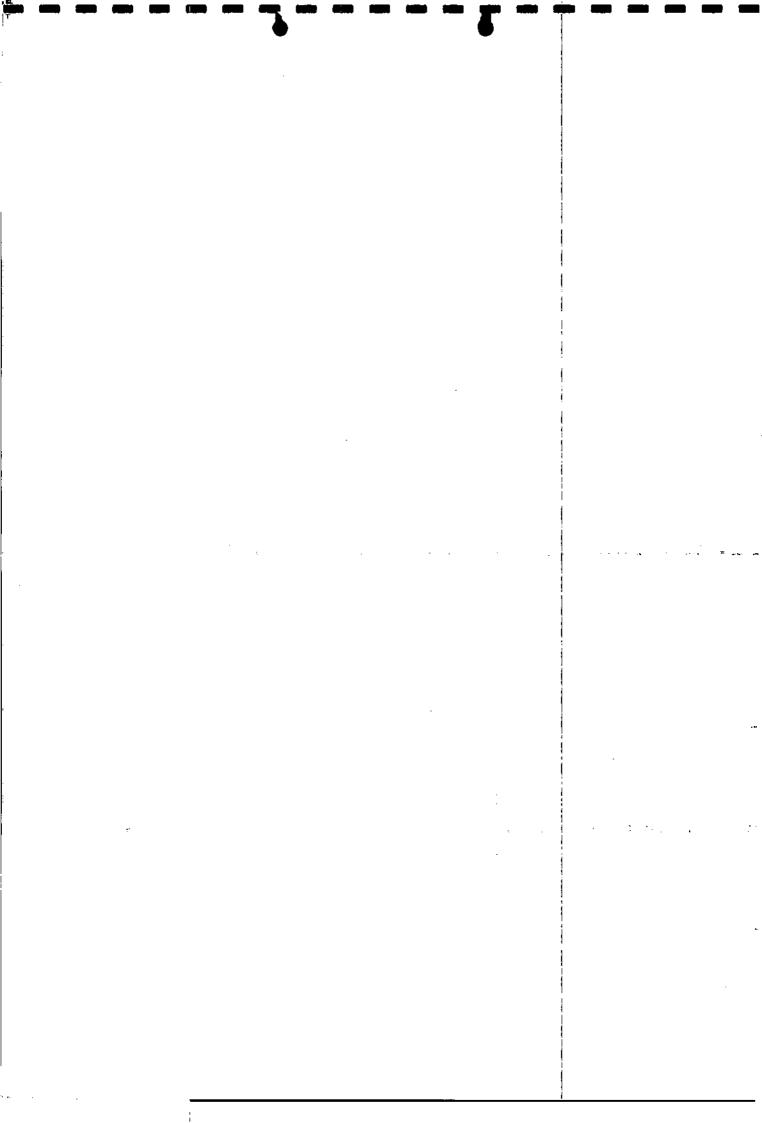
Soil Conservator Land Resources

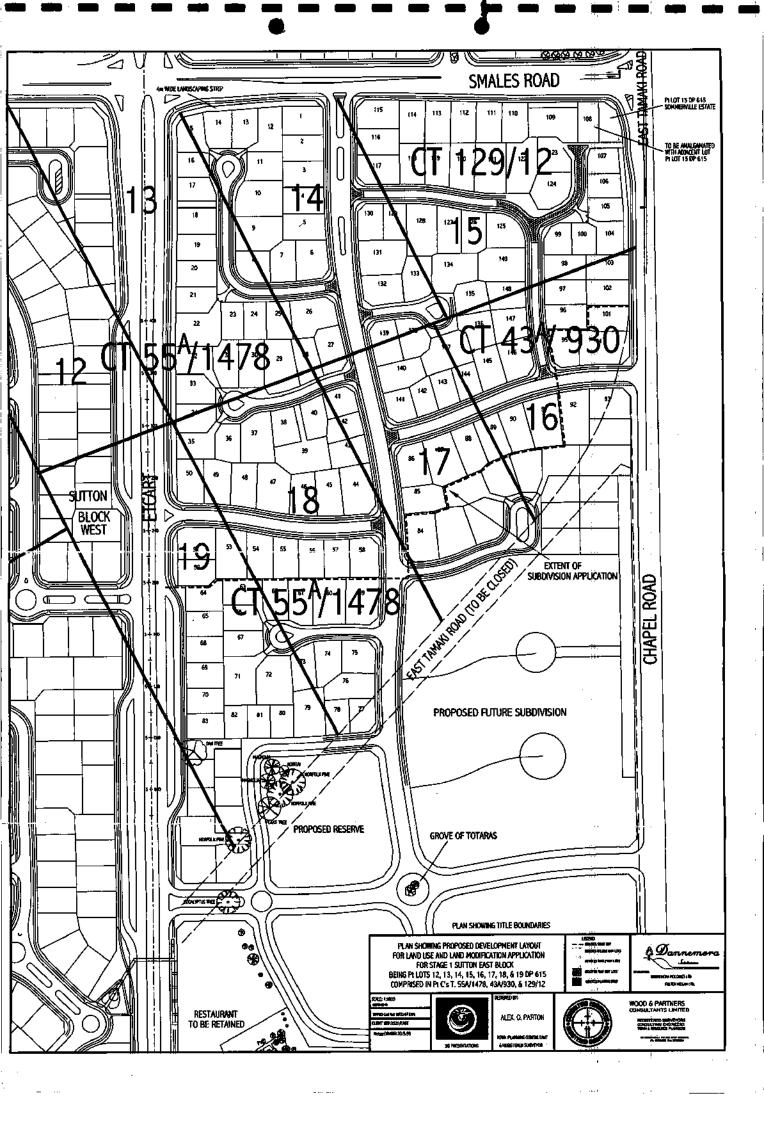


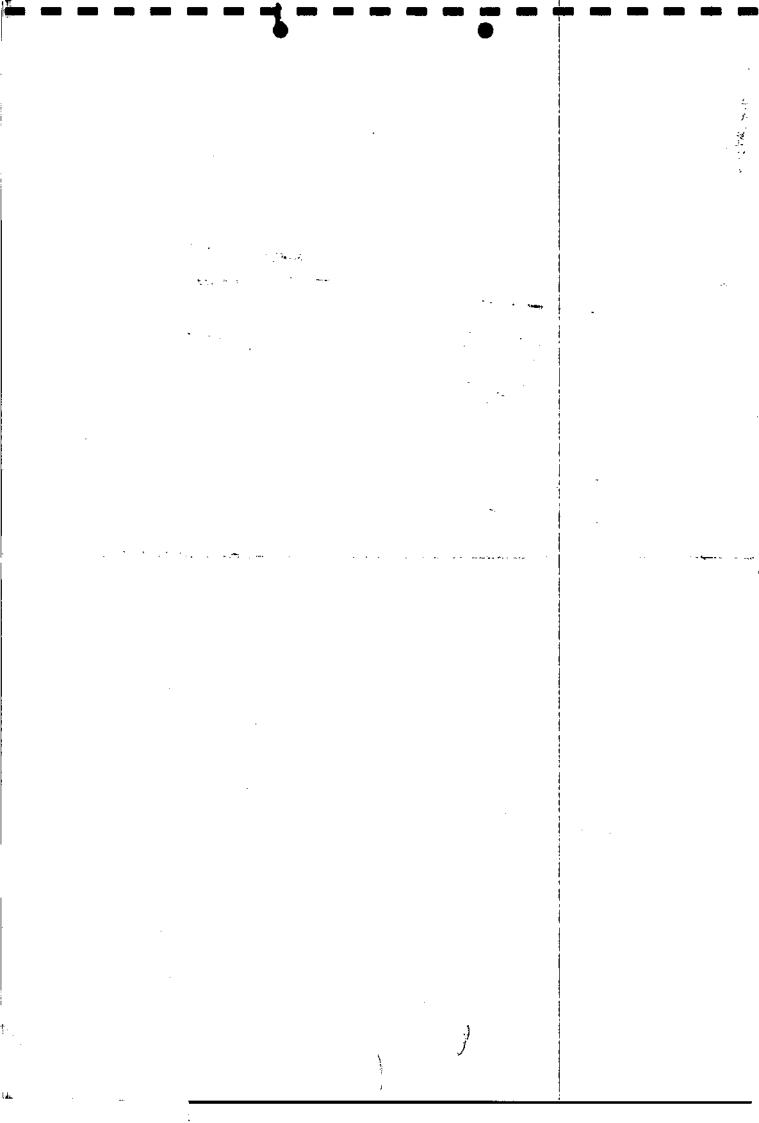


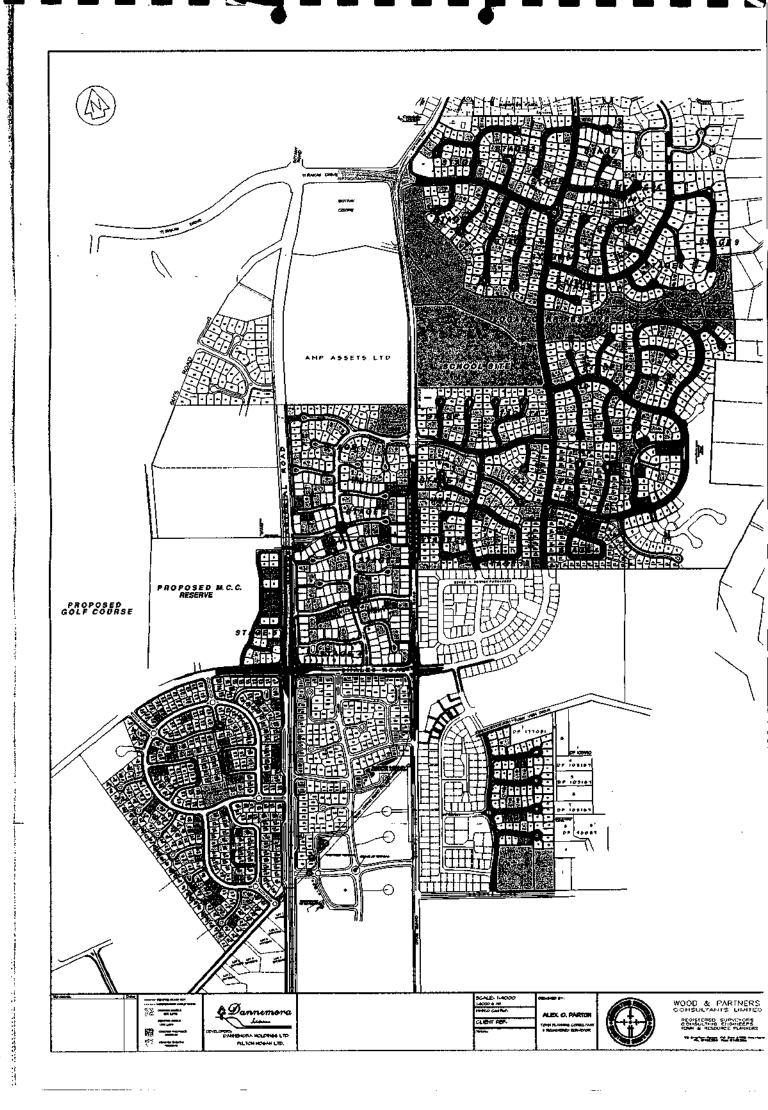


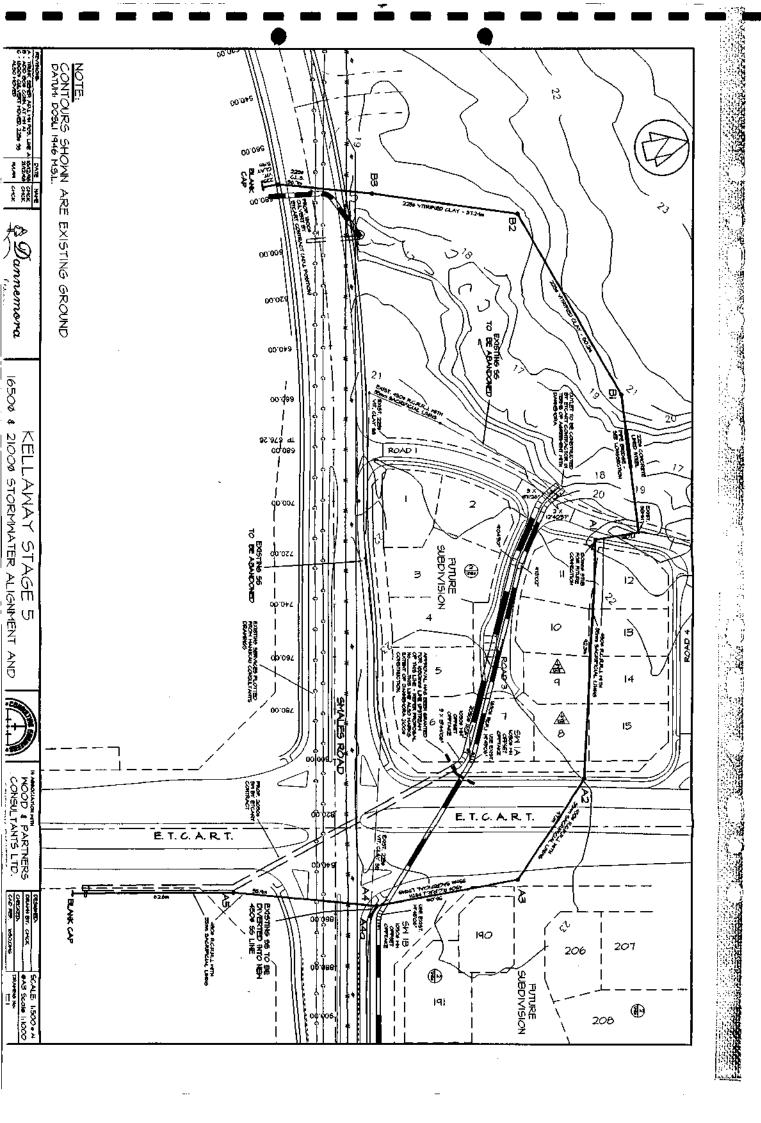


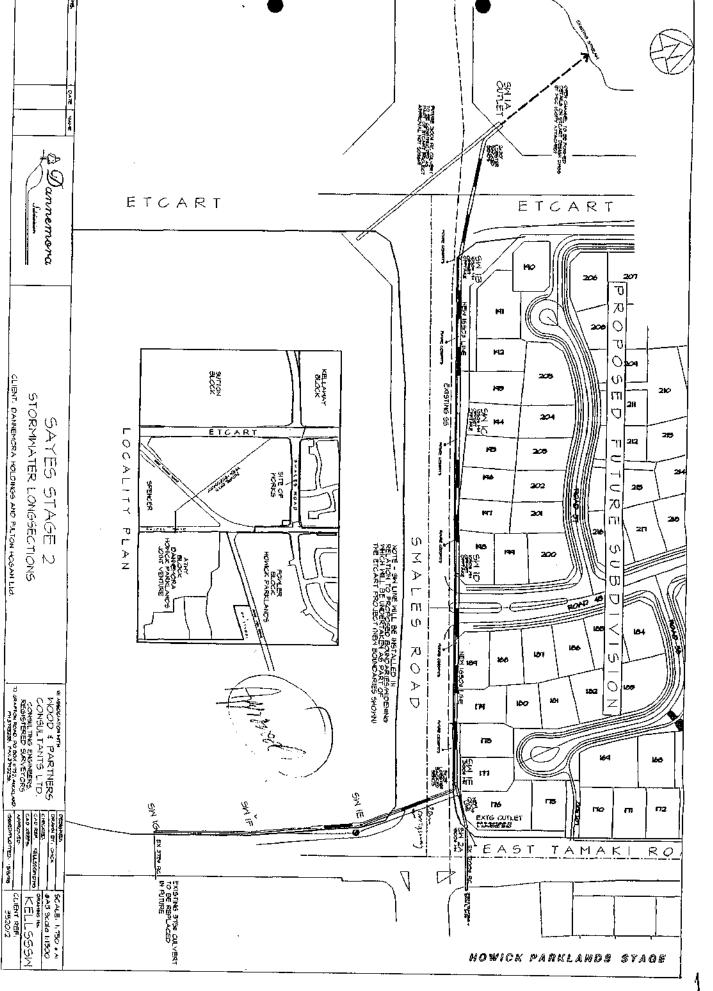




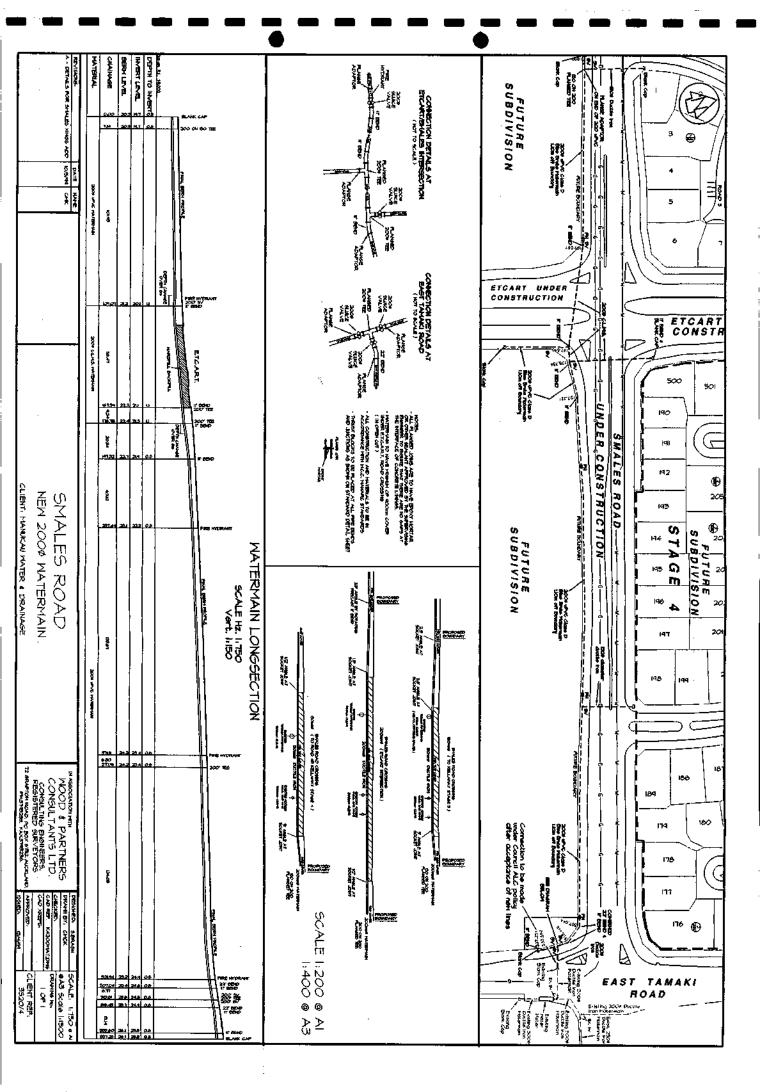








Kell /RC





SP 6198 P14963 See Alar. re Danne Sitton Man Wala rophy E happy to award any objection better to further those make

Proposal No:

14693

File Ref:

SP6198

SITE ADDRESS

474 EAST TAMAKI ROAD

WARD **OTARA** LEGAL DESCRIPTION **LOT 12 DEEDS PLAN 615**

APPLICATION: 116

LOT **SUTTON** BLOCK STG1 CONCEPT

LAND

MODIFICATION

Applicant:

DANNEMORA

HOLDINGS Agent:

WOOD & PARTNERS LTD

LTD/FULTON HOGAN LTD

Address: PO BOX 6752

Address: PRIVATE BAG **ELLERSLIE**

WELLESLEY STREET

Operative PE/CA/DA/RD/NC/PR

PE/CA/DA/RD/NC/PR

Contact: DON 379 3235

Att: Mr Don Wood

Consent Type Land Use Operative Zone

FUTURE

Proposed Zone

Consent Co-ordinator Michael Pritchard

DEVELOPMENT

(STAGE 1)

MAIN RESIDENTIAL

Cadastral Map

7/46ý7/46ý7/46ý7/4

6ý7/46

District Plan Map

Discipline	reauire	leaf		elect option and if necessary pro	187898767	
	vetting (tick ✓)	NFA	Have taken copy and will provide written conditions	Comments (more space over leaf)	Signed	Date
Planning				Refer to Urban Designer Yes/No		and a second section of the second section of
Subdivision						
Engineering				Financial contributions Yes/No		1
Manukau Water						
Transportation				Refer to roading Yes/No		
Building Consents				Copy of cross lease/unit title plan to Robin Meehan Yes/No		
Environmental Protection						

Received	31/05/99	Twenty days	Fast Track Yes/No	Ten days		
Section 94 assessment	Notified/ Non-notified	Five days	Site inspection			
Section 92 req	uests Info	ormation received	Internal referrals to	Response		
Decision statu	Granted/Refu	ısed/Withdrawn	District Plan Activity	Type		

Proposed

1	Y	<u>U</u>	1	1	ĭ

Decision date

Planning (Urban Design) Subdivision Engineering Manukau Water Transportation Building Consents Environmental Protection

Comments





Friday June 25, 1999

AND ABOUT HOWICK, PAKURANGA AND THE COAST FOR

INSIDE TODAY

A retired businessmen's club features in Spotlight on your Community.

COMMUNITY A nife-year old yiolin A virtuoso playsittis weekend at a Pakuranga concert See page 5

SPORT

eachers and parents learn how to be waterwise to help schoolchildren.

See page 15

LAND set aside for a subdivision in East Tamaki may yet be subject to a Maori land claim.

The 46ha piece of land on the corner of East Tamaki and Chapel Rds is owned by Dannemora Holdings Ltd and Fulton Hogan Ltd.

Dannemora plans to subdivide the land into 500 lots.

It was owned by the Crown and has a special notice or "memorial" on the vertificate of title, which means the Waitangi

Tribunal can recommend
the land be returned to
Maori ownership.
A public notice, placed by
Wellington-based Conflict
Management Pacific Ltd, invites any Maori person or
group wanting to make a
claim on the land to do so

Attempts by the Eastern Courier to find Conflict Management Pacific Ltd failed.

Dannemora project manager Harold Joyce says Dannemora has-applied to the Waitangi Tribunal to have the memorial

can recommend removed from the title.

Before this can happen Maori must have the opportunity to make a claim.
"If they have a case, now is the time," Mr

Joyce says.

However, Waitangi Tribunal director
Morris Love says there is no guarantee the
memorial will be lifted regardless of

whether a claim is made.

"Anyone who has a claim will be notified of what is going to happen on the land. If they say they are happy and want the memorial removed, the tribunal will make a decision, but it is not definite it would be removed," says Mr Love.

He says memorial land can be developed,

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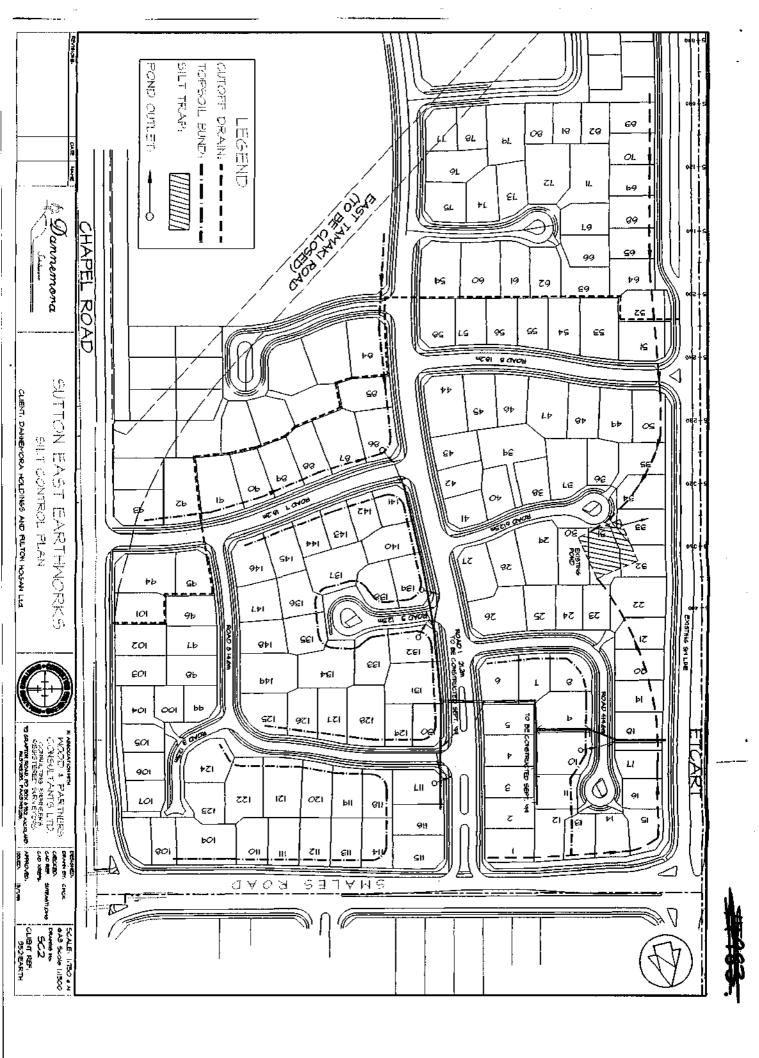
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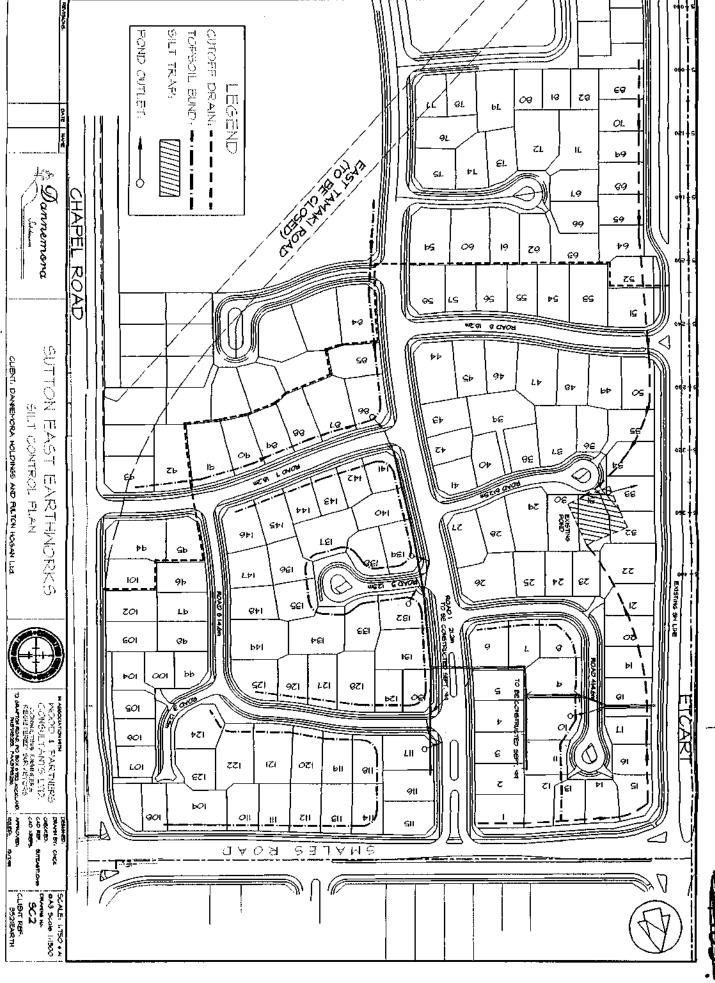
but Maori land claims can be made at any time. "If a claim is successful, the Crown can acquire the land and it can be used to settle, but it doesn't interfere with the buildings. People wouldn't have to move, they would just arrange to lease the land," Mr Love says.

Mr Joyce concedes that's a risk, but says
Dannemora has not thought this far ahead.

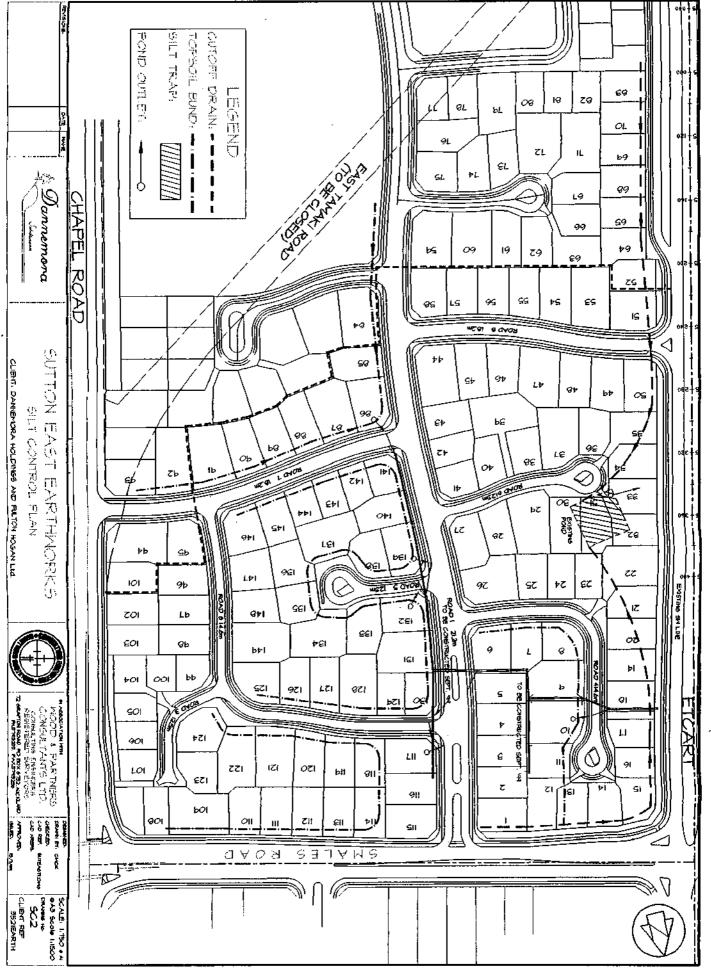
"We are negotiating to have the memorial uplifted and haven't, contemplated beyond that point."

The address for claims is: Registrar, Waitangi Tribunal, PO Box 5022, Welling-

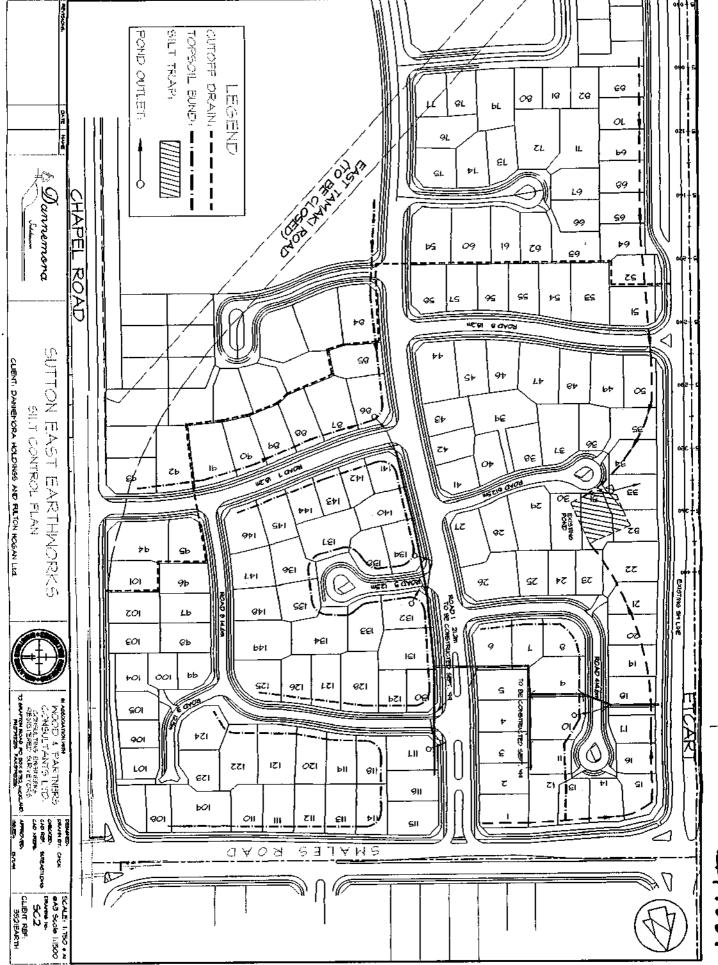


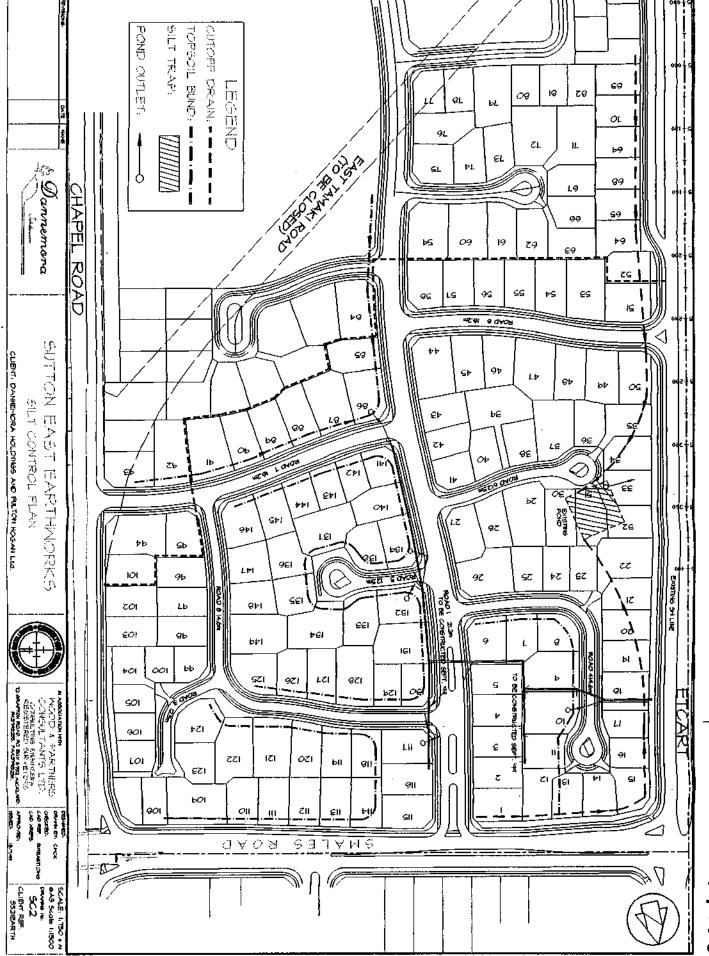


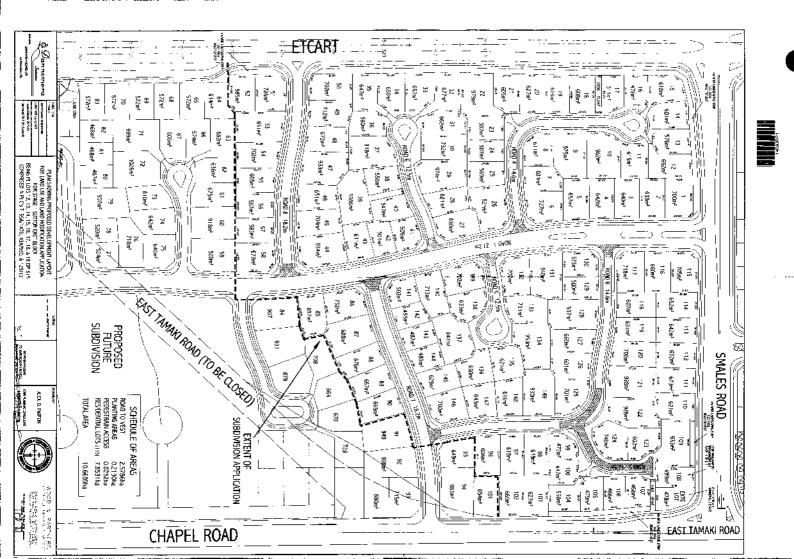
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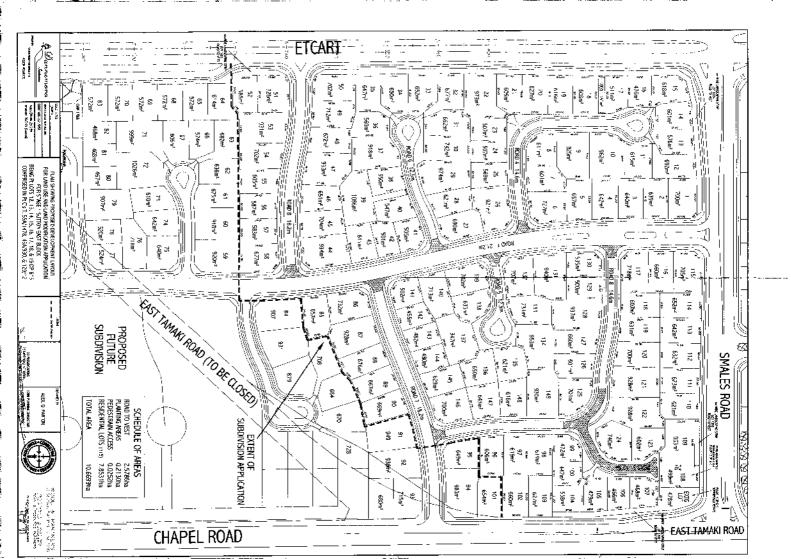


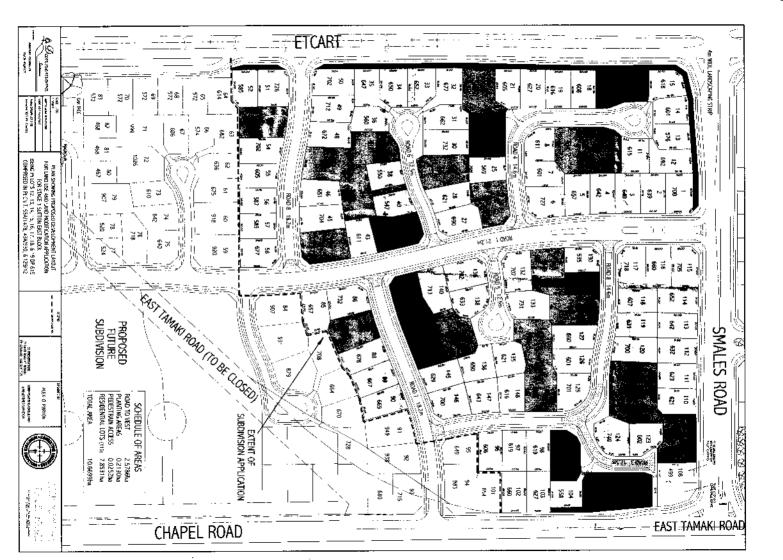
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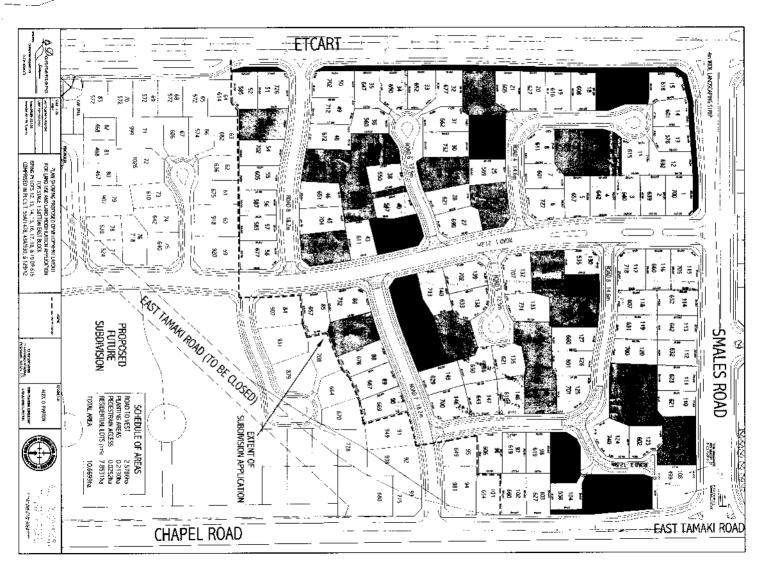












PROJECT CHECKLIST

			;		ROSS RE	FERENCE
19896	9	SP7400	•	Pr	evices/As	sociated Files
22 WANDO LANE		31 / 100	!			
OTARA	_	18/10/01				-
GRANT TAYLO	3	MAIN RESIDEN	TIAL			•
C/- 106 CASCADI		H157526		1 ,		
PAKURANGA		\$562.50	İ	4	···	
		Integrated Consen	t			
2 UNITS & 2 LOT SU	BDIVISION		1			
BRYCE POMFRE	TT					
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Deposit Pair:		Receipt No	, C:		Date: _	
Plan Scaling Fee:		Receipt No	a:			
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Water quality		0999-9846				
Comprehensive nation		0999-9817				-
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19896	6R					

File Sheet i

LAND INFORMATION REGISTER

<u>_</u>	
APPLICANT: GRANT TAYLOR	P19896
DP NO: 210699	LOTS: 1 & 2
ROAD: 22 WANDO LANE	WARD: OTARA
FILE REF: SP 7400	FILE REG NO:
INSTRUCTIONS:	
EXISTING NOTATIONS	
Please transfer the existing notation relating to to Lots 1 & 2 DP 210699	o vehicle access (detail reference 16427)
Please transfer the existing notation relating to Lots 1 & 2 DP 210699	o foundations (detail reference 16433) to
Please remove the existing notation relating t Lots 1 & 2 DP 210699	to services (detail reference 16433) from
SIGNED FOR MNG -COMPLIANCE:	'



MANUKAU

City Council

faste t Page 1 Ct 875

Environmental Services

forward the documents to your office.

micheal/ Sue Private Bag 76917 Company: Easadake Surveyors. Manukau City New Zealand Fax No: 5375754 DX EP75557 Fax (09) 262-5163 Nicola Trylo @manukau.govt.nz 04.10.02. Date: No of Pages: **DOCUMENTATION RELEASE** Subject: Dear Sir or Madam: Your application for the release of AL/SP (S224 / Engineering / Boart / Land Transfer Plan) is ready for collection from the Citizen & Customer Centre, Ground Floor, Kotuku House, upon payment of the amount set out

below. The customer centre is open weekdays 8.30 am to 5.00 pm except Wednesdays 8.30 am to 4.00 pm. Alternatively the payment may be forwarded to Resource Compliance, Manukau City Council, Private Bag 76-917, Manukau City. We will then

Resource Compliance Fee (see attached invoice) Sundry account: 100 94 invoice 19896	s 668.25 s6,750.00
	3
Reserve Contribution G/L account no. 0999 9430 . D. 19896	-6:750 mg
	150,
Roading Contribution	19442 Parait \$ 1377 \$4250 60
G/L account no. 0999 9332 . D	18662 Perait & V/X \$6750.00
Wastewater Contribution	II-II-GC COMIT CHECKUC
G/L account no. 0999 9334 . D	Sash In Eleu of Nese 6750.05
Stormwater Contribution	
G/L account no. 0999 9822 . D	STotal 6750.00
Water Supply Contribution	
G/L account no. 0999 9844 . D	STax Invoice/Receipt GST Ant: \$75
Water Quality Contribution	
G/L account no. 0999 9346 . D	s
Discharge Levy	18664 Sundry Debte 110094 \$668.2
G/L account no. 0999 9817 . D	511.11.02 abunn CHEBUE
Bonds/Refundable Deposits	
G/L account no. 0999 8124 . D	s
Plan Certification Fee	
G/L account no. 3420 1271 . D	s
Other:	
G/L account no	\$
	5 7,418.25
TOTAL TO PAY BY CASH / BANK CHEQUE / EFTPOS	s

Please note that the documentation will not be released until full payment has been received/cleared. If you have any questions relating to these payments, please contact the person noted above.

Louise Shields
Team Leader Resource Compliance
ENVIRONMENTAL SERVICES

Att the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.

/

THIS INVOICE IS DUE FOR PAYMENT ON THE 20TH OF THE MONTH FOLLOWING INVOICE DATE OR UPON COLLECTION OF DOCUMENTATION WHICHEVER IS SOONER.

A/C No: __110094

Invoice No: _____



TAX INVOICE

26747

Date

Private Bag 76917

Manukau City

New Zealand

DX EP75557

Ph 09 263 7100

Fax 09 262 5151

www.manukau.govt.nz

Grant Taylor C/- 106 Cascades Road Pakuranga

Cust Order

Customer No 020938

Our Ref 80288

30/10/2002

GST NUMBER 51-963-660

Description	G/L Code			Price	Net
B38 LT Plan Certificatn E00 LT Plan Checking E65 Subdivision Release E75 Authorisation E90 Land Use Complishe	3420 1271.D19896 3420 1250.D19896 3420 1250.D19896 3420 1250.D19896 3420 1250.D19896	HRS HRS HRS	1.00 1.00 2.00 0.80 2.50	100.00 60.00 60.00 80.00 60.00	100.00 60.00 120.00 64.00 150.00
SPA Administration Fee	3420 1250.D19896	EACH	1.00	100.00	100.00

Resource Compliance Fees for Subdivision Release

u/11/02 Carlene

plane refund the Complance fee above 2.5 @ 60 \$ 15

12/12/02 was nix sund and reminder la Caslena 22 Wando Lane & call to Grand Taylor SUB TOTAL 5 G.S.T.

80288 P19896 - 22 Wando Lane Otara

594.00 74.25

668.25

Integrated Consent - 2 Units & 2 Lot Subdivision.

(SP7400)

MANUKAU CITY SERVICES

RCP-

KOTUKU HOUSE

1 of 1

003 20

X

Page

INTER-OFFICE MEMO

issue 3

Ö

GIS Officer

Resource Compliance

FROM:

SP No.:7400

DATE:

24/10/02

LTP No.: 210699

ATTENTION:

Myles Hicks K2

subdivision has now been completed. It will now be in order to update Ward Centre cadastral and service sheets as the

Authorits.
9 MS Authorisation has been forwarded to the Building inspectors for building/drainage

G R Bilyard

Team Leader- Resource Compliance RESOURCE CONSENTS & COMPLIANCE



Environmental Services

25 October 2002

Easdale Surveyors Ltd 39 Meadowland Drive Howick AUCKLAND Private Bag 76917 Manukau City New Zealand DX EP75557 Ph 09 263 7100 Fax 09 262 5151 www.manukau.govt.nz

Attention: M S Lucas Your Ref: 6722

Dear Sir

Proposal

19896

Site:

22 Wando Land

Applicant:

Grant Taylor

Please find enclosed the Section 224(c) certificate for Land Transfer Plan 210699 for the above subdivision, which has been approved pursuant to the Resource Management Act by the Council.

Also enclosed is a Resolution Certificate issued under Section 321 of the Local Government Act

Yours faithfully

G R Bilyard

Team Leader - Resource Compliance RESOURCE CONSENTS & COMPLIANCE

MANUKAU CITY COUNCIL

CERTIFICATE OF LOCAL AUTHORITY UNDER SECTION 224 (C) OF THE RESOURCE MANAGEMENT ACT 1991

L.T.P. 210699

S P 7400

IN THE MATTER of Plan No. 210699 and pursuant to Section 224 (C) of the Resource Management Act 1991 I hereby certify that all conditions of the subdivision consent have been complied with to the satisfaction of the Manukau City Council.

DATED at Manukau this 29 7 day of October 2002

G R Kilvard

Authorised Officer Under Delegated Authority

GN Shynes

MANUKAU CITY COUNCIL

LAND TRANSFER PLAN NUMBER 210699 RESOLUTION PURSUANT TO SECTION 321 (3) (C) OF THE LOCAL GOVERNMENT ACT 1974

The Manukau City Council resolves with respect to the land shown on Land Transfer Plan Number 210699 that pursuant to Section 321 (3) (c) of the Local Government Act 1974 Section 321 (1) of the Act shall not apply to Lot 2 thereon.

DATED at Manukau this 29 4 day of October 2002

Authorised Officer Under/Delegated Authority

RESOURCE COMPLIANCE CHE	CKLIST	22 WANDO LAN OTARA	E	18/10/01
Do /sf. 223 Application Received <u>09</u> 224 Application Received <u>24</u>		GRANT TAYLO C/- 106 CASCAD PAKURANGA		MAIN RESIDENTIAL H157526 \$562.50
Found Associated Files <u>09</u> - Entered into REFLECTIONS		2 UNITS & 2 LOT SUBRYCE POMFRE		Integrated Consent
Entered into ACCESS Compliance Officer <u>Trudi</u>	Hardon	DP2106		
/	muy green.	DF2100	99	
RECEIPTED CHEQUES:				
\$			\$ <u>·</u>	24.10.02
224C RCØ Vetting Date 24:10:00	Allocated to Engi	neer (Name & Date	Veer	Khar
RCE Vetting Date	Engineer comple	ted (Date) 2 4	10.02	auha
NOTES: 16 gas?		, , ,		
110120. 710 Gas.				
				.
Information requested (1) Date	4-10-02	Date last info r	equest receive	ed
Draft invoice requested (Date)	24.10.02	Returned to Cf	BA (Date)	
Update REFLECTIONS	fa.	Update ACCES	SS	
OK For Release subject to: Payment of contributions etc Legal documents to clear (de Overland flowpath easement	elete those not ap	•	Covenants	: Other
Bonds				
Items Bonded	\$Value	Bank Guarantee	ed Bond	Table Completed
	<u> </u>	<u> </u>	_	
Other				
<u> </u>				
RCO Completion to Team Lead	er – DATE: <u>273</u>	N10102 24.	<u>10</u> .02	
Team Leader – Resource Comp				, ,
Signed:		/	Date 21	10/02
Peer Reviewed by:		,		
•	Ĺ			
Signed:			Date	

19896

SP7400

1

• .	Land Transfer Flan Popioval (225)	N/A	OK	Not OK
	1. Resource Consent			
	1.1 Check LT plans supplied against Consent plans			
	1.2 Check valuation		Ø	
	if not supplied, request	0	. 🗆	
	Received. DATE			
	1.3 Check conditions		Ø	
	Amalgamation Check 220 covenant	[]		
	2.2 Check DLR Number		♂	
	3.1 Check wording of conditional easement memorandum	Ø		
	3.2 Easements in gross checked	Ø		
	Right to Drain Water Easements checked	Ø		
	Engineer initials			
	Right to Convey water easements checked	Ø		
	3.3 Notation includes reference to easements and amalgamation		♂	
	3.4 Width of ROW checked against Resource Consent Plan	Ø		
	4. Titles limited as to parcels			
	Checked by senior subdivision officer	Ø		
	Removal of limitations notations	Ø		
	5. Roads 5.1 Road boundaries checked	Ø		
	5.2 Roads to vest sent to GIS to plot	Ø		
	5.3 Plot received from GIS and filed	Z		
	5.4 Road names approved	Ø		
	5.5 Road names ordered from Excell	Ø		
	6. Lot access frontage checked against Resource Consent Plan		Ø	

	•	N/A	OK	Not OK	
7.	Buildings				
	224(f) check				
7,1	Send memo to inspection team	Ø			
	Date:				
7.2	Memos received back and signed off	Ø			
	Date:	·			
7.3	Existing buildings shown on plan (send copy to GIS)	Ø			
8. 8.1	Updates Copy sent to Land Information		,		
8.2	Copy in file				
8.3	No conditions imposed – on plan			0	
8.4	Advice job complete and invoice				
8.5	Details written on file		e		
8.6	Reflections updated		Ø		
8.7	Access database updated				
DP	Number				
Not	es:				_
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	·		,		
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Tea	m Leader – Resource Compliance / Peer Reviewed by:				
Sigr	ned: <u>GMS ly.el</u> Date 2	3/10	/0	Z	
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56	ection 224(c) Application / Release of Subdivision	N/A	OK	Not 0
	tting			
CR •	eck the file for the following documents: Certificate of Title	П		
			_	_
۵	DP Number 210699	🗀		
o	Survey sheet showing co-ordinates	🛮	2 ′	
0	Legal documentation – easements in gross			
0	As-built plan showing location of buildings (if required)	🗆		
0	Land Transfer Plan	🗆		
0	Road names (if there are roads to vest)	🗆		
o	Resource Consent	🗅	Q	
0	Applicant's letter	🗀		
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Inf	ormation requested:			
	Date: Received (D	ate)		
	· •			
	Date: Received (D	ate)		
	Date: Received (D	ate)		
	Date: Received (D	ate)		
	· · · · · · · · · · · · · · · · · · ·			
	Date: Received (D	ate)		

	۰	Is Engineering input required? N 🗍 Y 🗍				
	224	tc Subdivision Release Processing	N/A	х ок	Not OK	
	CE °	RTIFICATES without completion certificate (bonds) or consent notice				
	٥	with completion certificate (bonds) or consent notice	4			
	•	S221 consent notice				
	•	S222 completion certificate (for bonds where works are on private property)			Ο.	
	•	S321(3) (c) for legal road frontage		Z		
	•	S243 for surrendering easements in part or whole	1			
	•	S241 for cancelling amalgamation conditions	Ó			\mathcal{C}
	0	S108 for cancellation of a covenant	đ			
	0	S221 (5) for cancellation or variation of consent notice				
	0	Discharge of encumbrance in whole or part				
	٥	Form 18 for esplanade strips (not reserves)	Ą			
	BOI	NDS Bond Document (under \$25,000)	ß			
	o	Refundable deposit sheet	6			
		MOS				
	0	Memo to GIS (half yellow) with copy of survey sheet		Z		\subset
,	0	Memo to LIR with notations to be removed or added (pink & blue)		Z		
		Attach all relevant supporting documentation		2		
		Memo to buildings (white)		Ė		•
		Attach copy of notations on LIR memo		Z	□	
	,	Attach copy of LT Plan				
•	>	Memo to Roadnet (Hugh Townsend)	2			
	,	Attach RAMMS information			O .	-
	,	Attach copy of LT Plan				7

Road name plan
Memo to Parks and Waste Management
Attach copy of LT Plan
Memos to other departments
Barter tax invoice (request from Costing Team)
Asset register updated
LEGAL DOCUMENTATION
Easements
Request form and deposit received Y N /
Instructions sent to Brookfields Date:
Draft received, checked & okayed Date:
Clearance received from Brookfields Date:
Covenants; Encumbrances; Other Legal Documents
Request form and deposit received
Instructions sent to Brookfields Date:
Draft received, checked & okayed Date:
Clearance received from Brookfields Date:
Bonds
For Consent Conditions;;;;
Value of Bond
Refundable deposit:
In House bond (under \$25,000)/ Bank Guaranteed
Solicitor bond (over \$25,000)/ Bank Guaranteed
Request form and deposit received Y N
Instructions sent to Brookfields Date:
Draft received, checked & okayed Date:

Clearance received from Brookfields Date:

Þ	ond Penda Expiry Date:				•
Ş	ection 222 (Completion certificate for engineering works on private property)		•		
•	required for Lots;;;	<u>.</u>		_	
o	prepared Y N	,	-		
Se	ection 224(c) Application / Release of Subdivision				
Er	ngineering Vetting	N/A	ОК	Not OK	
C)	neck the file for the following documents: Foundation Completion Report (four copies)	P4	П	Ð	
	Copy sent to Building DATE	_		_	
0	QAM Documentation	П			
	Wastewater	Ø			
	Stormwater	Ø			
	Water Reticulation	ថ	· 🗆		C
	• Reserves	_		_	
۰	As Builts				
	Wastewater		8	□ ? _!	2.4
	Stormwater	0	9	^α),	. • .
	Water Reticulation		П	U	•
	Overland Flow Path				
•	ALC Forms				
	Wastewater	2			
	Stormwater	ď			
	Water Reticulation	a ′			\subset
•	RAMMS Forms				
•	Completion Certificate	7	П	П	
,	Barter Tax Invoice	,			
		_		_	
ıııu					
	Date:Received (Date)_				
	Date:Received (Date)_				_
	Date: Received (Date)_				:
	Date;Received (Date)				

EARTHWORKS	N/A	A OK	Not OK
NB There is a separate checklist for the Foundation Completion Report (FC	CR)		
Right of Entry clearances granted		0 0	
Copy of Foundation Completion Statement received (No earthworks)	C	9 0	
Copy of FCR given to Building Consents Co-ordinator	E		
 Copy of FCR checked for: Coverage of all areas shown on LT (including reserves to vest) 		ם כ	
Coverage of any matters identified during construction			
Further Geotech advice needed?) 0	
Copy to			
Clearance memo received Date	E		D -
FCR Checklist from filed in QAM folder (Section 5)			
Distribute FCR (after annotation and checking) One copy to File		ם כ	
One copy to Building			
One copy for LIR – relevant sections annotated			
WASTE WATER (SANITARY SEWER DRAINAGE)			
QAM Inspection Form completed and signed off	C	0	
Uncompleted items quantified	C		
Agreement for hook-up to proceed (ALC Forms)			
Agreement for new connections to be installed			0
Certified copy of as-builts / plans for sanitary sewers	Ē		
Provision of multiple unit servicing	[
Right of entry clearance/granted	<u>[</u>		0
Fioor Level Restriction plan Received	_		
Benchmark provided	[
•Accepted			
Notes:			
		·	

Land Drainage	N/A	ОК	Not OK	
QAM Inspection Form completed and signed off				
Uncompleted items quantified			□ ·	
Right of Entry clearances granted	. 🗆			
Agreement for hook-up to proceed & new connections to proceed (ALC Forms)				
Certified copy of as-builts for stormwater sewers				
Provision of multiple unit servicing				
Floor Level Restriction plan Received				
Benchmark provided				_
Accepted				\cup
Overland Flowpaths: As built plan				
Check levels against design (if not OK, forward to Consent Engineer for validation)				
Benchmark provided			0	
Check floor levels				
Easements: Alignment of LT to as-built				
Alignment of as-puilt to approved plans				
Copy of AB for easement – signed stamped and dated				\bigcirc
Final inspection completed DATE			٥	
OTES:				•
				_
	<u></u>			_
	_			_
RIVATE DRAINAGE As-built plan received / CCC issued for redirection	-	_	_	

CAM Inspection Form completed and signed off	WATER RETICULATION	N/A	OK	Not O
Agreement for hook-up to proceed (ALC Forms)		🖸		0
Agreement for meters to be revocated / installed	Uncompleted items quantified	🗆		
Certified copy of as-builty for watermains	Agreement for hook-up to proceed (ALC Forms)	. 0		
Watermain duct beschdary dimensions (islands or median strips)	Agreement for meters to be relocated / installed	. 🖸		
Check water meter installed if applicable	Certified copy of as-builts for watermains	. 🗆		
ROADING QAM Inspection Forms completed and signed off Final inspection held	• Watermain duct boundary dimensions (islands or median strips)	. 🗆		
ROADING OAM Inspection Forms completed and signed off	Check water meter installed if applicable	. 🗆		
ROADING OAM Inspection Forms completed and signed off	NOTES:			
Beam test compliance confirmed	ROADING			
Beam test compliance confirmed		. 🛘		
Uncompleted items quantified	Final inspection held	. 🛘		
Lots with access constraints to go on LIR identified and plan provided	Beam test compliance confirmed	. 🛮		
Completed RAMMS forms (x2)	Uncompleted items quantified	. 🛚		
Roading Details Check forms complete for each road	Lots with access constraints to go on LIR identified and plan provided	. 🏻		
Copy of all RAMM forms and approved roading plans assembled for ROAD NET RAMMS forms		. 🗅		
Copy of all RAMM forms and approved roading plans assembled for ROAD NET RAMMS forms		. 🗇		
RAMMS forms	Sealing details:	. 🖸		
 approved Roading plans, cross sections retaining walls, storm water traffic signage road marking street lights Number of A3 Sheets	• • • • • • • • • • • • • • • • • • • •	_		
cross sections retaining walls, storm water traffic signage road marking street lights Number of A3 Sheets	RAMMS forms		A	4 sheet
	cross sections retaining walls, storm water traffic signage road marking street lights			
	Number of A3 Sheets List of Road construction bonded items		О	

	N/A	ΟK	Not OK	
Road number and road name (if approved)				
NOTES:				
	<u> </u>			
			<u> </u>	-
STREET PLANTING		-	1	_
As-built certification from consultant				
Validation of locations				
Confirmation of species / planting by Parks Request issued DATE	Ď			
Confirmation received DATE				(
Street planting water meter arranged (where isolated by roads)				
NOTES:				
·				_
<u> </u>				_
RESERVES /				
QAM inspection forms completed and signed off	Д			
Final inspection held				
Uncompleted items identified				
Alignment to LTs confirmed				_
Foreshore reserve clearance				
FCR coverage checked and confirmed			<u>-</u>	
Bonded Items				
	_	_	-	
		-	 -	
NOTES:		<u> </u>		
				-

	•	N/A	OK	No
F1	NAL RELEASE Scheme plan engineering conditions checked and confirmed for coverage		B	
٠	QAM final inspection form completed and signed off		_	_
•	If Common Access way only (no roading) – inspection completed			
a	Engineering completion certificate		ď	. 🗆
	Check certificate for Common Access Way		g	
•	Breakdown of assets to be vested	୍ଟ୍ର		
٠	Collate uncompleted items for bonding	9		
•	Bonding arrangements in place:			
	Refundable deposit	g		
	In-house bond	1		0
	Formal bond	T		
	Bond figure and condition numbers confirmed to RCO	9		
٥	Section 222 Completion Certificate Lots		0	
	Duration of bond			
0	Detailed list of bonded items in file	2		
•	Resource Consent conditions covered by bond	ď		
	Condition Numbers			
•	Lots placed on LIR noted on release	- /	_	_
	Foundations	Q	Ц	Ш
	Overland flow	2		
	Limited SW servicing	Ø		
	Limited SS servicing	Ø		
	Restricted Access	Ø		
	Scheme Plan advice note	ď		
	w LIR Notations:			

Consent Notations:				
	 ,		<u> </u>	
For further details refer additional sheet Y (Dele	te one)	_		
Number of additional sheets (Circle one) 1 2 3 4	5			
Number of plans (Circle One) 1 2 3 4	5			
Engineer's Signature:	_			
	N/A	OK	Not C	ж
Document Checklist for RCO As-built check Check coverage to CT's	ď			0
Certified copy of as-builts / plans for:			_	
1Limited servicing (x3)				
• 2Flood protection (x3)				
- 3Restricted access (x3)				
Nos 1-3 stamped and signed by Compliance Engineer				
Copy of Consent Engineer's memo and copy FCR		□		
 Number of additional building sites being created to be recorded on release 				
Endorsement of release status				\bigcirc
No further works "Stays Red"				_
Uncompleted works or further stages "Stays Green"			۵	



(SE
Te Kouninero o
MANUKAU
City Council

	Building & Resource Services	City (Council
		Private St	 29 7 6 917
	To:	Manu	akeu City
	Attention :		Zestand
	Fax No:		273557
	From:	Faz (09) 2	52-5153
	Date:	No of Pages:	govinz
(1)	Thank you for your application for the S.224 Engir	neering / Bond release for SP / XL at	
	Could you please supply the information to the attention of the undersigned so that the Compliant application:	Resource Compliance Team marked for the Team can undertake the processing of	r the your
	Certified as-builts of the engineering works	Engineering Completion Certificate	
	Quality Asset Management forms for the engineering works (QAM)	Approved Licensed Contractor for (ALC)	ms
	Confirmation from Power, Telecom and Gas re supply	Overland flowpain easement pla and as-builts	ins
	Tax Barter Invoice	Foundation Completion Report	
	LT plans / numbers and survey sheets which show co-ordinates	Schedule of works to be bonded	_
	Right of entry release(s)	Certificate(s) of Title	_
	Completed legal request form (as attached)	Other (as specified on attached shee	()
	Please Note:		
	(1) All as-built plans of drainage works, QAM and officer from Manukau Water before the \$.224 8	I ALC forms require the signature of a fig Engineering / Bond release can be issued.	elđ
	(2) Upon receipt of the above, processing of your r		
	Name:Title;		-
	Name:	CE SERVICES	

The material in this message is confidential to the addressee, if the reader is not the intended recipient. please note that you all may not use any material in this message not pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied of many

Level 4, Kotuku House



Easdale Surveyors Ltd REGISTERED LAND SURVEYORS

DIRECTOR: M.S. LUCAS, B.Surv., M.N.Z.I.S,

39 Meadowland Drive, Howick, Auckland, Phone: 0-9-534-8452

THE POMELIANOE

Fax: 0-9-537 5754 e-mail: easdales@clear.net.nz

3 October 2002

RECEIVED
M.C.C

07 OCT 2002

Citizen and
Citizen and
Services
67 OCT 2002

The Manager Environmental Services Manukau City Council Private Bag 76917 MANUKAU CITY

Attn: N Taylor

Dear Madam,

Re: SP7400 - Subdivision - 22 Wando Lane, Dannemora

The Land Transfer plan of the above subdivision has been allocated plan number 210699.

The conditions of consent have been met as follows:

Condition:

- Resource Consent fees paid on 12th November 2001.
- 2. The development is in accordance with the submitted plans under proposal P19896.
- House position 'As Built' plan enclosed.
- Private drainage plan enclosed.
- 5. The reserves contribution will be paid by bank cheque upon advice that the certificate is available for collection.
- 6. We enclose power and telephone certificates.
- 7. Amalgamation condition shown on plan face.
- 8. Driveway formed to Manukau City Council standard.
- 9. We enclose a copy of the survey sheet for your records.

We enclose a copy of the survey sheet for your records.

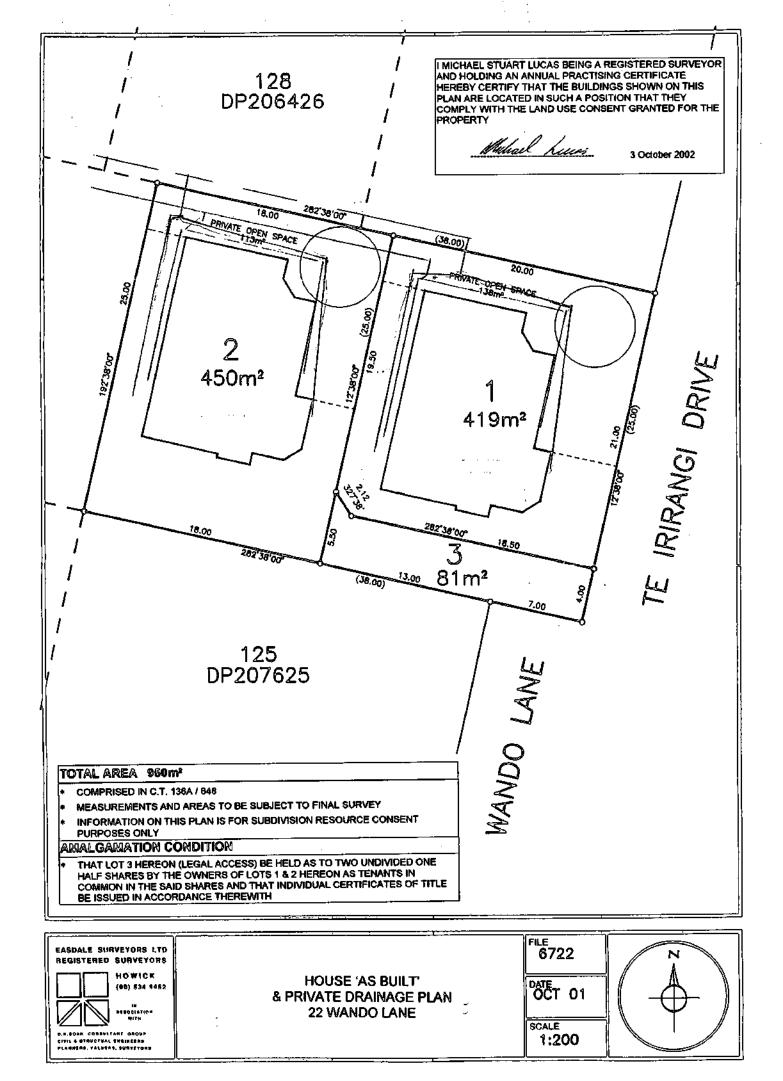
Please arrange for separate execution of the Land Transfer plan under Section 223 of the Resource Management Act 1991 and advise when available for collection to enable us to lodge the plan prior to issue of the 224(c) certificate. We enclose copies of the plan for your records.

We therefore request the issue of the Section 224(c) certificate.

Yours faithfully **EASDALE SURVEYORS LTD**

Mechael heen

M S LUCAS



Manukau City Council - Internal Property Summary generated at 11:56am 24/10/2002

PRM REF 9608/22

OTARA Ward

Owner/Ratepayer

TAYLOR MARGARET EDITH & GRIFFIN LESLIE CHARLES

Address

Q

22 WANDO LANE, EAST TAMAKI

(OFF TE IRIRANGI DRIVE)

Legal description

LOT 126 DP 207625

District Plan Details (incl. Public Works)

Operative

MAIN RESIDENTIAL

Area 950 Sq Metres

Cadastral map 7/45

Planning map 38

Wind Zone HIGH

....

Rates assessment number R1336789
Valuation number 36510-404-00

Aluation number 30010-404-00

.....

Nousehold refuse collection day : Friday

Water account number **2 meters installed**

Meter last read 23/09/2002

Miscellaneous Notes

Health

None known

Pool teneing

No Pool Registered



Manukau City Council - Internal Property Summary generated at 11:56am 24/10/2002 PRM REF 9608/22

Following consents effect the whole site.

Resource Consents issued under Resource Management Act.

Decision	Description	Applicant	Decision	Status	As at	See
Date			Type		Date	Note
	OVERHEAD/UNDERGROUND INSTALLAT	TELSTRA CLEAR LIMITE		Unknown		1
46/11/01	2 UNITS & 2 LOT SUBDIVISION	GRANT TAYLOR	Granted	LT approved	10/10/02	2

Notes

Q

- 1) As this consent was issued prior to 1 July 1996, Council is not in a position to state whether building or activity on the property comply with conditions of the Resource Consent.
- 2) A plan has been approved under Section 223 of the RM Act

Building Consents/PIM's/Permits issued.

CCC = Code Compliance Certificate

Issued

Work Description

Status

CCC Details

Area

22/01/02 Dwellings

2 DWELLINGS/GARAGES

416,00 m2

- * PLEASE NOTE NO RECORD OF FIELD INSPECTIONS EXIST. FILE HAS NOW BEEN MICROPILMED.
- * PLEASE NOTE FIELD INSPECTION RECORDS ARE INCOMPLETE, FILE HAS NOW BEEN MICROFILMED.

Land Information Register Report.

Information Category: VEHICLE ACCESS

File Ref: SP6996

Register: C.2362

Consultant:

P HOWES

Report:

CONSENT NOTICE

Ref:

SP6996

Instructions:

VEHICULAR ACCESS TO LOT 117 SHALL BE VIA THE SLIP ROAD AT THE NORTHERN END OF THE EASTERN BOUNDARY.

VEHICULAR ACCESS TO LOT 166 SHALL BE VIA THE FORMED CARRIAGEWAY AT THE SOUTHERN END OF THE EASTERN BOUNDARY. VEHICULAR ACCESS TO LOT 179 SHALL BE VIA THE FORMED CARRIAGEWAY AT THE NORTHERN END OF THE WESTERN BOUNDARY. VEHICULAR ACCESS TO LOT 126 SHALL BE VIA THE SLIP ROAD AND SHALL NOT BE OBTAINED FROM TE IRIRANGI DRIVE VIA THE LANDSCAPING STRIP (LOT 1006) ADJACENT TO THE EASTERN BOUNDARY.

(REFER TO RESOURCE CONSENT DATED 20 DECEMBER 2001, CONDITION 18)

16427

Information Category: FOUNDATIONS

File Ref: SP6996

Register: C.2362

Consultant:

HARRISON GRIERSON

GEOTECHNICAL REPORT Report:

Ref:

SP6996

Instructions:

16428

Ref:

SP6996

16433

ANY BUILDING DEVELOPMENT ON LOTS 123-126, 136-141, 175 AND 176 SHALL BE SUBJECT TO SPECIFIC ENGINEERING DESIGN IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE FOUNDATION COMPLETION REPORT PREPARED BY HARRISON GRIERSON CONSULTANTS LIMITED REF. 08.09261.5F WHICH CLASSIFIES THE SOIL AS MODERATELY EXPANSIVE.

(HARRISON GRIERSON CONSULTANTS LIMITED FOUNDATION COMPLETION REPORT REF. 08.09261.5F)

information Category: SERVICING File Ref: SP6996 Register: C.2362

......

ROBERT CHIENG Consultant:

RESOURCE CONSENT Report:

Instructions:

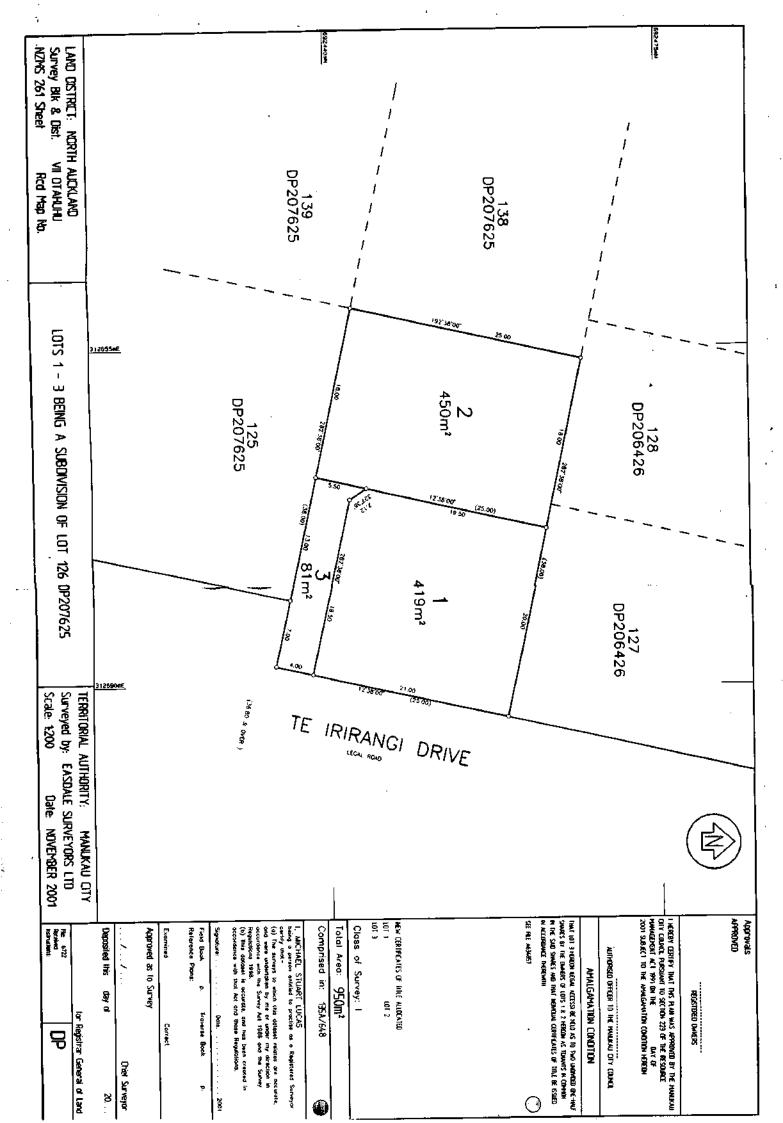
UPON FURTHER SUBDIVISION OF LOTS

122,126,138,141,142,165,166,170 AND 176,OR IF A SECOND DWELLING IS TO BE ERECTED ON ANY OF THESE LOTS, THE DEVELOPER MUST PROVIDE A SEPARATE ELECTRICITY AND TELEPHONE SERVICE CONNECTION FROM THE ROAD BOUNDARY. THIS MAY BE ACHIEVED BY RUNNING A SERVICE LINE ALONG THE ROAD RESERVE WITHIN THE CORRIDOR SET ASIDE FOR THAT PURPOSE. THESE SERVICES MAY NOT SE PROVIDED BY INSTALLING SERVICE LINES ACROSS PRIVATE PROPERTY.

TREFER TO RESOURCE CONSENT DATED 20 DECEMBER 2000, ADVICE NOTE 121

Property Remarks : none present.

Manukau City Council - Internal Property Summary End of Report





Easdale Surveyors Ltd REGISTERED LAND SURVEYORS

DIRECTOR: M.S. LUCAS, B.Surv., M.N.Z.I.S.

39 Meadowland Drive,

Howick, Auckland. Phone: 0-9-534-8452 Fax: 0-9-537 5754

Fax: 0-9-537 5754 e-mail: easdales@clear.net.nz

In all correspondence please quote our ref: 6722

3 October 2002

The Manager Environmental Services Manukau City Council Private Bag 76917 MANUKAU CITY

Attn: G Bilyard

Dear Sir,

Re: Accessway for G. Taylor

At 22 Wando Lane, Dannemora

We were engaged by G. Taylor to observe the construction of the accessway at the above address.

We confirm that, in our professional opinion, the accessway was built in accordance with the approved drawings and Manukau City Council's Engineering Quality Standards.

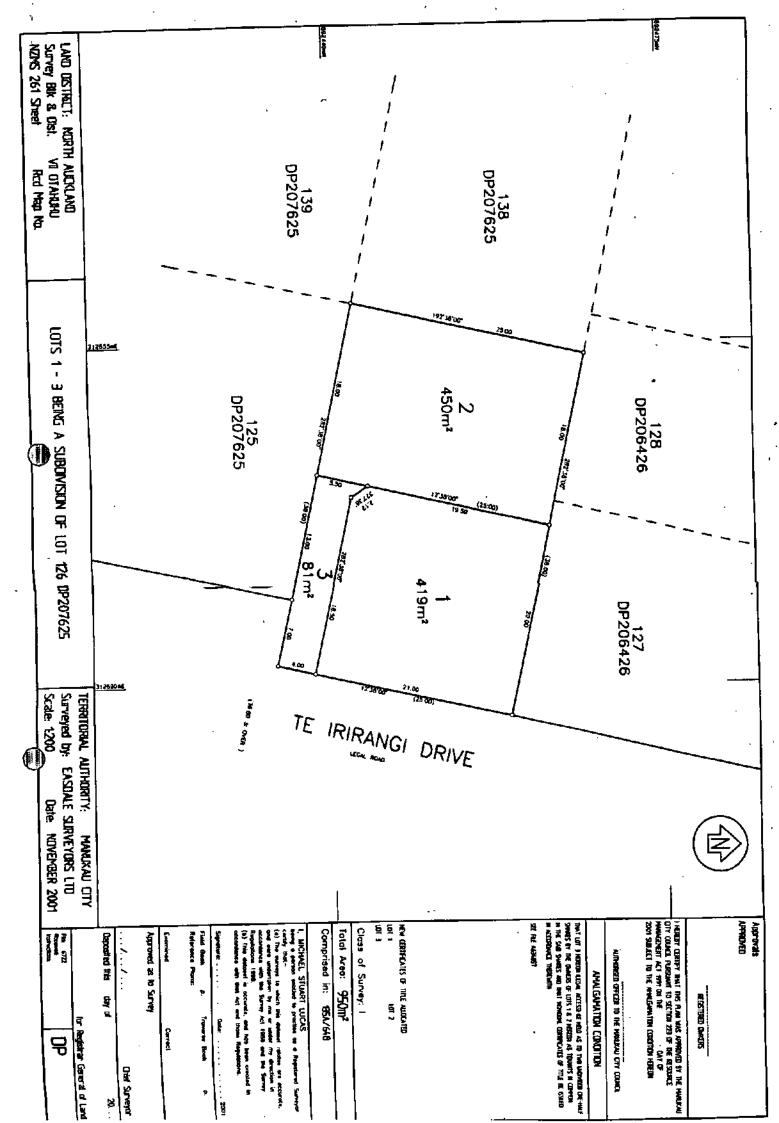
Please contact the writer if you wish to discuss the matter.

Yours faithfully

EASDALE SURVEYORS LTD

Melael Lucas

MSLUCAS







Telecom New Zealand Ltd Work Management Group Level 14, Telecom House 8 Hereford St Private Bag 92028 Auckland

Telephone: 09 358 6549 Facsimile: 09 358 6933

Thursday, 15 November 2001

Telecom Ref: IAS4471

Customer Ref.

TELEPHONE NETWORK PROVISIONING CLEARANCE CERTIFICATE

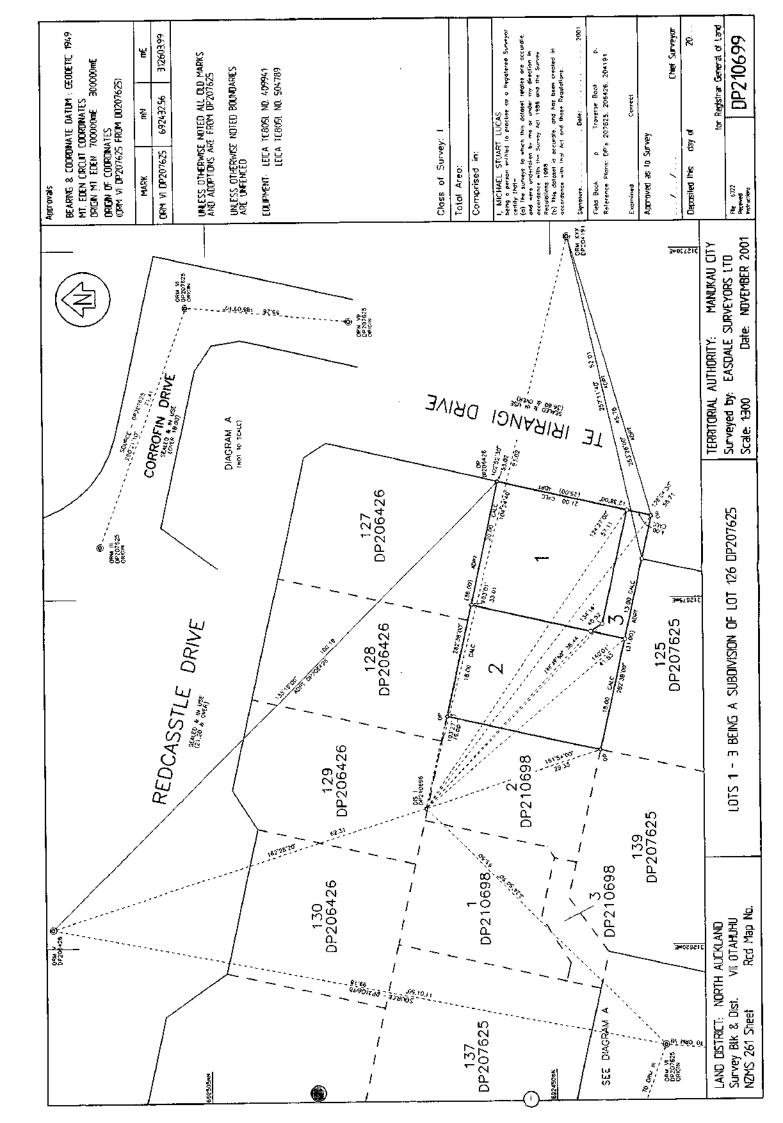
SUBDIVISION TITLE: (lot 126) Wando Lane Subdivision Dannemora

Telecom New Zealand limited will be able to provide telephone service through the existing reticulation at the public road to the above subdivision.

This Certificate does not cover Service lead-ins to individual tots. Service leads can be provisioned by phoning 123, Telecom Residential Sales and Services.

Mike Kirke

Project Representative





EASDALE SURVEYORS LTD

39 MEADOWLAND DRIVE, HOWICK Ph 534-8452 REGISTERED SURVEYORS & PROPERTY DEVELOPMENT CONSULTANTS

FACSIMILE NUMBER (09) 537-5754

Number of pages:

2

Date: 8 October 2002

(including cover sheet)

To:

MANUKAU ENVIRONMENTS - COMPLIANCE

Fax No.:

262 5163

Attention:

NICOLA TAYLOR

From:

MICHAEL LUCAS

MESSAGE

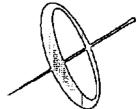
<u>RE:-SP7400 - 22 WANDO LANE, DANNEWORA</u>

THE POWER CERTIFICATE FOR THE ABOVE 224 APPLICATION WAS LEFT BEHIND WHEN I SENT THE INFORMATION IN YESTERDAY

ATTACHED IS THE CERTIFICATE

CHEERS MICHAEL





Acceptance by VECTOR as ELECTRICITY OPERATOR

Subdivision: 22 Wando Lane Lot 126 DP 207625, Howlek.

Cert. 2

Ref:- (Service Request)

(07/10/02)

- 1. I on behalf of VECTOR confirm that this company is the Electricity Operator of the electrical reticulation in the existing public roads [and or proposed public roads / substations / switchstations / easements / extended road reserve] installed for Easdale Surveyors Ltd, to provide service for, 22 Wando Lane Lot 126 DP 20762(i, Howick.)
 - The reticulation is now installed in accordance, with Council's Requirements and Standards, with VECTOR's Standards, with the Electricity Act 1992 and with the Electricity Regulations 1997.
 - 3. The reticulation was installed by: VECTOR, to our satisfaction.
 - 4. Connection status to the existing distribution network has been made on 23/03/2001.
 - 5. **VECTOR** will be the owner operator and maintainer of the reticulation in public vested roads.
 - 6. The owner and maintainer of the reticulation in private roads or in the jointly owned access way/s will be the owners of the Lots which are supplied from this reticulation unless otherwise stated in 5, above.
 - 7. The Electricity Operator of the distribution system which will provide Line Function Services at the Point of Supply to this subdivision is **VECTOR**.

 The Electricity Retailer of the Customers choice will be available to supply energy for the reticulation being connected.

Signed:

Name: Eli Pillay

NORTHPOWER, VECTOR Zone Contractor

Easdale Surveyors Ltd

39 Meadowlands Dr

Howick

Auckland

Te Kaunihera o MANUKAU City Council

Environmental Services

To: Micheal Sine Private Beg 76917

Company: Enseitate Surveyors New Zealand

OX EP75557

Fax No: 5375754

From: Nicola Taylor 2628900

Date: 24-10.02

Private Beg 76917

Manukau City

New Zealand

OX EP75557

Fax [09] 262-5163

Emeil: @menukau govi.nz

Subject: SP 7400. 22 Wando Lane, Otara for Grant Taylor.

No of Pages:

This is to inform you that you 223 for the above job is ready to collect from the Kotuku Customer Cantre.

Regards NicolaFAXED

P.S. Have ordered the file for SP 7583 - 56 walwork for copies of 224,321. Regards Nic

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.

TRANSMISSION VERIFICATION REPORT

DATE, TIME 24/10/2002 11:08

PACE 15375754
DURATION 00:00:20
PAGE(S) 01
RESULT OK STANDARD ECM



MEMO-PAD.DOC 1022

ENVIRONMENTAL SERVICES

Record of Telephone Conversation	Site Ref No
Record of Personal Interview	Date
Officer Customer God Taylor	Time
Customer.	Page
	•
Site 577400 P19896	Phone
1. Su / see photo	Action

water my file	
3 CT CN to CN.	- Laid
3 CT W + 2 Cm + ne	od/CT.
4	26/10 ML
4 110	07 -7-
+ LIR. CN.	***************************************

5 Expreas example. 401	***************************************
6 Complians. Cot 1 37	1. sule cov.
->- desort	

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Slave	

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Defeate	



MANUKAU CONSENTS RESOURCE CONSENT DISTRIBUTION SCHEDULE

Attached is your copy	r of	Proposal No	19896
		File ref	SP7400-
		Site address .	22 Wando fono
		******************	0/ava
Microfilm			***************************************
Land Information K2 (Shirley Treneary)	***************************************	
Building Consents K4	(Jackie Wilkie)	*******************	***********************
Customer Centre KO.			
Resource Consents C			
		•	
	RCA) Ellen Stenton		
	Compliance Engineer	***************************************	******************************
Manukau Water			
Roadnet:	28 Davies Avenue, Mar		
W -1	Attention: Network Mar		***************************************
Watercare Services:	Private Bag 92802, Per Attention: M Popham		
,			



Environmental Services

10 October 2002

Easdale Surveyors Ltd 39 Meadowland Drive Howick AUCKLAND Private Bag 76917 Manukau City New Zealand DX EP75557 Ph 09 263 7100 Fax 09 262 5151 www.manukau.govi.nz

Attention: Michael Lucas

Dear Sir

Proposal:

19896

Site:

22 Wando Lane, Otara

Applicant:

Grant Taylor

Please find enclosed the subdivision plan for the above property which has been approved under Section 223 of the Resource Management Act and executed accordingly by the Council.

Would you please supply a copy of the survey sheet showing co-ordinates to Council.

Yours faithfully

R H Low Senior Subdivisions Advisor - Resource Compliance RESOURCE CONSENTS & COMPLIANCE

VOLUME III

FILE OPENED

Date and transfer sheet to new file

FILE

CLOSED

SEE VOL II III IV

(Cross out as applicable)

CONSENT DECISIONS

RESOURCE CONSENT (Concept /	TYPE Land Med / Xiense etc)	DECISION DATE
		•
Prop No		''
SP / XL /.BRS		
DLR letter sent//	Received	/
VNZ letter sent//	Received	
	MENDMENTS of conditions / extension of	time)
(00)		
		/
•		
•		
Please		
File Consents, Amendments, DLR and VI	NZ letters hereafter in dat	e order (latest first)
Include approved plans with each consen	t	
For resource consents granted on substantial between new yellow cards	sequent stages, the cons	ent decision must be filed
(Stages to follow in sequence)		
		·
File prepared by		

THIS INVOICE IS DUE FOR PAYMENT ON THE 20TH OF THE MONTH FOLLOWING INVOICE DATE OR UPON COLLECTION OF DOCUMENTATION WHICHEVER IS SOONER.

Grant Taylor

Pakuranga

(SP7400)

C/- 106 Cascades Road

A/C No: 110094 Invoice No:



TAX INVOICE 24066

Private Bag 76917

Manukau City New Zealand DX EP75557

Date Customer No 020938

08/11/2001

Ph 09 263 7100 Fax 09 262 5151

Cust Order

www.manukau.govi.nz

Our Ref

522214

GST NUMBER 51-963-660

•	Description	G/L Code		Qty	Price	Net
R45 R60 R75 R80 R85 R90 R95 SPA	Consent Vetting Site Visits Professional Assess. Staff Coordination Report Formulation Final Decision Documentation Authorisation Administration Fee Compliance Deposit	3330 1257.D19896 3330 1257.D19896 3330 1257.D19896 3330 1257.D19896 3330 1257.D19896 3330 1257.D19896 3330 1257.D19896 3330 1257.D19896 3330 1257.D19896 3330 1257.D19896	HRS HRS HRS HRS HRS HRS HRS EACH	0.20 1.40 2.10 0.20 2.00 1.00 0.50 0.70 1.00	80.00 70.00 72.85 95.00 70.00 70.00 95.00 100.00 200.00	16.00 98.00 152.99 19.00 140.00 70.00 35.00 66.50 100.00 200.00
	BURSEMENTS: Valuation fee (OVNZ)					
40 L	Valuation fee (QVNZ)	3330 1079.D19896	HRS			185.00

lication for Resource Consent for Integrated Consent

20444 Sundry Dabto 110094 9655.30 12.11.01 zbuzza CASH

Less Deposit Received (Excl. GST)		-500.00
522214 P19896 - 22 Wando Lane Otara Integrated Consent - 2 Units & 2 Lot Subdivision.	SUB TOTAL G.S.T. TOTAL	582.49 72.82 655.31

Environmental Services

6 November 2001

Easdale Surveyors Ltd 39 Meadowlands Drive **HOWICK**

Attention: Michael Lucas

Your ref: 6722

Dear Sir

DECISION ON AN APPLICATION FOR INTEGRATED LAND USE AND SUBDIVISION RESOURCE CONSENT

Applicant

Grant Taylor

Application

: Part A - Land Use Consent

Controlled Activity and Non-Complying Activity to construct two dwellings on a site. (Manukau Proposed District Plan and Transitional District Plan for Manukau).

Restricted Discretionary Activity (development standard modification) and Discretionary Activity (dispensation) to infringe the 35% site coverage infringement of by 2% for proposed Lot 1. (Manukau Proposed District Plan and Transitional District Plan for

Manukau)

Part B - Subdivision Consent

Controlled Activity and Non-Complying Activity to subdivide a site into two fee simple allotments. (Manukau Proposed District Plan and Transitional District Plan for Manukau)

Site

: 22 Wando Lane, Otara

Legal Description : Lot 126 DP 207625

Proposal No

19896 (SP 7400)

Zoning

Main Residential - Manukau Proposed District Plan

Future Development (Stage One) - Transitional District Plan for

Manukau

CONDITIONS OF CONSENT

Part A - Land Use Consent

I wish to advise that consent for the land use component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

Reference: ES 9608/22 Proposal: 19896

Enquiries to Consent Co-ordinator: Bryce Pomfrett

Facsimile Extension

262-5109 8118

- That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing, and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application and numbered 19896 by the Council.
- 3. That no less than 30% of each of the proposed 2 lots shall be laid out in grass and/or planting and that 1 specimen tree of size PB 95 shall be planted in each of the proposed lots at the completion of construction and prior to the occupation of the units.
- 4. That all driveways and reverse manoeuvring areas shall be formed in all-weather dust-free surface and provided with stormwater control at the completion of construction and prior to the occupation of the dwellings on the site.
- Power, gas and telephone services shall be installed underground to provide service connections to all proposed units.
- 6. That the proposed vehicle crossings shall not exceed 4.5m and 3.0m at the footpath for units 1 and 2 respectively. These shall be constructed in accordance with drawing R9 of the Council's "Manual of Engineering Quality Standards".
- 7. The private way shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached

REASONS FOR THE DECISION

- (a) The application merits a consent pursuant to Sections 104, and 105 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives and policies of the Operative Transitional Plan for Manukau and the Manukau Proposed District Plan.
- (b) The proposed layout of the site will provide for satisfactory on site amenity while preserving the amenity values of surrounding properties and the general streetscape and residential characteristics of the area.
- (c) The effects of the proposal on the environment will be no more than minor and can be further mitigated through conditions of consent.
- (d) The proposal is an efficient use of the site in an area already zoned for residential purposes.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and building consent if you have not already done so.

- 3. A copy of this letter <u>MUST</u> accompany your application for a Project Information Memorandum and building consent. Failure to do so will result in unnecessary delay in the processing of your application.
- Each building is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

Part B - Subdivision Consent

I wish to advise that consent for the subdivision component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

General

- That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.
- (2.) That the development shall be in general accordance with the plans submitted with the application, and numbered 19896 (SP 7400) by Council.
- 3. That should building precede application for Council's approval pursuant to Section 223 or 224 of the Act "as-built" plans prepared by a Registered Surveyor shall be submitted certifying the actual location of any constructed buildings in relation to the proposed boundaries and demonstrating compliance with the requirements of Part A Land Use Consent. In this regard the consent holder is responsible for accurately positioning the buildings in terms of the approved resource consent plans numbered 19896 by Council.
- 4.) Any private drainage shall be shown by plan and certified to be fully contained within the lot it serves.
- 5. A reserve contribution of \$6750.00 being 6% plus GST of the assessed average current market value for Lots 1 and 2 shall be paid within two years or before the Section 224 certificate is issued for the subdivision, whichever is the sooner.
- Power gas and telephone services shall be installed underground to provide service connections to all proposed lots. This connection shall be at the road boundary. The service connection shall be located entirely within the lot boundaries of that building site.
- 7.) That proposed Lot 3 be held as to two undivided one half shares by the owners of Lots 1 & 2 hereon as tenants in common in the said shares and that individual certificates of title be issued in accordance therewith. (DLR Approval: A634857)
- The private way on proposed lot 3 shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached
- All conditions are to be fully complied with, the Land Transfer plan number notified to the Council, and a copy of the survey plan (showing co-ordinates) is to be supplied before a certificate is issued pursuant to Section 224 of the Act.

REASONS FOR SUBDIVISION DECISION

- (a) The application merits consent pursuant to Sections 104 & 105 and 405 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives, and policies of the Operative Transitional District Plan for and the Manukau Proposed District Plan.
- (b) It is considered that the effects of the proposal on the surrounding environment will be no more than minor.
- (c) The proposed development will promote the sustainable management of this land resource by enabling people and communities to provide for their health and wellbeing while maintaining and enhancing the amenity values of the surrounding environment.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and a building consent if you have not already done so.
- A copy of this consent and the associated approved drawings should accompany
 your application for a Project Information Memorandum and Building Consent. If not
 supplied unnecessary delay may occur in the processing of your application.
- Each allotment shall be individually supplied and metered for water supply at the road boundary. The water lead to each dwelling shall be located entirely within the proposed lot.
- The notes registered on Council's Land Information Register (LIR) for Lot 126 DP 207625 together with the consent notice registered on the Certificate of Title for the property will be carried down to both proposed allotments.

COSTS

- Your deposit of \$562.50 already paid has been deducted from the total costs payable on the accompanying invoice.
- In addition to the consent charge for this subdivision, pursuant to Section 36 (1)(c) of the Resource Management Act 1991, an administration, monitoring and supervision charge relating to the conditions of this resource consent will be applicable. Further administration charges relating to the release of the subdivision, as fixed by determining all reasonable and actual costs incurred by the Manukau City Council. The applicant will be advised of the charges as they fall due.
- The aforementioned fee is in addition to the normal fees and requirements as imposed by the Manager - Building Consents to the Building Consent.

RIGHT OF OBJECTION

Within 15 working days of receipt of this decision (commencement date stamped below) you may lodge an objection to the decision pursuant to Section 357(2) of the Resource Management Act 1991. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

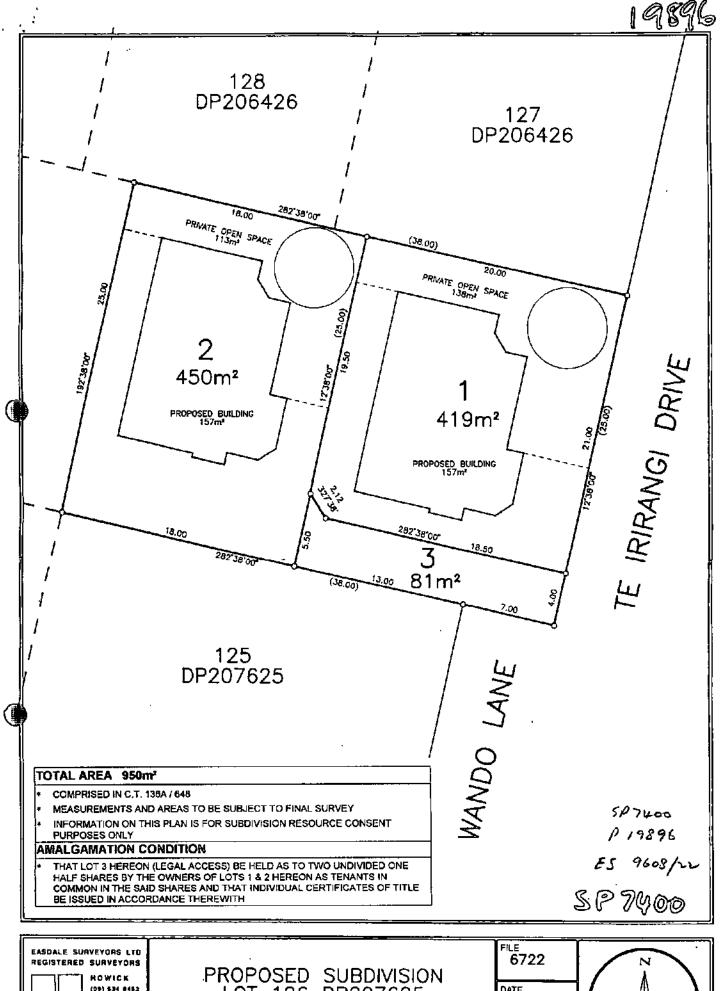
Should you wish to enter into any future correspondence, building consent applications, or enquiries relating to this consent, could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

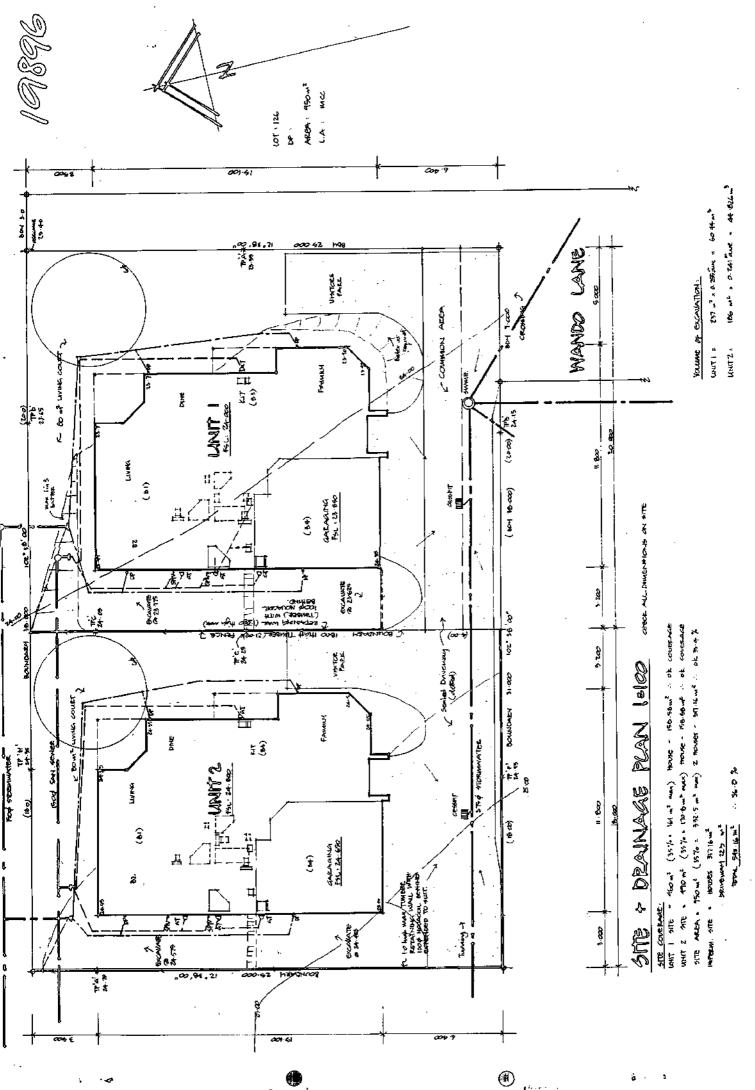
Robert Chieng

Team Leader - Resource Consents

MANUKAU CONSENTS

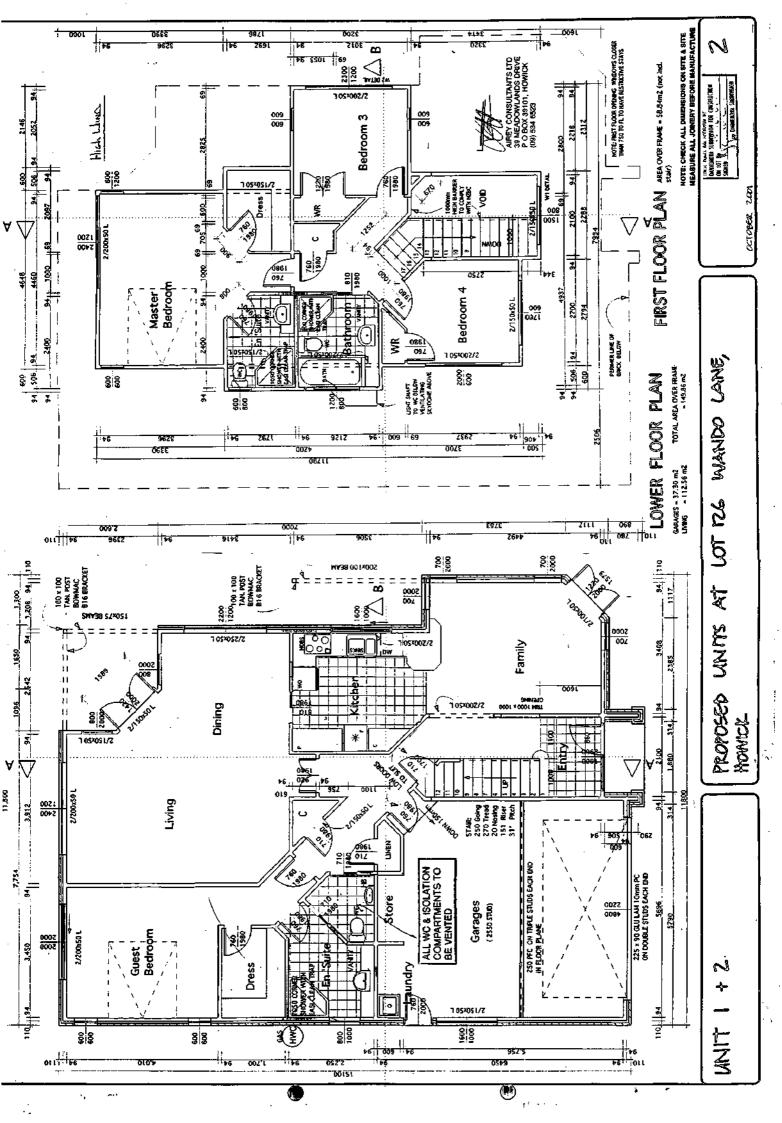


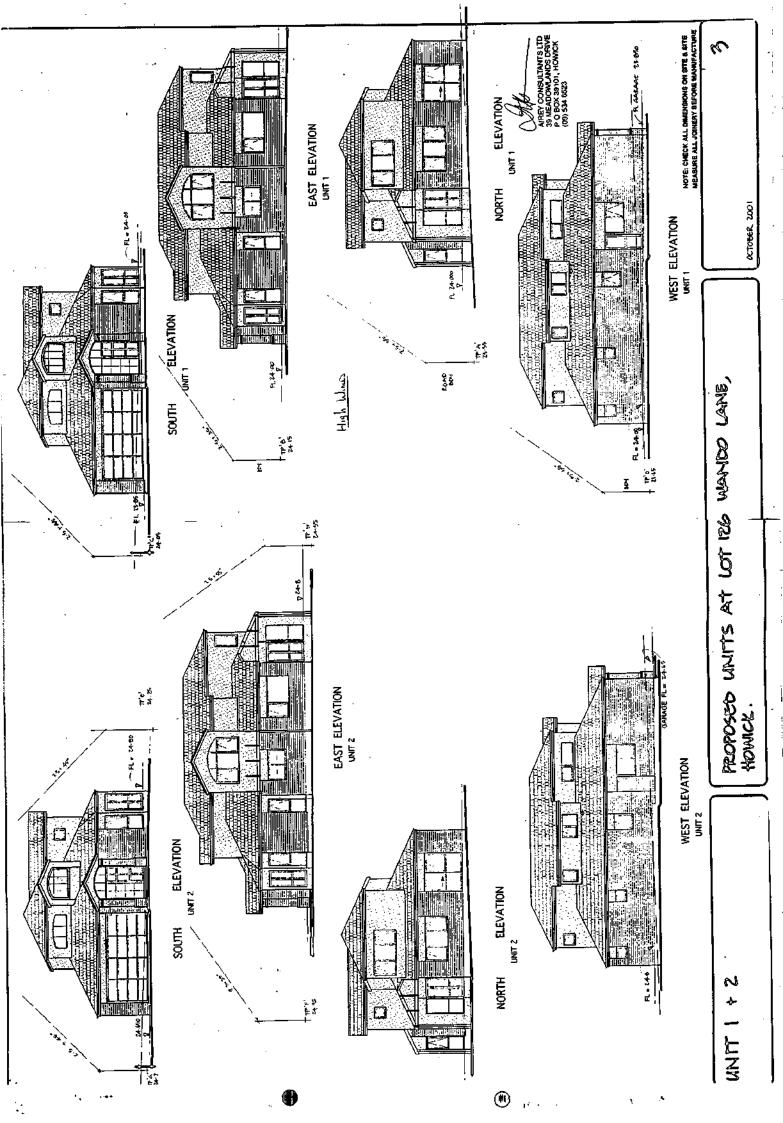




PROGOSSO UNITS AT UNT 126 WANDO LAND, HOWICK

ACORCE OF





- 3. DETERMINATION AS TO WHETHER A RESOURCE CONSENT APPLICATION SHOULD BE NOTIFIED OR NON NOTIFIED UNDER SECTION 94 OF THE RESOURCE MANAGEMENT ACT 1991
 - (a) REFERENCES:

19896

SP7400

22 WANDO LANE OTARA

18/10/01

GRANT TAYLOR C/- 106 CASCADES ROAD PAKURANGA

MAIN RESIDENTIAL

H157526 \$562.50

Integrated Consent

2 UNITS & 2 LOT SUBDIVISION

BRYCE POMFRETT

RESTRICTED DISCRETIONARY ACTIVITY (Manukau Proposed District Plan) AND NON-COMPLYING ACTIVITY (Transitional District Plan for Manukau) WHERE THE DISTRICT PLAN DOES NOT PROVIDE FOR NON-NOTIFICATION

(b) EFFECTS ASSESSMENT:

Describle Effects	D# 14 1	F44	50% A 01 11 0
Possible Effects	Magnitude	Extent of	Mitigation/Neighbours Consent/
	of Effect (1)	Effect (2)	Other Comments (3)
Flora and fauna	Nil	Nil	The site is without any established
			vegetation other than grass. No adverse
			effects resulting to vegetation are
			considered to result from the proposed
			development.
Landscape	LN	WP	Minimal earthworks are associated with
			this application necessary to establish
			suitable building platforms. The effects of
			these earthworks will be minor and are
			below the threshold of 200m ³ requiring
			restricted discretionary activity resource
			consent within the Manukau Proposed
		_	District Plan.
Water bodies	Nil	Nil	
Site stability	Nil	Nil	
Shadowing/Sunlight	Nil	Nil	Both proposed dwellings is two storied
3			and complies with the HRB requirements
			for both District Plans. As such any
			effects on neighbouring properties
			resulting from the shadowing of the
			buildings is considered to be de minimis.
Privacy	LN	AS	Both proposed dwellings are double
			storied however these buildings are of a
	1		height, and separation from neighbouring
			boundaries such that they are not
			considered to have any adverse effects
			on the privacy of neighbouring sites. The
			private open space areas for both

			proposed units comply with the size and orientation requirements of the Manukau Proposed District Plan.
Visual	LN	ASB	It is considered that the proposed new dwellings will be similar in appearance to other existing dwellings in the wider area and will not detract from the visua aesthetics of the surrounding environment. The dwellings are to have an external appearance of brick veneer and plasterolad with a concrete tile roof considered to be consistent with residential buildings in nearby residential developments.
Amenity/Character	Nil	Nil	The style and layout of the proposed dwellings is not considered to detract from the amenity or character of the area. New dwellings in the wider area are generally of similar brick (veneer) and title construction, scale and design. The site forms part of a recent subdivision with sites in the surrounding area zoned for residential purposes. Any effects resulting to the amenity and character of the area are considered to be less than minor.
Noise	LN	AS	During the period of construction only.
Smell	Nil	Nil	
Pollution	Nil	Nil	
Infrastructure	LN	ASB	The proposal adequately provides for stormwater disposal and all other servicing requirements.
Traffic and Parking	LN	ASB	Adequate parking and access is provided to the site. It is not considered that the application will result in more than a minimal increase in traffic movements resulting to the adjoining transportation network.
Cultural	Nil	Nil	
Socio-economic	LP	WP	Efficient design and use of the site provides socio-economic benefits for the prospective tenants of the household units.
Dominance of buildings	LN	ASB	The proposal complies with the 35% site coverage rule overall however a resultant infringements of 2% occurs to proposed Lot 1. Given the extent of the proposed infringements being relatively minor and the compliance with all other bulk and location requirements of the Manukau Proposed District Plan the effects of the proposed development are considered to be minor and not discernible beyond the confines of the proposed allotments.
Open space	Nil	Nil	As previously discussed adequate private open space area has been provided for each of the proposed units complying with the size and orientation

î

Other (specify)	Nil	Nil	· -	

Overall, the adverse effects are no more than minor.

Ke	y:					
(1)	State magnitude	e of effects as:		(2)	State extent of effects as:	
		High Positive:	HP		Wholly Within Property	WP
		Low Positive:	LP		Affecting abutting sites	AS
	No Effect:	NIL			Affecting abutting sites & beyond	ASB
		Low Negative: High Negative:			(if there is no effect on item in [1], not enter item in [2])	then do

⁽³⁾ If there are any adverse effects then state whether they can be mitigated or whether adversely_affected persons have given their approval.

(c) ADVERSELY AFFECTED PERSONS:

No persons are considered to be adversely affected by the proposed development.

(e) CONTROLLED ACTIVITIES, RESTRICTED DISCRETIONARY ACTIVITIES, AND NON-COMPLYING ACTIVITIES WHERE THE PLAN ALLOWS FOR NON-NOTIFICATION

(i) Rule that allows Non-Notification (set out the rule):

Rule 9.8.1.4 – Controlled Activities

Unless special circumstances exist, applications for a resource consent under Rule 9.8 as controlled or restricted discretionary activities shall not be notified, and the written approval of affected persons need not be obtained.

5.2.3 Discretionary and Restricted Discretionary Activities

Resource Consent applications for a discretionary activity will be processed as non-notified (unless otherwise stated), where the Council is satisfied the adverse effects on the environment are minor and the written consent of affected persons has been obtained, however the requirement for such written consent may be waived by Council where it considers it unreasonable in the circumstances to require the obtaining of every such approval.

Rule 5.2.4 - Non-complying Activities

'Non-complying activities are activities that do not comply with the provisions of the Plan, but are not specifically prohibited. An application for a non-complying activity shall be considered in terms of Section 105(2A) of the Act, which requires Council to be satisfied that any effects are minor or that granting consent will not be contrary to the objectives and policies of the Plan. The need for notification of applications for non-complying activities will be addressed in the same manner as discretionary activities.'

(ii) Leaving the above rule to one side, do any special circumstances exist in relation to the application that require the application to be notified?

No special circumstances exist in regard to this application.

(iii) Conclusion

This application has been assessed as a non-notified application with no persons considered to be adversely affected by the proposed development.

(f) SPECIAL CIRCUMSTANCES

There are no special circumstances that require this application to be notified.

(g) CONCLUSION:

- (i) Taking into account the effects of the proposal, the adverse effect on the environment of the activity for which consent is sought will be minor.
- (ii) No persons are considered to be adversely affected by the proposed development.
- (iii) Special circumstances requiring notification do not exist.

(h) RECOMMENDATION:

(i) That for the reasons set out above, this application be processed without notice, pursuant to section 94 of the Act.

SIGNED:

Byon Pompoth	Date:6 · 11 · 01
Consent Co-ordinator	

DECISION

Recommendation adopted under Delegated Authority

Team Leader - Resource Consents

Date: 6/11/87

MANUKAU CITY COUNCIL

APPLICATION FOR RESOURCE CONSENT NOT REQUIRING NOTIFICATION CONSIDERED UNDER DELEGATED AUTHORITY

19896

SP7400

22 WANDO LANE OTARA

18/10/01

GRANT TAYLOR C/- 106 CASCADES ROAD

MAIN RESIDENTIAL H157526

PAKURANGA \$562,50

Integrated Consent

2 UNITS & 2 LOT SUBDIVISION

BRYCE POMFRETT

1.0 DESCRIPTION OF THE PROPOSAL

The applicant proposes to construct two double storey dwellings on a front site with accompanying two lot fee simple subdivision. The proposal complies with all of the bulk and location requirements of the Manukau Proposed District Plan with the exception of a 2% site coverage infringement resulting to proposed Lot 1. The site complies overall with the site coverage requirement prior to subdivision. The total site is 950m² in area and was created by a recent Dannemora subdivision. With the re-subdivision two lots of 419 m² (Lot 1) and 450m² (Lot 2) will be created, together with an access lot 81m² in area.

The site is undeveloped and unvegetated being serviced by vehicle traffic from Wando Lane and slip lane fronting Te Irirangì Drive. Adjoining sites are all zoned for residential purposes under the Manukau Proposed District Plan rules and have been developed with residential units or remain to be developed.

The site has been serviced for two units within the underlying subdivision of the site and surrounding area.

2.0 REASONS FOR THE APPLICATION

Part A - Land Use

This proposal for two household units on the site constitutes a Controlled Activity within the Main Residential Zone as specified in rule 13.10.1 of the Manukau Proposed District Plan. The site is zoned Future Development (Stage 2) under the Transitional District Plan for Manukau and the proposed development constitutes a Controlled Activity within this document pursuant to Section 405 of the Resource Management Act 1991. .

The proposal also includes the infringement by 2% of the required 35% site coverage resulting to proposed Lot 1. The site complies overall with the required 35% site coverage required prior to subdivision.

Part B - Subdivision Consent

The applicant also seeks consent for a fee simple subdivision to create two allotments which constitutes a Controlled Activity within the Manukau Proposed District Plan under rule 9.8.2.2 (v). Each lot meets the minimum frontage requirements applicable in the zone. The subdivision proposed constitutes a Non-Complying Activity within the Transitional District Plan for Manukau.

3.0 PLAN PROVISIONS

(a) Relevant Provisions (include objectives and policies).

Proposed District Plan

Rules: 13.10.1, 9.8.2.2, 15.15.2.3.3.1, 13.11.1.3 (Intensity Conditions)

Objectives: 13.3.1, 13.3.3 Policies: 13.4.5, 13.4.3,

Transitional District Plan

Rules: Non-complying activity Objectives: 12.2.5, 12.2.11.3

Policies: 12.2.5.8

(b) Assessment Criteria.

Proposed District Plan

Rule 9.10 Rules - Matters for Control: Controlled Activities

Council reserves control over the following matters for controlled activity resource consent applications for land modification, development and subdivision, and <u>may</u> impose controls in respect of each:

- · Control of stormwater and sub-surface water, including overland flowpaths
- Avoidance of mitigation of natural or man-made hazards
- Protection of any natural or man-made heritage features, including native or riparian vegetation
- Design, dimensions and construction of roads, linkages, service lanes, private roads, private ways, and cycleways, bridle trails and recreational walkways, and the integration of roading and other access with the transportation network including road access to other land.
- The provision and design of public utility services (including financial contributions) of a sufficient standard and capacity provided in an orderly basis to meet likely future activities in the catchment area, including any outlets to or connections with public systems.
- The provision and design of effluent disposal systems and maintenance.
- Size, shape and disposition of any lot, including public open space, esplanade reserves and esplanade strips.
- Granting of easements
- · The creation of vacant lots and defined areas in relation to existing buildings.

Rule 13.12.1.1 of the Manukau Proposed District Plan states that:

Council reserves control over the following matters in respect of the above activity 13.12.1 and may impose conditions in respect of each;

- (a) Council reserves control over the following matters in respect of the above activity 13.12.1 and may impose conditions in respect of each:
- (b) Servicing, including stormwater drainage, water supply and sewage disposal.
- (c) Attenuation of Aircraft Noise, Rules 17.6.11.10 and 17.6.12.1 apply. Refer Chapter 17.6 Airport Activities.

13.13.6.1.1

When assessing an application for a restricted discretionary activity for any permitted, controlled or restricted discretionary activity in the Activity Table in Rule 13.10 which does not comply with the development and performance standards for Site Coverage in Rule 13.11.1.3, Council will have regard to the following assessment criteria and any relevant matters set out in Section 104 of the Act:

(a) Scale and Bulk

- (i) whether an increase in site coverage will increase the bulk of the building in such a way that may cause dominance or intrusion on adjoining properties;
- (ii) whether the effects of an increase in site coverage on amenity values are minor;
- (iii) whether an increase in site coverage will adversely affect streetscape values.
- (b) Landscape Elements
- (i) whether landscape design and planting is proposed to mitigate any adverse effects of increased site coverage;
- (ii) whether any increases in site coverage are mitigated by alternative design elements such as landscaped communal private open space.
- (c) Design and External Appearance
- (i) whether an increase in site coverage will assist in enhancing architectural design;
- (ii) whether the effects of an increase in site coverage on amenity values are minor;
- (iii) whether an increase in site coverage will adversely affect any identified heritage qualities in a residential heritage zone.

Rule 9.10 Rules - Matters for Control: Controlled Activities

Council reserves control over the following matters for controlled activity resource consent applications for land modification, development and subdivision, and may impose controls in respect of each:

- control of stormwater and sub-surface water, including overland flowpaths;
- avoidance or mitigation of natural or man-made hazards;
- protection of any natural or cultural heritage features, including native or riparian vegetation;
- design, dimensions and construction of roads, linkages, service lanes, private roads, private ways, and cycleways, bridle trails and recreational walkways, and the integration of roading and other access with the transportation network including road access to other land;
- the provision and design of public utility services (including financial contributions) of a sufficient standard and capacity provided in an orderly basis to meet likely future activities in the catchment area, including and outlets to or connections with public systems;
- the provision and design of effluent disposal systems and maintenance;
- size, shape and disposition of any lot, including public open space, esplanade reserves and esplanade strips;
- granting of easements;
- the creation of vacant lots and defined areas in relation to existing buildings;
- access to, servicing of sites and alterations of buildings under cross-lease, unit title or company lease;
- amalgamation of ownership of any lot;
- vesting of land in the Coastal Marine Area, or the bed of a lake or river;
- the staging of subdivision, servicing and roads;

- the extent of earthworks in relation to the environmental qualities of the area, including natural landforms, native vegetation, the character of the locality, water quality and the avoidance or mitigation of natural hazards;
- the management of construction and site works, including the provision of an environmental management plan to avoid or mitigate any adverse effects from noise, dust, stormwater and silt runoff, and the clearance and disposal of vegetation and other waste;
- any street planting provided as part of a subdivision or development;
- the design and construction of subdivisions and land development in relation to the Engineering Performance Standards set out in Appendix 1 to this chapter. [Note: One means of compliance with the Engineering Performance Standards is to use the Manukau City Council Engineering Quality Standards and the MANARC Standards. Other means of compliance may be proposed.]
- the routes and design of recreational walkways;
- fencing and landscaping where reverse lotting occurs
- location:
- whether the site chosen for a small scale network utility service will be located so as to ensure that the proposal will have minimal impact on the amenity values of the locality, and will not adversely affect the pattern of subdivision and design of adjacent lots, and the extent of impacts on any such adverse effects;
- landscape Treatment, Screening and Site Layout;
- whether the site chosen for a small scale network utility service will be landscaped and screened to maintain or enhance the existing or likely future amenity values of the streetscape.
- the state of the site with respect to any existing or potential contamination on the site and site remediation.

Also assessment against the requirements of Rule 9.12 of the Manukau Proposed District Plan is also required.

For applications for land modification, development and subdivision that are controlled or restricted discretionary activities, regard shall be had to the relevant matters listed below as well as matters set out in s104 of the Act:

9.12.1 General Matters

- Whether the design and layout of the proposed subdivision will result in new allotments or sites which conform with local topography, and maintain or enhance the natural and physical character of the area;
- Whether new allotments or sites have suitable access to a formed legal road;
- The extent to which any earth cut or fill will remove existing vegetation, alter the existing topography of the site or affect existing natural features;
- The extent to which any earthworks will impact on significant or visually sensitive areas;
- Whether the proposed earthworks will result in an increase or decrease in flood hazards and the extent or impacts of such effects.
- Whether a proposed subdivision is capable of accommodating Permitted Activities in compliance with the relevant rules of the Plan;

- Whether the proposed subdivision, land modification or development will avoid or mitigate adverse effects from natural hazards by maintaining or improving the functioning of natural processes in the area;
- Whether the proposed subdivision, land modification or development will meet the intentions
 of the District Plan including objectives, policies and rules, and Section 106 of the Resource
 Management Act 1991;
- Whether the disposal of wastewater and stormwater from the proposed lots can be done
 effectively without risk to public health or the environment;
- Whether the proposal complies with the ARC Technical Publication 58 "On-site Wastewater Disposal from Households and Institutions" (1994) and subsequent amendments;
- Whether the site has sufficient capacity for a wastewater disposal field where ground disposal is proposed;
- Where more than one new site will be created within areas not served by sewers, including
 within rural settlements, whether a shared or individual wastewater treatment and disposal
 system is considered appropriate, having regard to any existing problems within the vicinity of
 the site;
- Whether the cumulative effects of the activity will adversely affect the efficient use and development of infrastructure in the area;
- The extent to which the areas existing amenity values will be altered, and whether the proposal is sympathetic to the character of the locality and the environmental results envisaged for the relevant zone;
- Whether the nature and extent of any measures taken will enhance or protect the natural and cultural heritage resources of the area;
- Whether the land has been or is subject to, or may be subject to, pollutants and/or contamination that may be hazardous to the environment including people and whether sufficient works or other solutions have been undertaken to avoid, remedy or mitigate adverse effects;
- Whether the engineering performance standards appended to this Chapter are appropriate for the circumstances, and the extent or impacts of any such non-compliance;
- Where the proposal is located in an area where a structure plan applies (refer to Chapter 16);
 whether the proposal is in accordance with the Structure Plan for that area;
- Whether residential proposals are in general accordance with the standards in the Manukau City "Design Code for Intensive Housing" (Appendix 1 – Chapter 13 – Residential Areas);
- Whether the proposed activity complies with an approved catchment management plan or discharge consent, and the extent or impacts of any such non compliance;
- Whether the capacity of the network utility services will be sufficient to meet the needs for ultimate development of the catchment;
- Whether any landscaping features are proposed and whether they affect visibility at intersections, pedestrian and traffic safety, or obstruct signs, have an adverse effect on the functional and aesthetic quality of the areas, or have a potentially high maintenance cost;
- Whether the subdivision design adversely affects the ability of any lots created or adjoining lots or sites to comply with the above criteria and other subdivisional rules and criteria contained within the District Plan;
- Whether the proposal is in general accordance with the objectives and policies for Public Open Spaces (Chapter 15);

- Whether any street planting is proposed within a subdivision or development, the appropriateness of the species used (exotic and native) height, maturity, distribution and location (front and rear berms) of the street planting; the timing for the planting and the responsibility for the twelve month maintenance period. These matters are to be assessed in terms of the impact on:
- Amenity values (for example, the framing of views, visual unity, the softening of the visual impact on the street);
- Compatibility with City-wide Planting Policies;
- Adjacent and adjoining sites (for example the provision of shade, shelter, privacy, sunlight access, reduction of noise, pollution, glare, reflection and leaf litter):
- Land stability including the reduction of erosion;
- Interference, access to and the integrity of network utility services, including telecommunication, water, gas and power distribution;
- Traffic safety including pedestrian and vehicular safety to preserve sightlines to both vehicular and pedestrian traffic, traffic signals, road markings and intersections;
- The safe and convenient movement of pedestrians.
- Whether a recreational walkway or bridle trail is proposed for a subdivision. Whether the width, location, design and construction of the recreational walkway or bridle trail provides for safe and convenient access in order to ensure, traffic and pedestrian safety and the efficiency of the road network. The appropriateness of the street developer to meet the cost of constructing bridal trails.
- Whether land and works which are additional to those defined within the stormwater management areas are necessary to treat or manage stormwater run-off from or through the proposed subdivision or development.

Transitional District Plan

The application is considered as a Non-complying activity within this document.

(c) Conditions the Plan requires to be imposed.

Rule 15.15.2.3.3.1

A reserve contribution may be required as a condition of a subdivision consent for residential purposes, the total value of which shall not exceed 6% of the assessed market value of the additional sites created by the subdivision.

4.0 STATUTORY CONSIDERATIONS

Section 5 (part II) and section 104 and 105 of the Resource Management Act will need to be considered in the application. In addition section 108 which deals with conditions of consent will also need to be considered with respect to those matters of restricted discretion, and control.

5.0 AFFECTED PERSONS' APPROVALS (SECTION 94 OF THE ACT)

The attached Section 94 assessment report concludes that no persons are considered to be adversely affected by the proposed works.

Accordingly, the application is being processed on a non-notified basis.

6.0 ASSESSMENT OF THE APPLICATION

The Council is obliged to administer both the Transitional District Plan for Manukau and the Proposed District Plan. Once a proposed plan is notified, an application must be considered in terms of that plan, as well as the existing operative plan. The weight to be given to the proposed plan depends on the stage the relevant position has reached, the weight generally being greater as a proposed plan moves through the notification and hearing process.

Manukau City Council has completed its hearing of submissions on the Manukau Proposed District Plan. Decisions relating to this plan have been released. There have been numerous

references (appeals) to the various decisions of the Council. It is therefore necessary to continue to have regard to the relevant provisions of the Transitional District Plan for Manukau.

6.1 Assessment criteria of the District Plan

The proposal to construct 2 new residential dwellings on a site is a Controlled Activity within the Manukau Proposed District Plan. Fee simple subdivision of the site is considered as a Controlled Activity within this document. In addition the proposed site coverage infringement constitutes a Restricted Discretionary Activity within the Manukau Proposed District Plan provisions. Both the proposed land use and subdivision activity are considered as Noncomplying activities within the Future Development Zone of the Transitional District Plan for Manukau.

Design and External Appearance

Properties adjoining the subject property in Wando Lane and surrounding Te Irirangi Drive are generally being developed for residential use. The proposed dwellings will be constructed with a brick veneer and plasterclad exterior finish and concrete tile roofing. It is considered that the dwellings will be in visual accordance with other buildings in the surrounding area and are compatible with the residential zoning.

Site Layout

The proposal complies with the majority of the bulk and location requirements of both District Plans.. Functional vehicle manoeuvring is also available to each of the units.

Private Open Space

The private open space areas provided comply with the orientation and minimum size requirements of the Manukau Proposed District Plan. Given the orientation of the site it is considered that the best practicable onsite amenity solution has been provided.

Landscape Elements

The proposal does not allow for any landscaping however a condition of consent will ensure that at least 30% of each site is landscaped in grass and planting and that one specimen tree is planted per household.

Access to the site

Access to the site is available from Wando Lane. It is considered appropriate that a condition is imposed requiring that the vehicle crossing widths do not exceed the dimensions specified within the Manukau Proposed District Plan. Two parking spaces are provided in conjunction with each dwelling.

Servicing

The site has been serviced for two household units as part of the underlying subdivision and as such no new services are required.

Reserve Contribution

A reserve contribution of 6% + GST of the assessed value of the additional site created is considered to apply to this application.

Subdivision

Both lots comply with the development and performance standards applicable to subdivision within the Main Residential zone of the Manukau Proposed District Plan. Both lots will be serviced to normal urban standards. The effects of the proposed subdivision are considered to be less than minor given the aforementioned compliance.

6.2 Objectives and Policies

The objectives and policies of both the Transitional District Plan and Proposed District Plan generally seek to provide for diversity and to allow development that maintains and enhances aesthetic qualities and amenity values in the residential environment. In particular Policy 13.4.5 of the Manukau Proposed District Plan states:

Buildings and other structures in residential areas should be designed and/or located in such a way as to:

- (a) respect any existing aesthetic qualities in the built form such as proportion, scale, style, unity and coherence;
- (b) contribute the visual amenity of the streetscape;
- (c) enable reasonable on-site amenity, including privacy and access to daylight and sunlight;
- (d) avoid, remedy or mitigate adverse effects on the acoustic environment; and
- (e) protect any identified heritage qualities in the residential neighbourhood.

The proposal is considered to be compatible with the relevant objectives and policies of the Manukau Proposed District Plan and the Transitional District Plan for Manukau.

The proposed subdivision is consistent with the objectives and policies of Chapter 9 which seek to enable subdivision provided that the environmental qualities and character of the area are preserved and any adverse effects are avoided, remedied or mitigated.

It is considered that the proposal is generally consistent with the relevant objectives and policies of both the Transitional District Plan and the Proposed District Plan.

6.3 Section 104 of the Act

This application has been assessed in terms of s104(1)(a) of the Resource Management Act 1991 which requires consideration of actual and potential effects on the environment which has been addressed in paragraphs 6.1. As such it is considered that the proposed development will have minor actual or potential adverse effects. Section 104(1)(d) also requires relevant policies and objectives of a District Plan or Proposed District Plan to be considered. This requirement has been fulfilled by section 6.2 above.

6.4 Part II of the Act

This section requires consideration of Part II "Purpose and Principles" with the purpose of the Act being sustainable management. It is considered that the proposal complies with the relevant sections of Part II of the Act.

6.5 Section 105

In accordance with Section 105(2A) of the Resource Management Act 1991 the proposal has been considered in terms of the threshold test espoused within this section of the Act as a Non-complying Activity. As identified within the assessment in Section 6.1 of this report the effects of the proposed subdivision are considered minor satisfying the requirements of Section 105 (2A)(a) of the Act.

The proposal has been considered in terms of the relevant objectives and policies of both the Manukau Proposed District Plan and the Transitional District Plan for Manukau within section 6.2 of this report. It is concluded that the proposed subdivision will not be contrary to the relevant objectives and policies of these documents.

It is therefore considered that the proposal meets both limbs of the threshold test provided within Section 105(2A) of the Act.

7.0 RECOMMENDATION

That consent be granted subject to conditions.

8.0 CONDITIONS & ADVICE NOTES

I wish to advise that consent for the land use component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

- 1. That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing, and granting of this Resource Consent are paid in full.
- That the development shall be in general accordance with the plans submitted with the application and numbered 19896 by the Council.
- 3. That no less than 30% of each of the proposed 2 lots shall be laid out in grass and/or planting and that 1 specimen tree of size PB 95 shall be planted in each of the proposed lots at the completion of construction and prior to the occupation of the units.
- 4. That all driveways and reverse manoeuvring areas shall be formed in all-weather dust-free surface and provided with stormwater control at the completion of construction and prior to the occupation of the dwellings on the site.
- Power, gas and telephone services shall be installed underground to provide service connections to all proposed units.
- 6. That the proposed vehicle crossings shall not exceed 4.5m and 3.0m at the footpath for units 1 and 2 respectively. These shall be constructed in accordance with drawing R9 of the Council's "Manual of Engineering Quality Standards".

REASONS FOR THE DECISION

- (a) The application merits a consent pursuant to Sections 104, and 105 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives and policies of the Operative Transitional Plan for Manukau and the Manukau Proposed District Plan.
- (b) The proposed layout of the site will provide for satisfactory on site amenity while preserving the amenity values of surrounding properties and the general streetscape and residential characteristics of the area.
- (c) The effects of the proposal on the environment will be no more than minor and can be further mitigated through conditions of consent.
- (d) The proposal is an efficient use of the site in an area already zoned for residential purposes.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse
 two years after the date on which it was granted unless it has been given effect to before the
 end of that period. However the Council does have the power to extend this period in certain
 cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it
 may be necessary for you to apply for a Project Information Memorandum and building
 consent if you have not already done so.
- A copy of this letter <u>MUST</u> accompany your application for a Project Information Memorandum and building consent. Failure to do so will result in unnecessary delay in the processing of your application.
- 4. Each building is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

Part B - Subdivision Consent

I wish to advise that consent for the subdivision component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

General

- 1. That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application, and numbered 19896 (SP 7400) by Council.
- 3. That should building precede application for Council's approval pursuant to Section 223 or 224 of the Act "as-built" plans prepared by a Registered Surveyor shall be submitted certifying the actual location of any constructed buildings in relation to the proposed boundaries and demonstrating compliance with the requirements of Part A Land Use Consent. In this regard the consent holder is responsible for accurately positioning the buildings in terms of the approved resource consent plans numbered 19896 by Council.
- 4. Any private drainage shall be shown by plan and certified to be fully contained within the lot it serves.
- 5. A reserve contribution of \$6750.00 being 6% plus GST of the assessed average current market value for Lots 1 and 2 shall be paid within two years or before the Section 224 certificate is issued for the subdivision, whichever is the sooner.
- 6. Power, gas and telephone services shall be installed underground to provide service connections to all proposed lots. This connection shall be at the road boundary. The service connection shall be located entirely within the lot boundaries of that building site.
- 7. That proposed Lot 3 be held as to two undivided one half shares by the owners of Lots 1 & 2 hereon as tenants in common in the said shares and that individual certificates of title be issued in accordance therewith. (DLR Approval: A634857)
- 8. All conditions are to be fully complied with, the Land Transfer plan number notified to the Council, and a copy of the survey plan (showing co-ordinates) is to be supplied before a certificate is issued pursuant to Section 224 of the Act.

REASONS FOR SUBDIVISION DECISION

- (a) The application merits consent pursuant to Sections 104 & 105 and 405 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives, and policies of the Operative Transitional District Plan for and the Manukau Proposed District Plan.
- (b) It is considered that the effects of the proposal on the surrounding environment will be no more than minor.
- (c) The proposed development will promote the sustainable management of this land resource by enabling people and communities to provide for their health and well-being while maintaining and enhancing the amenity values of the surrounding environment.

ADVICE NOTES

1. In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.

- 2. This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and a building consent if you have not already done so.
- A copy of this consent and the associated approved drawings should accompany your application for a Project Information Memorandum and Building Consent. If not supplied unnecessary delay may occur in the processing of your application.
- 4. Each allotment shall be individually supplied and metered for water supply at the road boundary. The water lead to each dwelling shall be located entirely within the proposed lot.
- The notes registered on Council's Land Information Register (LIR) for Lot 126 DP 207625 together with the consent notice registered on the Certificate of Title for the property will be carried down to both proposed allotments.

COSTS

- 1. Your deposit of \$562.50 already paid has been deducted from the total costs payable on the accompanying invoice.
- In addition to the consent charge for this subdivision, pursuant to Section 36 (1)(c) of the Resource Management Act 1991, an administration, monitoring and supervision charge relating to the conditions of this resource consent will be applicable. Further administration charges relating to the release of the subdivision, as fixed by determining all reasonable and actual costs incurred by the Manukau City Council. The applicant will be advised of the charges as they fall due.
- 3. The aforementioned fee is in addition to the normal fees and requirements as imposed by the Manager Building Consents to the Building Consent.

RIGHT OF OBJECTION

Within 15 working days of receipt of this decision (commencement date stamped below) you may lodge an objection to the decision pursuant to Section 357(2) of the Resource Management Act 1991. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any future correspondence, building consent applications, or enquiries relating to this consent, could you please ensure that you include the file reference at the foot of page one of this letter.

Date: 6 · 11 · 01

Consent Co-ordinator

Date: 6/ ///

Team Leader - Resource Consents

Pursuant to Section 7.3.3 of the Delegations Register (Minutes 10897/96), the above application has been considered under Delegated Authority and has been determined as a non-notified resource consent as a Restricted Discretionary Activity within the Manukau Proposed District Plan and a Non-complying Activity within the Transitional District Plan for Manukau.

1 1: 1

Consent is hereby granted in accordance with Part II and sections 104, 105 and 108 of the Resource Management Act 1991.

SIGNED		
Consent Co-ordinator	Date: <u>6 11-0</u> ,	, <u>.</u> .
Consent Co-ordinator		
DECISION		
Recommendation adopted under Delegated Authority		
Team Leader - Resource Consents	Date:	6/11/01

MANUKAU CITY COUNCIL RESOURCE CONSENT APPLICATION SITE VISIT RECORD NON-NOTIFICATION/ NOTIFICATION REPORT AND ASSESSMENT REPORT

1. REFERENCES:

LOCATION

19896

SP7400

22 WANDO LANE

OTARA

18/10/01

GRANT TAYLOR

C/- 106 CASCADES ROAD

PAKURANGA

MAIN RESIDENTIAL

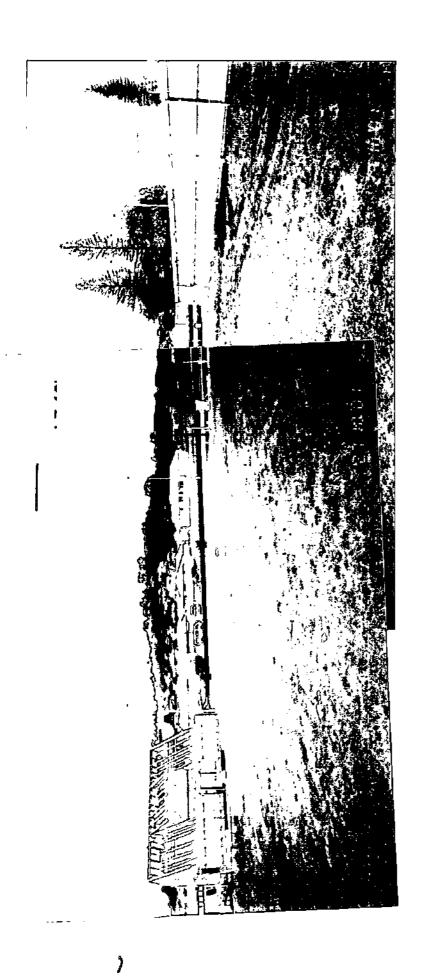
. H157526 \$562.50

Integrated Consent

2 UNITS & 2 LOT SUBDIVISION

BRYCE POMFRETT

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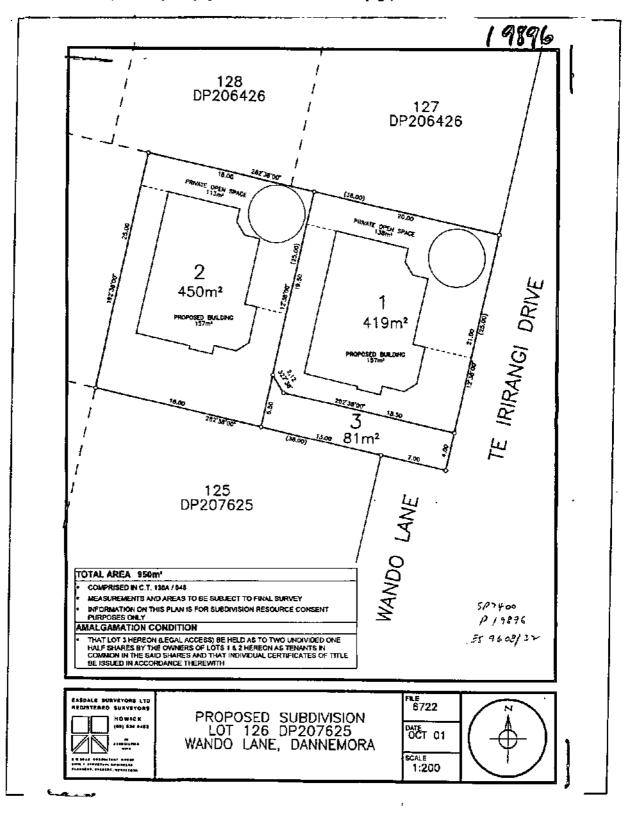


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2. SITE VISIT RECORD:

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Sketch of the subject site (photographs should be attached to this page):



SIGNED: Date:: in Richard

Consent Co-ordinator

(11)

3. DETERMINATION AS TO WHETHER A RESOURCE CONSENT APPLICATION SHOULD BE NOTIFIED OR NON NOTIFIED UNDER SECTION 94 OF THE RESOURCE MANAGEMENT ACT 1991

(a) REF

19896

SP7400

22 WANDO LANE

OTARA

18/10/01

GRANT TAYLOR

MAIN RESIDENTIAL H137526

C/- 106 CASCADES ROAD

\$562.50

PAKURANGA

Integrated Consent

2 UNITS & 2 LOT SUBDIVISION

BRYCE POMFRETT

CONTROLLED/DISCRETIONARY/NON-COMPLYING ACTIVITY WHERE THE DISTRICT PLAN DOES NOT PROVIDE FOR NON-NOTIFICATION

(b) EFFECTS ASSESSMENT:

If any element of the application requires consent as a discretionary/non-complying activity, undertake an analysis of all of the effects of the proposal.

Possible Effects	Magnitude of Effect (1)	Extent of Effect (2)	Mitigation/Neighbours Consent/ Other Comments (3)
Flora and fauna	NIL		
Landscape	NIL		
Water bodies	NIL		·
Site stability	LN	WP	su lik.
Shadowing/Sunlight			
Privacy			
Visual		-	
Amenity/Character	NIL		residuellal zue.
Noise	ML		
Smell	NIL		
Pollution	NIL.		
Infrastructure	NIL	-	exishp system
Traffic and Parking	LN	ASB	road system designed to cope with extra
Cultural	NIL	_	
Socio-economic	HP	AS B	horas for workers
Dominance of buildings	LN	AS	notes for workers metigated by planking res. contr. helps pay for parks the
Open space	HP	A56	res. contr. helps pay for parky ch
Other (specify)	NIL.		



Overall, the adverse effects are will/no more than minor.

(c)

(d) OR

(e)

Key:	•		1		
(1) State magnitude	of effects as	s:	(2) State extent	of effects as:	
	High Po	sitive: HP	Wholly Wit	thin Property	WP
	Low Pos	sitive: LP	Affecting al	butting sites	AS
No Effect:	NIL		Affecting al	outting sites & beyond	a ASB
	Low Neg	gative: LN	(if there is n	o effect on item in [I]	l. then do
	High Ne	gative: HN	not enter ite	m in [2])	,,
(3) If there are any advantage affected persons I	verse effects nave given th	then state whe	ther they can be mit	igated or whether adv	-
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(f)	SPE	CIAL CIRCUM	ISTANCES				
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	(i)	Comments		NONE.			
				··· -			
		SITE	seems	SUITABLE	FOR	PROPOSED	use.
(g)	CO	NCLUSION: (ad	d/delete as ne	cessary)			
	(i)	Taking into ac activity for wh	count the effi ich consent is	fects of the proposes sought will be	e/no more th	an minor.	nvironment of the
	(ii)	Written approv		t been obtained fru		ne considered fo is who carry be adv	ersely affected by
	(iii)	Special circum	stances requi	ring notification 🕰	ēt∕do not exi	st.	
(h)	REC	OMMENDATI	ON:				
	(i)	That for the resection 94 of the		t above, this applic	cation be pre	ocessed without no	otice, pursuant to
	- (ii)	That for the re-		above; this applicat	ion be pr ace	ssed with notice, p	usevant to section
SIGN	ED:						
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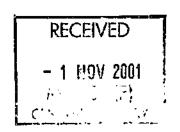
Team Leader - Resource Consents

Your ref: SP7400 P19896 Our ref: 36510/22400



31 October 2001

The City Manager Manukau City Council **Private Bag** MANUKAU CITY



Fee: \$185.00 (excl GST)

Attention: Mr Mike Pritchard

re: RESERVE CONTRIBUTION VALUATION - GRANT TAYLOR, 22 WANDO LANE, OTARA

Further to your instructions of the 26 October 2001, I have inspected the above property to assess a current market value for reserve contribution purposes in accordance with the subdivision consent provisions of the Resource Management Act 1991, and report as follows.

LEGAL DESCRIPTION

Lot 126 DP 207625

ZONING

Residential 1 in Manukau City's Operative District Plan. Under the Proposed District Plan publicly notified 1 August 1995 the land is zoned Main Residential.

DATE OF VALUATION

31 October 2001

VALUATION P19896 SP7400

Assessed average market value of Lots 1 and 2

6750

\$100,000 (ONE HUNDRED THOUSAND DOLLARS)

In accordance with your instructions this abbreviated report has been prepared for reserve contribution purposes only.

The value is inclusive of G.S.T., if any.

Senior Valuer



FILE ALL CORRESPONDENCE AND PLANS HEREAFTER

except engineering

and in date order latest first

NB: Suitably endorse all superseded plans and reports

Environmental Services

26 October 2001

The Area Valuer
Quotable Value NZ Ltd
Registered Valuers
PO Box 302-546
NORTH HARBOUR 1330

Dear Sir

SP 7400: GRANT TAYLOR, 22 WANDO LANE, OTARA LOT 126 DP 207625

The attached plan SP 7400 shows a proposed subdivision of the above land.

Would you please supply for reserve contribution assessment purposes a current average value for Lots 1 & 2 as shown on the attached plan.

The land is zoned Residential 1 in the Manukau Operative District Plan and Main Residential in the Proposed District Plan.

All lots will be serviced to normal urban standards.

Please quote Purchase Order No 320340 in your account.

Yours faithfully

Mike Pritchard
Subdivision Officer - Resource Consents
MANUKAU CONSENTS

1022

Reference: SP 7400, Proposal 19896 ES 9608/22 Facsimile 262-5109 Enquiries to: Mike Pritchard Extension 5874

EASDALE SURVEYORS (

39 MEADOWLAND DRIVE, HOWICK Ph 534-8452 REGISTERED SURVEYORS & PROPERTY DEVELOPMENT CONSULTANTS

FACSIMILE NUMBER (09) 537-6754

Number of pages:

(Including cover sheet)

Date:

To:

HANUKAU ENVIRONMENTS

Fax No.:

Attention:

MIKE PRITCHARD

From:

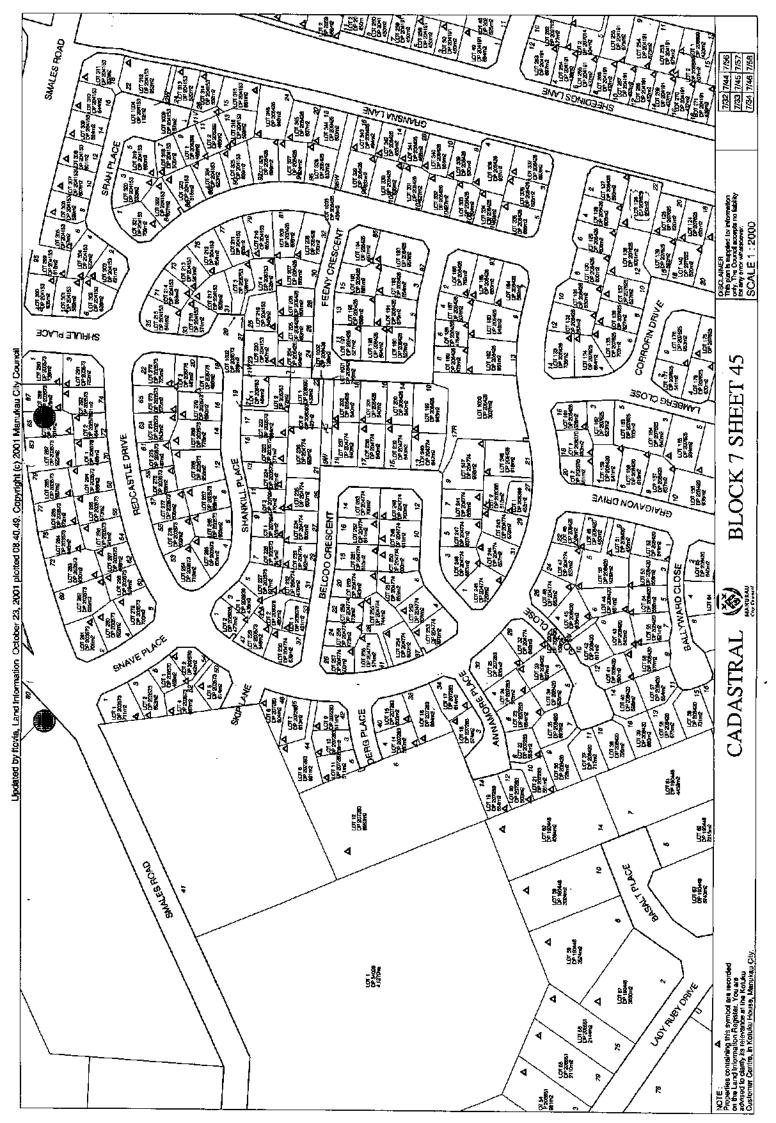
MICHAEL LUCAS

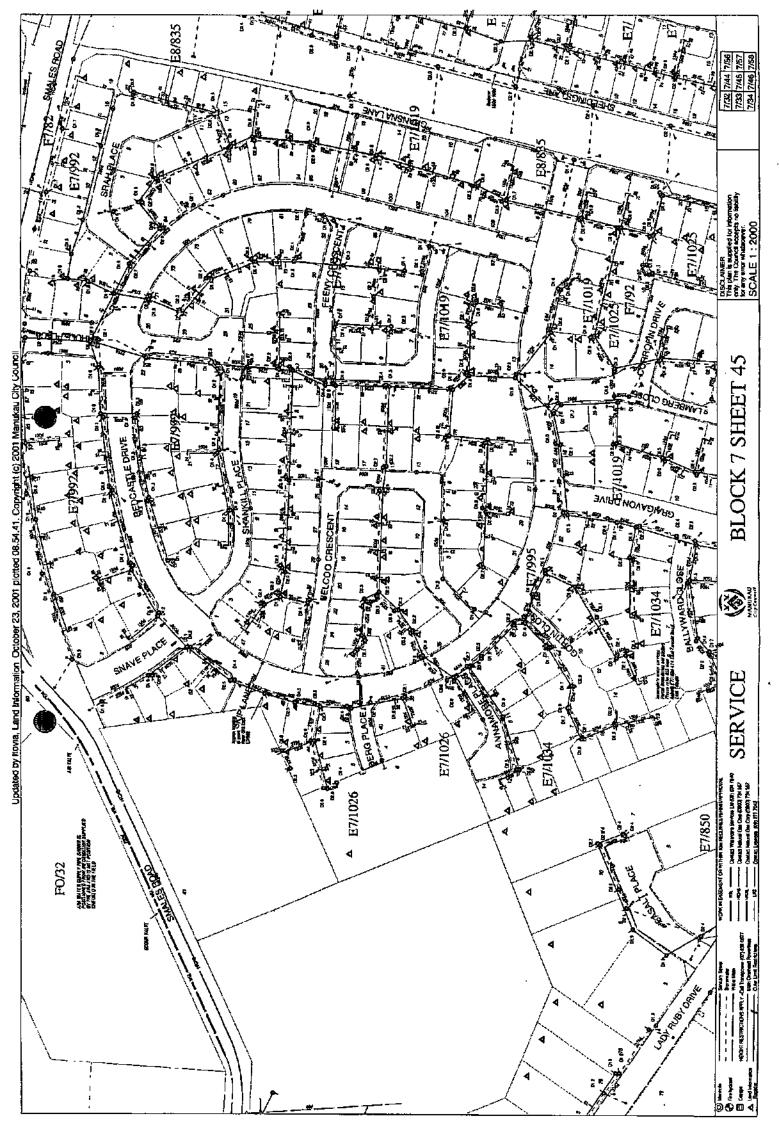
MESSAGE

WANDO LANE ZZ RE:-

COPY OF CT AS REQUESTED.

Michael





ENGINEERING FILE

Proposal No.	_	RM Eng	gineer	
Site Address:			· 	
INPUT REQUERED	¥es	No	Actions/Results	
Planning				
Survey				
Transportation				
RAWS				
Manukan Water				
Manukau Parks				
Environmental Health			**	
Building Control			<u>.</u>	
Policy				
CONSIDERATIONS			-	engineering
Site Visit				CORRESPONDENCE
Stability (Geotech Report)				FOLLOWS
Overland Flow				
Min. Floor Levels				
Protected Streams				
Comprehensive Discharge				lm date order
Stormwater Calculations				latest first
-Upstream Provision				
-Downstream Assessment				
ARC Consents				
-Discharge				_
-Earthworks				
Right of Entry			·	_
Network Utilities				
-Power				
-Streetlighting				
-Gas				
-Telephone				NB: Suitably endorse all superseded plans
Financial Contributions				and reports

ENVIRONMENTAL SERVICES

Internal Memo

TO:

Bryce Pomfrett

FROM:

Alan Payne

DATE:

29 Oct 2001

REF:

19896



Te Kaunihera o MANUKAU City Council

22 Wando Lane

The following engineering conditions relating to the above Resource Consent application are to be carried out to the satisfaction of and at no cost to the Council. (filed G:\data\wpdata\Alan Payne\19896 memo to CC.doc)

Land Use Conditions

- Power gas and telephone services shall be installed underground to provide service connections to both proposed units. The connections for unit 1 shall be at the road boundary. For unit 2 the connections shall be in a position that allows unit 2 to be serviced directly from the common area. The service connections shall be located entirely within the covenant boundaries of the building site being served.
- The private way shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached

Subdivision Conditions

- Power gas and telephone services shall be installed underground to provide service connections to both proposed lots. The connections for Lot 1 shall be at the road boundary. The connections for Lot 2 shall be in a position that allows that lot to be serviced directly from the common area. The service connections shall be located entirely within the lot boundaries of the building site being served.
- The private way on proposed lot 3 shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached

Costs

In addition to the consent charge for this consent, and pursuant to Section 36(1)(c) of the Resource Management Act 1991, an engineering administration and inspection charge, relating to the engineering conditions of the Resource Consent will be applicable together with administration charges relating to the release of the subdivision. The actual charges incurred in the Council's field monitoring of the engineering works will be determined at the completion of works and will be payable prior to release. The applicant will be advised of the charges as they fall due.

The aforementioned fee is in addition to the normal fees and requirements as imposed by the Manager - Building Consents & Compliance to the Building Consent.

Advice Notes

- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and Building Consent if you have not already done so.
- A copy of this consent and the associated approved drawings should accompany your application for a Project Information Memorandum and Building Consent. If not supplied unnecessary delay may occur in the processing of your application.
- 3 Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

Alan Payne
Resource Management Engineer
OTARA/CLEVEDON TEAM

mesh ref 555 as shown is required when jaining to SECTION 6 residential vehicle crossing is unreinforced, however, Environmental Management private ways (see Clause **FEB 2000** Note that the standard All concrete to be ordinary grade to NZS 3124, 17.5 MPa at 28 25mm Fine 6.B.10.3). days. Min. density 2320kg/m³& broom' finished Concrete 110mm MANUKAU CITY COUNCIL ransition 0.3m to 0.4m Scoria RESIDENTIAL VEHICULAR -45 Degree saw cut where machine laid kerbing has been used → Rear Distance + 0.5m machine laid kerb Saw cut machine laid ken at ends & along channel Rear Distance + 3.0m CROSSING 2.5m Notes: **%**Σ Foli 150mm 450mm -300mm Section Boundary 20mm Grassed Berm

10mm Chamfer

20mm Chamfer _

210mm

MANUKAU Cly Council

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Channel

COUNCIL REFERENCES AND APPLICATION FOLLOW

COUNCIL. (in order

- · Cover Sheet
- * Information Property Summary (IPS)
- IPS Pior
- * Pre-application file
- 1 Lodgement Meeting Check List
 - · Acknowledge letter
 - · ete

APPLICATION (in order)

- Letter
- · Application Form
- * Effects List
- · etc
- * Applicant's Pranciast

Proposal No:

19896

File Ref:

SP7400

SITE ADDRESS

22 WANDO LANE

LEGAL DESCRIPTION

WARD

OTARA

LOT 126 DP 207625

APPLICATION:

2 UNITS & 2 LOT SUBDIVISION

Applicant: Address: GRANT TAYLOR

C/- 106 CASCADES ROAD

PAKURANGA

Agent:

EASDALE SURVEYOR LTD

Address:

39 MEADOWLAND DRIVE

HOWICK

Contact:

PH 5348452 FAX 5375754

Consent Type Operative Zone Cadastral Map

Integrated Consent RESIDENTIAL 1

7/45

Consent Co-ordinator

BRYCE POMFRETT MAIN RESIDENTIAL

Proposed Zone

District Plan Map

Discipline Does not require vetting (tick ✓)	Does not require	Vettin leaf	ig comments. Please s	elect option and if necessary pro	vide deta	ils ove
	NFA	Have taken copy and will provide written conditions	Comments (more space over leaf)	Signed	Date	
Planning				Refer to Urban Designer Yes/No		
Subdivision					ſ)
Engineering				Financial contributions Yes/No	16	رالاح
Manukau Water		J			/41\] -23.13	18/1
Transportation				Refer to roading Yes/No		
Building Consents				Copy of cross lease/unit title plan to Robin Mechan Yes/No		
Environmental Protection					LF	Ne

Protection				LF INE
Received	18/10/01	Twenty days _	Fast Tra	ck Yes/No Ten days
Section 94 assessment	Notified/ Non-notifie	Five days ed	Site insp	ection
Section 92 req	uests	Information receive	ed Internal re	ferrals to Response
Decision statu	s Granted	/Refused/Withdrawn	District Plan	Activity Type
Decision date			Operative Proposed	PE/CA/DA/RD/NC/PR PE/CA/DA/RD/NC/PR
Notes	·			

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	Manukau Water
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	Comments

Proposal No: File Ref: 19896 SP7400 22 WANDO LANE SITE ADDRESS LEGAL DESCRIPTION WARD **OTARA** LOT 126 DP 207625 2 UNITS & 2 LOT SUBDIVISION APPLICATION: GRANT TAYLOR Applicant: Agent: | EASDALE SURVEYOR LTD Address: 39 MEADOWLAND DRIVE ' Address: C/- 106 CASCADES ROAD **PAKURANGA** HOWICK Contact: PH 5348452 FAX 5375754 Consent Type **Integrated Consent** Consent Co-ordinator BRYCE POMFRETT Operative Zone RESIDENTIAL 1 Proposed Zone , MAIN RESIDENTIAL Cadastral Map 7/45 District Plan Map Discipline Does not Vetting comments. Please select option and if necessary provide details over require leaf NFA vetting Have taken copy and Comments (more space over (tick ✓) will provide written leaf) conditions Planning Refer to Urban Designer Yes/No Subdivision Engineering Financial contributions Yes/No Manukau Water 18/10 283 Transportation Refer to roading Yes/No **Building Consents** Copy of cross lease/unit title plan to Robin Meehan Yes/No Environmental Protection 18/10/01 Twenty days Fast Track Yes/No Received Ten days Section 94 Notified/ Five days Site inspection Non-notified assessment Section 92 requests Information received Internal referrals to Response Danisian status Granted/Defined/Withdrawn District Plan

Decision Status Granico Refused withdrawn	District Flan	Activity Type
Decision date	Operative Proposed	PE/CA/DA/RD/NC/PR PE/CA/DA/RD/NC/PR
Notes		

19896

Manukau City Council - Internal Property Summary generated at 09:53am 18/10/2001

PRM REF 9608/22

OTARA Ward

Owner/Ratepayer

Address

22 WANDO LANE, EAST TAMAKI (OFF TE IRIRANGI DRIVE)

Legal description

LOT 126 DP 207625

District Plan Details (incl. Public Works)

Operative

RESIDENTIAL 1

Area 950 Sq Metres Cadastral map 7/45

Planning map 38

Proposed

MAIN RESIDENTIAL

Wind Zone HIGK

Rates assessment number

Valuation number Not Separately Assessed

Water account number **NOT ON SUPPLY**

Meter last read

______ Miscellaneous Notes

Heal th

None known

Pool fencing No Pool Registered

Manukau City Council - Internal Property Summary generated at 09:53am 18/10/2001

PRM REF 9608/22

Following consents effect the whole site.

No Known Resource Consents issued for this site.

No Known Building Consents/Project Information Memoranda/Permits issued for this site.

Land Information Register Report.

Information Category: VEHICLE ACCESS

File Ref: SP6996

Register: C.2362

Consultant:

P HOWES

Report:

CONSENT NOTICE

Ref:

SP6996

Instructions:

VEHICULAR ACCESS TO LOT 117 SHALL BE VIA THE SLIP ROAD AT THE NORTHERN END OF THE EASTERN BOUNDARY. VEHICULAR ACCESS TO LOT 166 SHALL BE VIA THE FORMED CARRIAGEWAY AT THE SOUTHERN END OF THE EASTERN BOUNDARY. VEHICULAR ACCESS TO LOT 179 SHALL BE VIA THE FORMED CARRIAGEWAY AT THE NORTHERN END OF THE WESTERN BOUNDARY. VEHICULAR ACCESS TO LOT 126 SHALL BE VIA THE SLIP ROAD AND SHALL NOT BE OBTAINED FROM TE IRIRANGI DRIVE VIA THE LANDSCAPING STRIP (LOT 1006) ADJACENT TO THE EASTERN

BOUNDARY. (REFER TO RESOURCE CONSENT DATED 20 DECEMBER 2001, CONDITION applicable.

Information Category: FOUNDATIONS

File Ref: SP6996

Register: C.2362

Consultant: HARRISON GRIERSON

Report:

GEOTECHNICAL REPORT

Ref:

SP6996

Instructions:

ANY BUILDING DEVELOPMENT ON LOTS 123 (126) 136-141, 175 AND 176 SHALL BE SUBJECT TO SPECIFIC ENGINEERING DESIGN IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE FOUNDATION COMPLETION REPORT PREPARED BY HARRISON GRIERSON CONSULTANTS LIMITED REF. 08.09261.5F WHICH CLASSIFIES THE SOIL AS MODERATELY EXPANSIVE.

(HARRISON GRIERSON CONSULTANTS LIMITED FOUNDATION COMPLETION REPORT REF. 08.09261.5F)

applicable.

Information Category: SERVICING

File Ref: SP6996

Register: 0.2362

Consultant:

Report:

ROBERT CHIENG RESOURCE CONSENT

Ref:

SP6996

Instructions:

UPON FURTHER SUBDIVISION OF LOTS

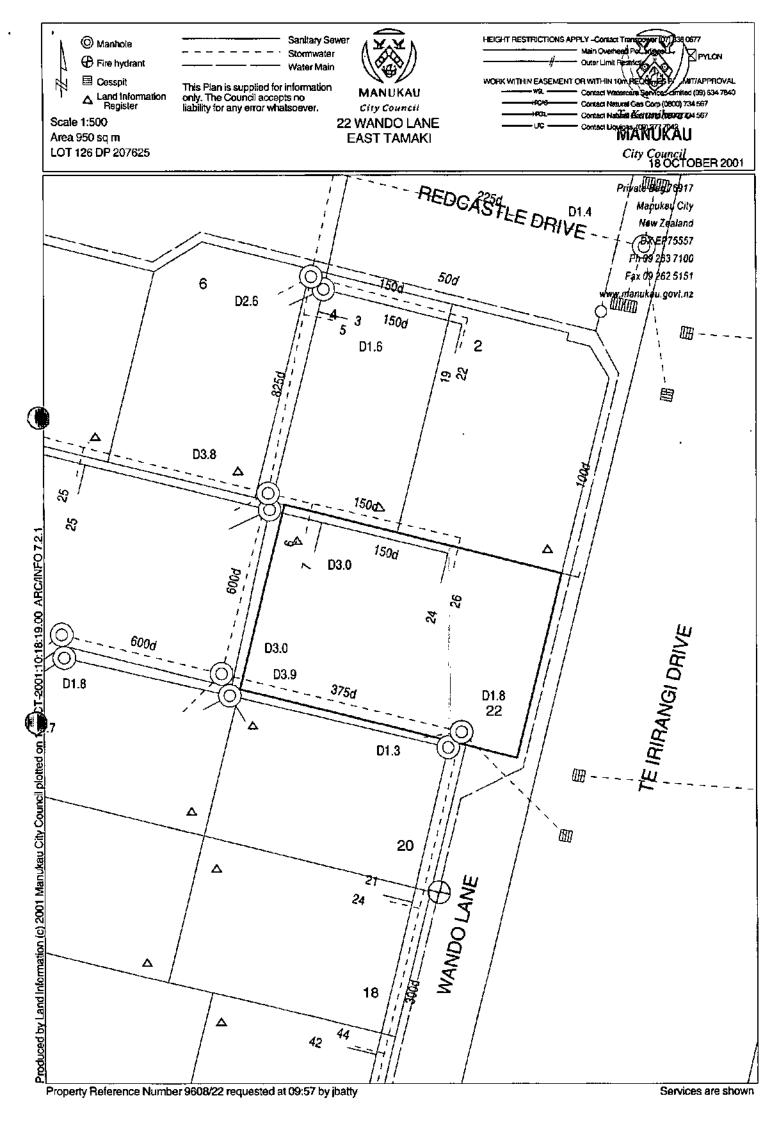
122, 126, 138, 141, 142, 165, 166, 170 AND 176, OR IF A SECOND

applicas 6

DWELLING IS TO BE ERECTED ON ANY OF THESE LOTS, THE DEVELOPER MUST PROVIDE A SEPARATE ELECTRICITY AND TELEPHONE SERVICE CONNECTION FROM THE ROAD BOUNDARY. THIS MAY BE ACHIEVED BY RUNNING A SERVICE LINE ALONG THE ROAD RESERVE WITHIN THE CORRIDOR SET ASIDE FOR THAT PURPOSE. THESE SERVICES MAY NOT BE PROVIDED BY INSTALLING SERVICE LINES ACROSS PRIVATE PROPERTY.

(REFER TO RESOURCE CONSENT DATED 20 DECEMBER 2000, ADVICE NOTE 12)

Property Remarks : none present.





Te Kaunihera o MANUKAÜ City Council

Environmental Services

		
26/10/1.		Private Bag 76917
•		Manukau City
Easdale Surveyors Chot.		New Zealand DX EP75557
Easdale Funeyous Utol. 39 Meadowland Drive		Ph 09 263 7100
		Fax 09 262 5151
Hourck.		www.manukau.govt.nz
Attention: Mr M 5 Lucas:		
Dear Seri		
ACKNOWLEDGEMENT OF RESOURCE CONSE Taylor: integraled AT 22 Wands dome Of	NT APPLICATION FOR	rant
layer unegrated	2 wr / aweling to	ufew
AT 22 Wands dome. Or	*10 ·	********
Council acknowledges receipt of your above applic	ation received on /8 /	10/1.
Your Consent Co-ordinator for this application is		
Your application has been allocated the reference replease quote these numbers when making enquiries	numbers noted at the bottom	
Should clarification or more detailed information be of the Resource Management Act 1991 you will be Otherwise you are advised that the statutory time resource consent applications require a written detailed working days after receipt of the application; or of Section 92; or the date on which the approval of obtained under Section 94, whichever is the later.	e contacted within five (5) we e-frames for processing of ecision to be released no la any further information pure	orking days. non-notified ater than 20 suant to the
As advised above, it is important to note that a commence once all the requested information has be		on can only
Attached is a receipt for\$ 562.50	being your application d	leposit .
Yours faithfully	FORM 3A	
P	ATTACH BUSINESS CAR AND RECEIPT HERE	RĐ
ω		
Consent Co-ordinator		
Otara / Clevedon Team	Customer Copy	
MANUKAU CONSENTS		
5/7400	File Copy	<u>. </u>
		262 5100
Reference: ES 9608/22 Proposal 19896.	Facsimîle Extension	262-5109

RESOURCE CONSENT LODGEMENT MEETING PRELIMINARY ASSESSMENT OF INFORMATION

5/7400

. !	Lodgement med	:ting date: ˌ	26/10/1	Proposal No: _				9608/2
	Site Address: _		Taylor -	22 Wando	Lane	Otaro	١	
(Consent Co-ord	inator:	Brya P.	Applica	nt/Agent Atte	ending:_		
10. 11. 12. 13. 14.	Is the deposit Are affected p Have written r If 'no', summa Certificate of Detail of any of Have items or An assessmer Details of iwi of Copy of relevat Asbestos invertication	attached? parties' conse- ights of entry ary of approa- Title (CT) required the IPS been at the IPS been to of the environsultation particular reports of the provider estigation reports and provider	ents attached? of from affected processed and uired? (current nsent notices or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or addressed? or affect addressed? or affect addressed? or affect addressed? or affect addressed? or affect addressed?	Section 94 RMA) carties been provid results of consulta < than 1 month old to CT	ed? tion d)?			**
15. 16. 17. 18. 19. 20. 21.	Are the plans to For Subdivision For Engineerin Are the plans to Are scheduled Are any landsc Are building flow NNING Are all elevation Are any infringer	o scale? (1:: n - 4 x A3 + 1 g - 4 sets of egible; are al tree and tree aping plans r or plans requ as with releva	A4A3 required at a lexisting structure species identification wired?	oppropriate scales ppropriate scales per shown; north p ed (height over 3.0 ion planes shown int and performance	point?	मिष् व्याप्ताम्य	00 00000000000000000000000000000000000	
26. SUB 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38.	Is vehicle acces DIVISION The net site are The site coverage Areas and dirne Positions of all relipocation and are MHW Spring Tic Locations and are Location and are All watercourses Proposed stagin Area and dimens The height in reliposet of a	a of the existing of all build nations of all produced shown? reas of any existing of the subditions of all produced of the subditions of all produced sons	ting and propose lings shown on a proposed allotmes including unitage and areas below to be set aside a disting or proposed fivision (if any)? ivateways and dary details for	ed sites?	indaries? □ s?	000000 00 000000		
40. 41.	All proposed deta	ails and exist	ing features sho	te to this application				

·				CI 714
WASTEWATER 43. Connections shown for all proposed lots for all items below?		Z Z		Comments
45. Minimum depth of service connections? (1.2m)		\mathbf{Z}		
WASTEWATER DESIGN 46. For 40 lot subdivisions or larger, or if pump station proposed Catchment plan Assessment of catchment population in 50 years Flow calculations Calculations w.r.t. adequacy of downstream system		NARA		
STORMWATER DESIGN	_			•
47. Are the stormwater calculations, including catchment plan, appropriate? Does the design cater for the upstream catchment?				
WATER RETICULATION				
8. Water connections shown for all lots? 49 All proposed valves, hydrants, bends shown? 50 Pipe materials specified? 51. Ducted rider mains for three or more lots served off accessway?				
ROADING			_	
52. Roading and accessway - plans, long-sections and cross-sections provided?53. Road marking and signage shown?		ø Ø	<u> </u>	·
LAND MODIFICATION		Ø	ᆸ	
54 Earthworks plans included? 55. Quantity of cut/fill identified? Cut and fill areas defined? Silt control measures?	0001			
Has ARC consent been obtained? (if over 1 ha, or 0.25 ha and over 15° slope or 50m from stream or wetland)			<u> </u>	
INFORMATION FOR THE APPLICANT		•		
a Building Consent required?		Ø		
If 'yes', has Building Consent been lodged? YES/ NO and granted YES / NO		μ_		N#
Has applicant been advised or considered any known financial contributions applicable?		ø	o	
INFORMATION / ACTION FOR THE CONSENT CO-ORDIN	ATO	R		
Obtain copy of pre-application notes form KO (details on IPS)	Mod		o	·
- Other	No		<u> </u>	
Notes: CT reg'd	,,		*****	*************

Please note that the following information is necessary to satisfy the statutory requirements of Section 88(4) of the Resource Management Act 1991. Failure to provide all or any of the information detailed below will render your application inadmissible to the Council. This preliminary assessment of information is check for information requirements for Resource Consents and does not alleviate responsibility to comply with the Development and Performance Standards of the District Plan(s).

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PRIVATE BAG 76917 MANUKAU CITY DX EP 75557

PHONE 263-7100

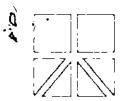
G.S.T. Reg. No. 51-963-660

OFFICIAL RECEIPT

Casdale	Surveyors Lld.
	adouland D
Housek	
Attn: M.Lu	cao.
PROPERTY No. 960	
LOT /26 D.P.	/ 207625
RATES/WATER RATES	
SUNDRY A/C	
RENT A/C	
CREDITAC 3330	1257 D 19896
	s 562 : So
Leoure Con	set deposit
<u>·</u>	

33792 LAND THE CONSENS \$562.50
18.10.01 smakeri CHERUE
Tax Invoice/Receipt BST Amt: \$62.50





EASDALE SURVEYORS LTD

REGISTERED SURVEYORS - PROPERTY DEVELOPMENT CONSULTANTS

DIRECTOR: M.S. LUCAS, B.Surv., M.N.Z.I.S.

39 Meadowland Drive, Howick.

Phone: 0-9-534-8452

Fax: 0-9-537 5754 e-mail: easdales@clear.net.nz

17 October 2001

In all correspondence please quote our ref: 6722

The Manager Environmental Services Manukau City Council Private Bag 76917 MANUKAU CITY

Attn: B Pomfrett

Dear Sir,

Re: Grant Taylor - Proposed Development - Wando Lane, Dannemora Lot 126 DP207625

Enclosed is an application for an integrated Resource Consent for the development of the above property under the Resource Management Act 1991.

The site is gently sloping and has been created as a two unit site on a recent stage of the Dannemora subdivision and has been serviced for sanitary and stormwater drainage accordingly.

W

The proposal is to construct two identical units on the property as detailed on the attached building plans and for fee simple subdivision.

The details of the site coverage are as follows:

	Building Area	Site Area	Site Coverage
Lot 1	157m²	419m²	37%
Lot 2	157m²	450m²	35%
Total	314m²	950m²	33%

The proposal therefore complies with the overall site coverage and for Lot 2 but is exceeded by Lot 1 by 2%.

The remaining provisions of the District Plan for multi unit development have been met.

As both lots are in excess of 400m² net site area the subdivision can proceed independently of the construction of the buildings.

Environmental Assessment

The development involves construction of two units on the property and subsequent fee simple subdivision. The subdivision is not causing any environmental effects as these are being created by the construction and use of the new dwellings. Any non-compliance of individual lots over and above the land use component of the application has no environmental effects.

The effects of the construction of the units are minimised to an acceptable level through compliance with the overall site coverage, height to boundary, vehicle parking and manoeuvring, maximum height and yard requirements of the District Plan. Any non-compliance with internal boundaries has been dealt with in the granting of the Land Use Consent.

Enclosed are four copies of the plan, copy of the certificate of title, Form 5 certificate and cheque for the inspection deposit (\$562.50).

Yours faithfully

EASDALE SURVEYORS LTD

Wichael hum

M S LUCAS

3209 CHEQUE DUTY PAID	SOS MATTOS PEN	The sympol FINE HUNDERD - SIXTY TID	ASB BANK TING OUNCES	ASD BAINIGHT	
Millach hum	EASDALE SURVEYORS LIMITED	2 2 2 2 2 CONT. AXX 13	Council Date 17/10/81		

1 XXX	Te Kaunihera o
(\ 600/)	MANUKAU
	City Council

PRIVATE BAG 76917 MANUKAU CITY DX EP 75557

PHONE 263-7100

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G.S.T. Reg. No. 51-963-660

OFFICIAL RECEIPT

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House	K			<u></u>
Attn: Ma	uca	0.	<u> </u>	
PROPERTY No. 9	608/			7400
LOT /26 D.P.	<u>/</u> -	207	625	<u></u>
RATES/WATER RATES				
SUNDRY A/C				
RENT A/C		<u> </u>		
CREDIT A/C 233	0/0			<u> 1896</u>
	\$	56	2_	<u>: 50</u>

33792 LAND USE CONSENTS 18.10.01 szakoni CREBUE Tax Invoice/Receipt GST Apt: \$62.50

\$562.50

(8	/W	here the	application	is for a	a subdivision	consent]
----	----	----------	-------------	----------	---------------	----------

I attach information in accordance with Section 219 of the Act sufficient to adequately define:

- (a) The position of all new boundaries
- (b) The areas of new allotments [Not required for cross-leases, company leases or unit plans]:
- (c) The location and areas of new reserves to be created, including any esplanade reserves to be set aside on a survey plan under section 230 of the Act
- (d) The location and areas of any esplanade strips to be created under section 232 of the Act
- (e) The location and areas of any existing esplanade reserves, esplanade strips, or access strips
- (f) The location and areas of land below mean high water springs of the sea or of any part of the bed or a river or lake which is to be vested in the Crown or local authority under section 237A of the Act
- (g) The location and areas of land to be set aside as new road.
- (9) [Where the application is for a coastal permit for reclamation]

I attach information in accordance with Section 88(7) of the Act to show the area proposed to be reclaimed, including its size and location, and the portion of that area (if any) to be set apart as an esplanade reserve.

TERMS AND CONDITIONS OF THE APPLICATION AND CHARGES

- (1) A deposit must accompany this application: The deposit is in accordance with the Manukau City Schedule of Administrative Charges in terms of Section 36 of the Resource Management Act 1991. Confirmed by Special Order by the Council on 31 October 1996. The schedule of administrative charges can be viewed at the Kotuku Customer Centre. Further charges may be imposed for processing the application and for compliance and supervision.
- (2) Should this form be incomplete or further information is required, you will be advised as we cannot accept this application until all the required information is supplied. You will receive an acceptance letter to confirm your application has met all the requirements
- (3) At the completion of processing your application (whether consent is granted or not) all outstanding fees are payable prior to the issuing of the resource consent decision.

THE PERSON RESPONSIBLE FOR THE CHARGES INCURRED MUST SIGN THIS FORM

I/we accept the Terms of our Resource Consent application and understand that at the completion of processing our application, I/we are liable for additional charges incurred by the Council in accordance with Section 36 of the Resource Management Act 1991.

With Ocollon 30	0, 1,10 , 1,000 0,000	,			
Signature:	<u> </u>	Jaylor.			
	9 mat	TAYLAR	Date:	16/10/	2001
Name:	<u></u>	-	 .	'''	
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Postal Address:	19	<u> </u>	0 X EP	82004	Highle
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- **ATTACHMENTS**
- (a) Information provided in respect of Items (6), (7), (8) and (9) above
- (b) Written consent of affected persons [Where required for a resource consent]

(Where the application is for a subdivision consent) 9 attach information in accordance with Section 219 of the Act sufficient to adequately define:

The position of all new boundaries

- The location and areas of new reserves to be created, including any esplanade reserves to The areas of new allotments (Not required for cross-leases, company leases or unit plans) @ @ ©
 - be set aside on a survey plan under section 230 of the Act
- The location and areas of any esplanade strips to be created under section 232 of the Act The location and areas of any existing esplanade reserves, esplanade strips, or access **@ @**
- The tocation and areas of land below mean high water springs of the sea or of any part of the bed or a river or take which is to be vested in the Crown or local authority under section 237A of the Act €
- The location and areas of land to be set aside as new road 9
- [Where the application is for a coastal permit for reclamation] 6

I attach information in accordance with Section 88(7) of the Act to show the area proposed to be reclaimed, including its size and location, and the portion of that area (if any) to be set apart as an esplanade reserve.

TERMS AND CONDITIONS OF THE APPLICATION AND CHARGES

- A deposit must accompany this application: The deposit is in accordance with the Manukau City Schedule of Administrative Charges in terms of Section 36 of the Resource Management Act 1991. Confirmed by Special Order by the Council on 31 October 1996. The schedule of administrative charges can be viewed at the Kotuku Customer Centre. Further charges may be Imposed for processing the application and for compliance and supervision Confirmed by Special Order by the Council on 31 October 1996. Ξ
- Should this form be incomplete or further information is required, you will be advised as we cannot accept this application until all the required information is supplied. You will receive an acceptance letter to confirm your application has met all the requirements 3
- At the completion of processing your application (whether consent is granted or not) all outstanding fees are payable prior to the issuing of the resource consent decision. ල

THE PERSON RESPONSIBLE FOR THE CHARGES INCURRED MUST SIGN THIS FORM

I/we accept the Terms of our Resource Consent application and understand that at the completion of processing our application, I/we are liable for additional charges incurred by the Council in accordance with Section 36 of the Resource Management Act 1991

Date:	
Name:	Street Address:

ATTACHMENTS

Postal Address:

Page 1 of 4 Ci 711 RC-100A Issue 10

APPLICATION FOR RESOURCE CONSENT

Form 5

MANUKAU CITY COUNCIL

UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991 APPLICATION FOR RESOURCE CONSENT

This form is to be completed as part of your Resource Consent application.

We request that you provide all details relevant to your application.

Should you require assistance to complete this form, staff are available at the Council Citizen and Customer Centre, Kotutku House, Manukau City, and the Howick Ward Centre

To accompany your application for Resource Consent we require the written nformation requested in the enclosed Checklists and Form 5. Providing all required information when you submit your application will minimise delays when the Council considers your application. PLEASE PHONE 262.5227 TO ARRANGE AN APPOINTMENT TIME FOR A LODGEMENT MEETING TO BE HELD AT THE COUNCIL CITIZEN & CUSTOMER CENTRE, MANUKAU CITY. APPLICATIONS ARE UNABLE TO BE RECEIVED THROUGH WARD CENTRES OR BY POST

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(11)

NOTE: If an Air Discharge Permit is required in conjunction with this application, please

request an Air Discharge Information and Effects List

Issue 10 Page 2 of 4 CI 711

RC-100A

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PLEASE COMPLETE THE FOLLOWING DETAILS

Issue 10 Page 3 of 4 CI 711 RC-100A

MANUKAU CITY COUNCIL

APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

Postal Address: Street Address: ADDRESS FOR SERVICE: Fax Number: Street Address: Full Name: DETAILS TO BE COMPLETED BY THE APPLICANT Mr/Mrs/Miss/Ms: Daytime Telephone Number: Postal Address: Limited Liability Company Name: Trading Name: DETAILS TO BE COMPLETED BY THE AGENT (where applicable) Daytime Telephone Number: Street Address: Trading Name: Full Name: Mr/Mrs/Miss/Ms: ₫ Mr/Mrs/Miss/Ms: Fax Number: Postal Address: Limited Liability Company Name: **ATTENTION: Environmental Services** Private Bag MANUKAU CITY Manukau City Council The City Manager G PANT AKURANGA 106 025 EASDALE SURVEYORS LTD
39 MEADOWLANDS DRIVE
HOWICK (89) 534-8452 CASCADES EASDALE SURVEYORS LTD
39 MEADOWLANDS DRIVE
HOWICK (09) 534-8452 TAKOR 888873 5375754 Ward Cheque Details Pians A1 (File Ref: Receipt No. Deposit Paid FOR OFFICE USE ONLY: \$) A3 (

9		(5)	(4)		(3)	(2)	(1)
I attach an assessment of any effect that the proposed activity may have on the environment in accordance with the fourth Schedula to the Act.	Land Use Consent Subdivision Consent Coastal Permit Water Permit Discharge Permit (Air)	The following additional resource consents are required in relation to the proposal and have OR have not been applied for: [place of in appropriate box]	The names and addresses of the owner and occupier (other than the applicant) of any land to which the application relates are as follows: Occupier: Occupier:	[Describe the location in a manner which will allow it to be readily identified - e.g. the street address, the legal description, the name of any relevant stream, river or water body to which the application may relate, proximity to any well known landmark, the grid reference (if known) etc.]	The location to which this application relates is: No: 22 Street/Road: 1/hw Locality: 27 PANNEM OF A Legal Description: 27 12	The type of resource consents(s) sought is/are: [place ✓ in appropriate box] Land Use Consent Discharge Permit (Air) Coastal Permit Other For other please specify:	The description of the activity to which the application relates is: \(\subset \subseteq \s
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he proposed activity may hi Act.	Applied for Applied for Applied for Applied for Applied for Applied for	ents are required in related to a spropriate box!	and occupier (other than the	will allow it to be readily is any relevant stream, river of any relevant stream, river of known landmark, the grid n	anty od	are: [place √ in appropriate by Subdivision Consent - Crosslease/unit title - Fee simple	application relates is: Renk Z UN/75
ive on the environment in	00000	ion to the proposal and	applicant) of any land to	dentified - e.g. the street x water body to which the sterence (If known) etc]	7625	6 ~ box/	2 67

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attach other information (if any), required to be included in the application by the District or Regional Plan or Regulationsor

136/4/648

LT69

Keserence:

Prior CT:

135C/530

Document No.: D636956.5



REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT 1952

This Certificate dated the 4th day of September Two Thousand and One under the seal of the Registrar-General of Land, New Zealand, for the Land Registration District of NORTH AUCKLAND

WITNESSETH that DANNEMORA PROPERTY TRUSTEE LIMITED

is seised of an estate in fee simple (subject to such reservations, restrictions, encumbrances and interests as are notified by memorial endorsed hereon) in the land hereinafter described, delineated on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 950 square metres, more or less being LOT 126 DEPOSITED PLAN 207625

for Registrar General of Land

D313503.1 Compensation Certificate under Section 19 Public Works Act 1981 by The Manukau City Council - 22.9.1998 at 3.01

D621971.11 Mortgage to Westpac Banking Corporation - produced 13.7.2001 at 2.23 and entered 25.7.2001 at 9.00

D636956.4 Consent Notice under Section 221(1) Resource Management Act 1991

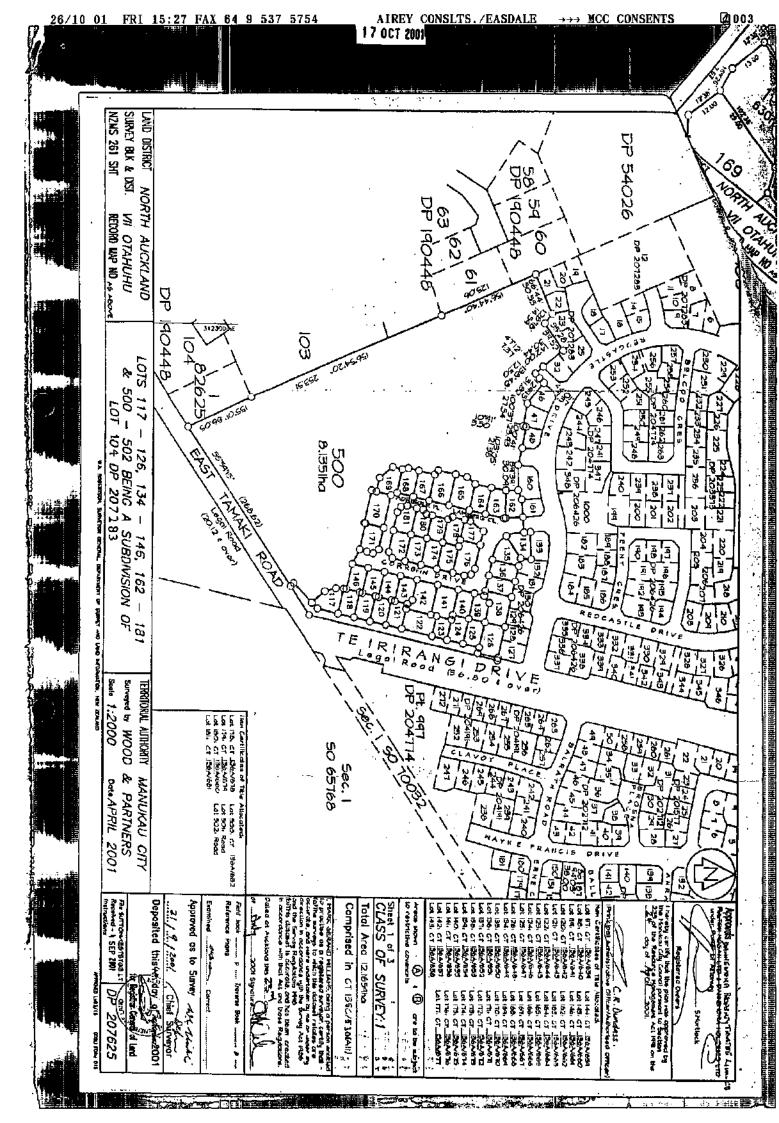
Land covenant in Transfer D636956.6

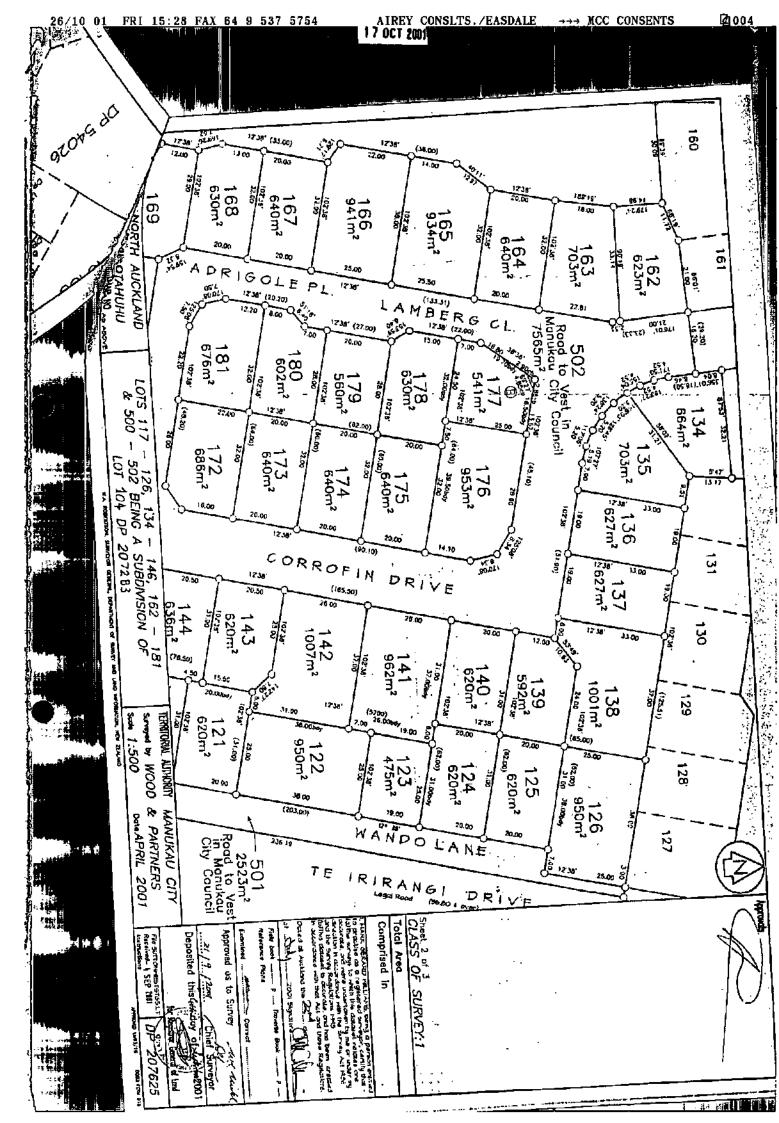
Fencing Covenant in Transfer D636956.6

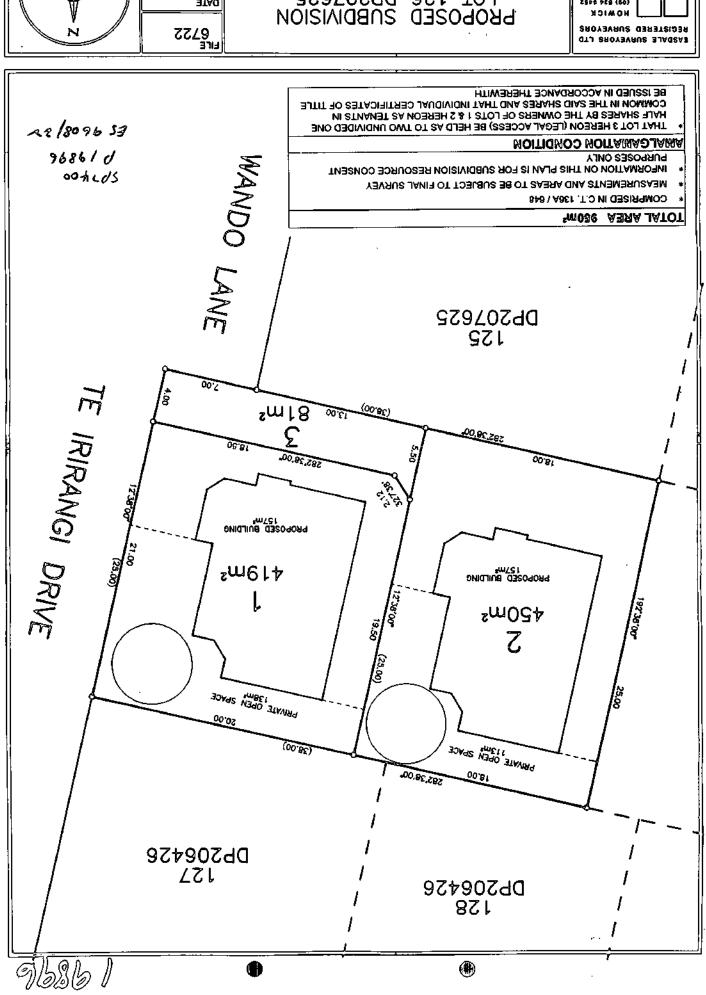
- both 4.9.2001 at 9.03



For RGI

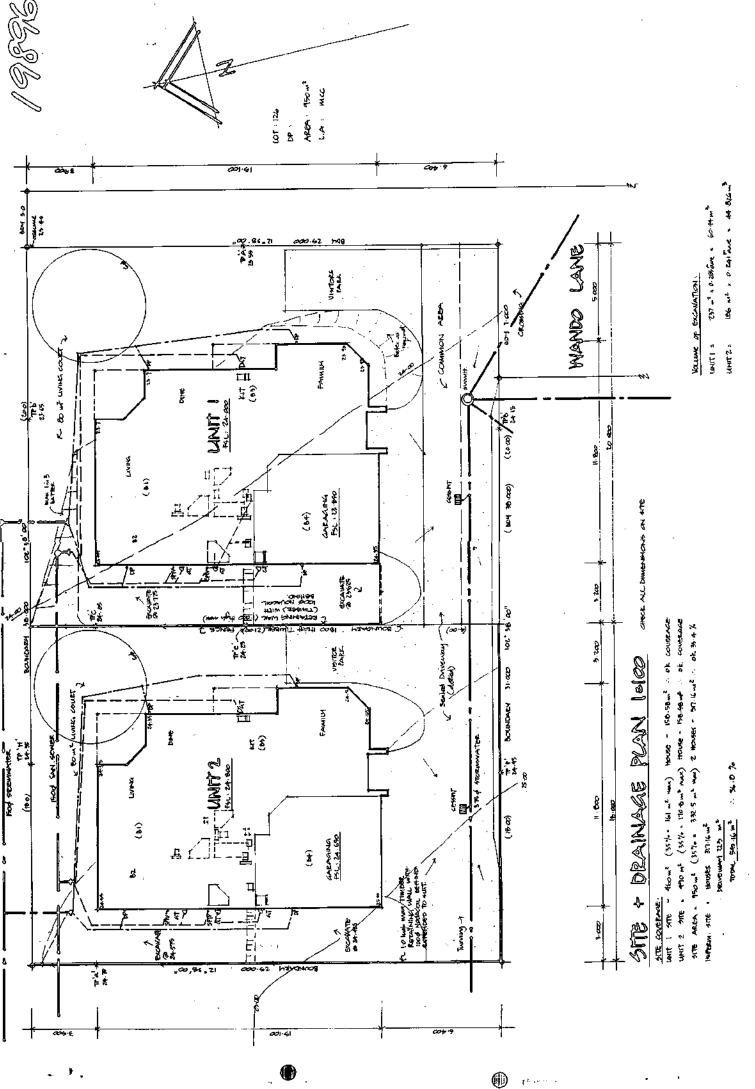






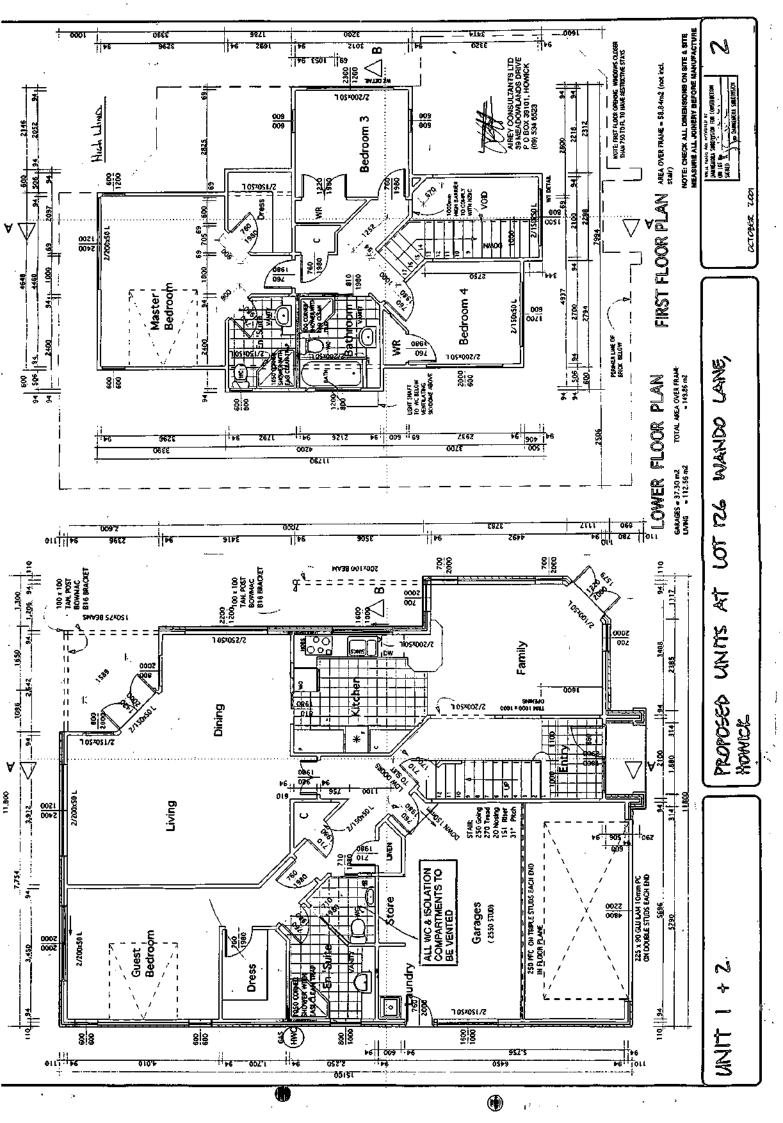


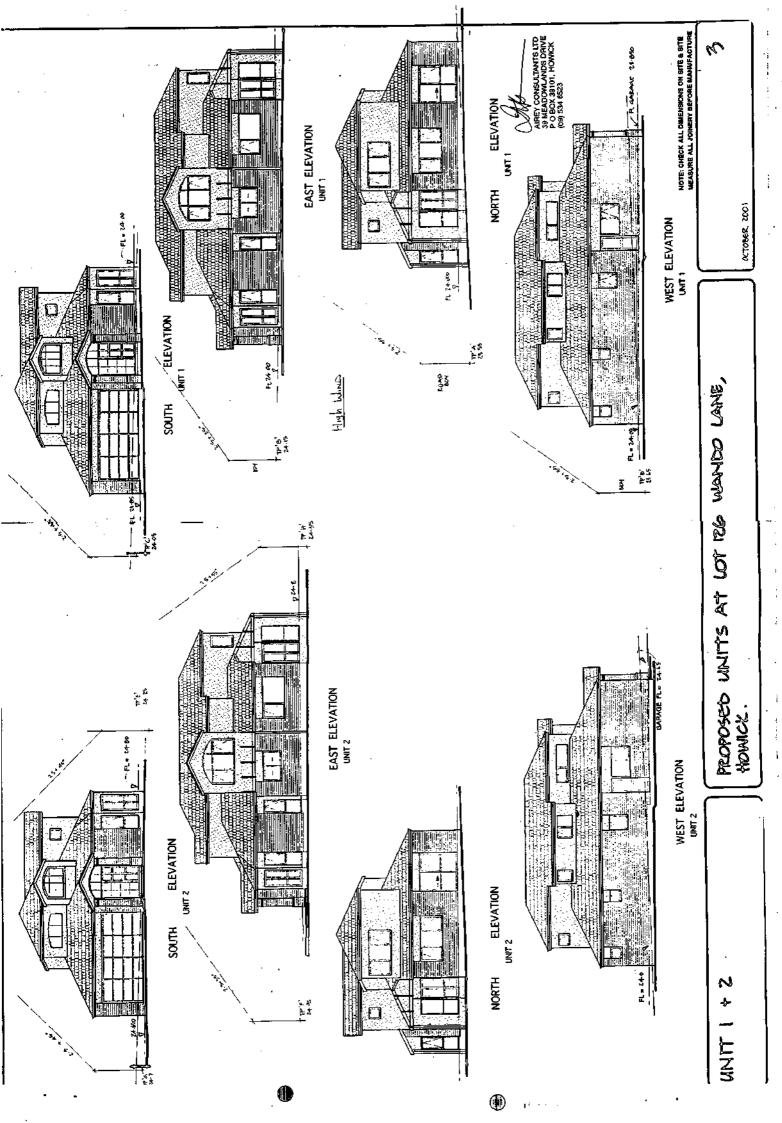




PROPOSED UNITS AT UDIT 126 WANDO LANE, HOWICK

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Facsimile

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Te Esuaitare a MANUKAU City Casuali

Environmental Services

Privato 84g 76917 Micheal Bul. Manukev City Company Easedale Surveyors New Zealand DX EP755\$7 FAX No: 5375754 2628900 n 5877. Fax (09) 262-5163 Email: **O**manukau govinz 04.11.02 No of Pages: **DOCUMENTATION RELEASE** Subject: Dear Sir or Madam: (S224 / Engineering / Sond / Land Transfor Plen) is ready for collection from the Citizen & Customer Centre, Ground Floor, Kotuku House, upon payment of the amount set out below. The customer centre is open weekdays 8.30 am to 5,00 pm except Wednesdays 8.30 am to 4,00 pm. Alternatively the payment may be forwarded to Resource Compliance, Manukau City Council, Private Bag 76-917, Manukau City. We will then forward the documents to your office.

TAYLOR

	
Resource Compilance Fee (see attached invoice)	₹ 495.00 €
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Reserve Contribution	16,750.00
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Reading Contribution	
G/L account no. 0999 9832 , D	\$
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G/L account no. 0999 9834 . D	<u> </u>
Stormwater Contribution	
G/L account no. 0999 9822 . D	\$
Water Supply Contribution	
G/L account no. 0999 9844 . D	
Water Quality Contribution	
G/L account no. 0998 9848 . D	\$
Discharge Levy	
G/L account no. 0999 9817 , D	\$
Bonds/Refundable Deposits	
GA. account no. 0999 8124 . D	\$
Plan Certification Fee	
GA account no. 3420 1271 . D	\$
Other:	
G/L account no	\$
TOTAL TO PAY BY CASH / BANK CHEQUE PETPOS	,7245.00

Please note that the documentation will not be released until full payment has been received/cleared. If you have any questions relating to these payments, please contact the person noted above.

Louise Shiekts Team Leader Resource Compliance ENVIRONMENTAL SERVICES

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ACOPYA HARA Faga Ca styl

DATE: 10/12/02 TIME: 4:05 pm					
WHILE YOU WERE OUT					
Grant Taylor					
OF:					
PHONE: 025 460124.					
Telephoned Wants to see you					
Please telephone Will call again					
Returned your call URGENT					
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Please note that the documentation will not be released until full payment has been received/cleared. If you have any questions relating to these payments, please contact the person noted above.

Louise Shialds Team Leader Resource Compliance ENVIRONMENTAL SERVICES

TOTAL TO PAY BY CASH / BANK CHEQUE / EFTPOS

G/L account no.

All the material in this mossage is confidential to the addresses. If the reader is not the intended racipiant, please note that you may not use any material in this massage nor pass it on to others. Please notify us promptly of your naving received this message and raturn if to us uncopied.

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Environmental Services



	City Couceil
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company: Easedalke Surveyors.	Manukeu Chy
	Naw Zeglend
Fex No. 5375754	OX EP75557
From: 1/100 Tons (0) Extension: 2628900	For (09) 262-5163
Date: 04.10.00. No of Pages: 2	Omerulav,govi.nz
Subject DOCUMENTATION RELEASE	
Dear Sir or Madam:	
Your application for the releases of the ICC - SCC-200	
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For Grant Tander.	
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payment may be forwarded to Resource Compliance, Manutau City Council, Private Bag 78-917, Manutau City Council, P	prin. Attendatively the
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Water Quality Contribution	5
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Other:	5
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Phase note that the documentation will not be released until full payment has been received/cleared. If you have any questions relating to these payments, please contact the person noted above.

Louise Shields
Team Loader Resource Compliance
ENVIRONMENTAL SERVICES

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Environmental Services

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To: Nicheal Suc Company: Easedale Su	,	Private Bag 78917
Company: Fase Sale (Su	ercher S	Mārruksu Cily
		New Zenigna
Fax No: 5375754	262890	DX EP75557
From: Nicola Tarylor	· .	Fax (09) 262-5163
	Extension: 587フ,	Email: @manukau.govt.nz
Date: 04-11-02.	No of Pages: 🗻	Attended by Attended
Subject DOCUMENTATI	on release	
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Your application for the release of taysp	4/2	
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For Grant Taylor	<u>/</u>	
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forward the documents to your office.		9 10 017, Medicined City: Will Will Mell
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Sundry account: 1/0094 im	voice 17942	\$ 495.00 €
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Please note that the documentation will not be released until full payment has been received/cleared. If you have any questions. relating to these payments, please contact the person noted above.

Louise Shleida Teem Leader Resource Compliance ENVIRONMENTAL SERVICES

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G/L account no.

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Resource Compliance.

Environmental Services

6 November 2001

Easdale Surveyors Ltd 39 Meadowlands Drive HOWICK

Attention: Michael Lucas

Your ref: 6722

Dear Sir

DECISION ON AN APPLICATION FOR INTEGRATED LAND USE AND SUBDIVISION RESOURCE CONSENT

Applicant |

Grant Taylor

Application

: Part A - Land Use Consent

Controlled Activity and Non-Complying Activity to construct two dwellings on a site. (Manukau Proposed District Plan and

Transitional District Plan for Manukau).

Restricted Discretionary Activity (development standard modification) and Discretionary Activity (dispensation) to infringe the 35% site coverage infringement of by 2% for proposed Lot 1. (Manukau Proposed District Plan and Transitional District Plan for

Manukau)

Part B - Subdivision Consent

Controlled Activity and Non-Complying Activity to subdivide a site into two fee simple allotments. (Manukau Proposed District Plan

and Transitional District Plan for Manukau)

Site

: 22 Wando Lane, Otara

Legal Description : Lot 126 DP 207625

Proposal No

: 19896 (SP 7400)

Zoning

Main Residential - Manukau Proposed District Plan

Future Development (Stage One) - Transitional District Plan for

Manukau

CONDITIONS OF CONSENT

Part A - Land Use Consent

I wish to advise that consent for the land use component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

Reference: ES 9608/22 Proposal: 19896

Enquiries to Consent Co-ordinator: Bryce Pornfrett

Facsimile Extension

262-5109 8118

- That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing, and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application and numbered 19896 by the Council.
- 3. That no less than 30% of each of the proposed 2 lots shall be laid out in grass and/or planting and that 1 specimen tree of size PB 95 shall be planted in each of the proposed lots at the completion of construction and prior to the occupation of the units.
- 4. That all driveways and reverse manoeuvring areas shall be formed in all-weather dust-free surface and provided with stormwater control at the completion of construction and prior to the occupation of the dwellings on the site.
- Power, gas and telephone services shall be installed underground to provide service connections to all proposed units.
- 6. That the proposed vehicle crossings shall not exceed 4.5m and 3.0m at the footpath for units 1 and 2 respectively. These shall be constructed in accordance with drawing R9 of the Council's "Manual of Engineering Quality Standards".
- 7. The private way shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached

REASONS FOR THE DECISION

- (a) The application merits a consent pursuant to Sections 104, and 105 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives and policies of the Operative Transitional Plan for Manukau and the Manukau Proposed District Plan.
- (b) The proposed layout of the site will provide for satisfactory on site amenity while preserving the amenity values of surrounding properties and the general streetscape and residential characteristics of the area.
- (c) The effects of the proposal on the environment will be no more than minor and can be further mitigated through conditions of consent.
- (d) The proposal is an efficient use of the site in an area already zoned for residential purposes.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and building consent if you have not already done so.

- A copy of this letter <u>MUST</u> accompany your application for a Project Information Memorandum and building consent. Failure to do so will result in unnecessary delay in the processing of your application.
- 4. Each building is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

Part B - Subdivision Consent

I wish to advise that consent for the subdivision component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

General

- 1. That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application, and numbered 19896 (SP 7400) by Council.
- 3. That should building precede application for Council's approval pursuant to Section 223 or 224 of the Act "as-built" plans prepared by a Registered Surveyor shall be submitted certifying the actual location of any constructed buildings in relation to the proposed boundaries and demonstrating compliance with the requirements of Part A Land Use Consent. In this regard the consent holder is responsible for accurately positioning the buildings in terms of the approved resource consent plans numbered 19896 by Council.
- 4. Any private drainage shall be shown by plan and certified to be fully contained within the lot it serves.
- 5. A reserve contribution of \$6750.00 being 6% plus GST of the assessed average current market value for Lots 1 and 2 shall be paid within two years or before the Section 224 certificate is issued for the subdivision, whichever is the sooner.
- Power, gas and telephone services shall be installed underground to provide service connections to all proposed lots. This connection shall be at the road boundary. The service connection shall be located entirely within the lot boundaries of that building site.
- 7. That proposed Lot 3 be held as to two undivided one half shares by the owners of Lots 1 & 2 hereon as tenants in common in the said shares and that individual certificates of title be issued in accordance therewith. (DLR Approval: A634857)
- 8. The private way on proposed lot 3 shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached
- All conditions are to be fully complied with, the Land Transfer plan number notified to the Council, and a copy of the survey plan (showing co-ordinates) is to be supplied before a certificate is issued pursuant to Section 224 of the Act.

REASONS FOR SUBDIVISION DECISION

- (a) The application merits consent pursuant to Sections 104 & 105 and 405 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives, and policies of the Operative Transitional District Plan for and the Manukau Proposed District Plan.
- (b) It is considered that the effects of the proposal on the surrounding environment will be no more than minor.
- (c) The proposed development will promote the sustainable management of this land resource by enabling people and communities to provide for their health and wellbeing while maintaining and enhancing the amenity values of the surrounding environment.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and a building consent if you have not already done so.
- A copy of this consent and the associated approved drawings should accompany
 your application for a Project Information Memorandum and Building Consent. If not
 supplied unnecessary delay may occur in the processing of your application.
- Each allotment shall be individually supplied and metered for water supply at the road boundary. The water lead to each dwelling shall be located entirely within the proposed lot.
- The notes registered on Council's Land Information Register (LIR) for Lot 126 DP 207625 together with the consent notice registered on the Certificate of Title for the property will be carried down to both proposed allotments.

COSTS

- Your deposit of \$562.50 already paid has been deducted from the total costs payable on the accompanying invoice.
- In addition to the consent charge for this subdivision, pursuant to Section 36 (1)(c) of the Resource Management Act 1991, an administration, monitoring and supervision charge relating to the conditions of this resource consent will be applicable. Further administration charges relating to the release of the subdivision, as fixed by determining all reasonable and actual costs incurred by the Manukau City Council. The applicant will be advised of the charges as they fall due.
- The aforementioned fee is in addition to the normal fees and requirements as imposed by the Manager - Building Consents to the Building Consent.

RIGHT OF OBJECTION

Within 15 working days of receipt of this decision (commencement date stamped below) you may lodge an objection to the decision pursuant to Section 357(2) of the Resource Management Act 1991. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

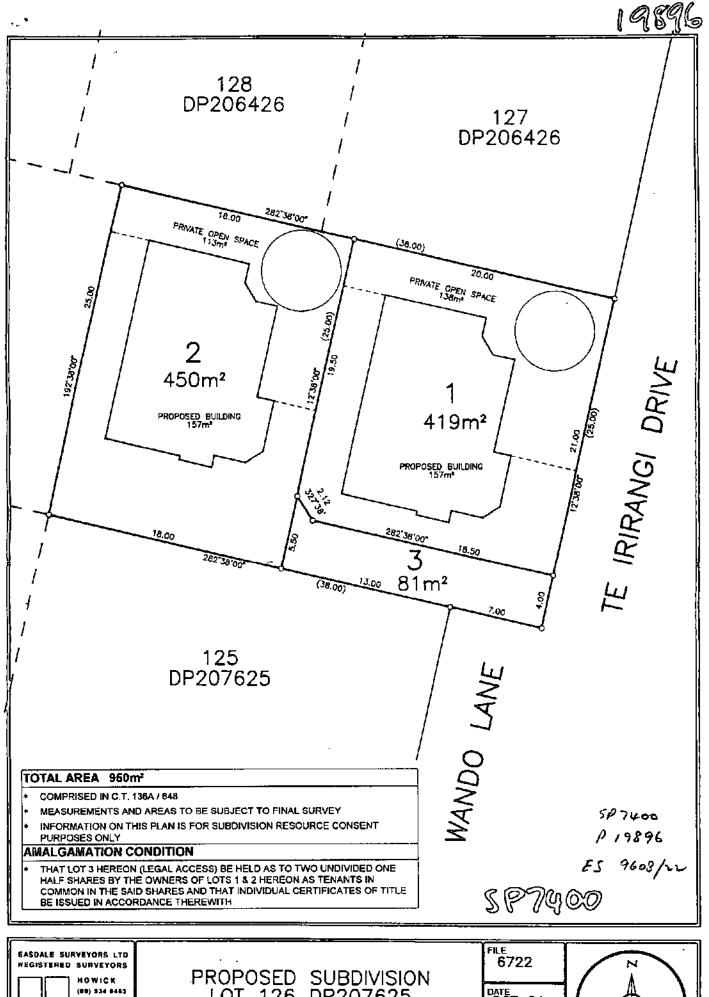
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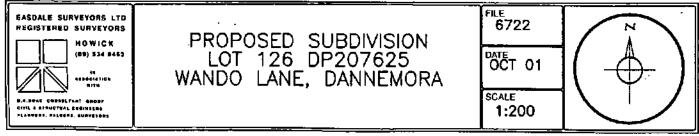
Yours faithfully

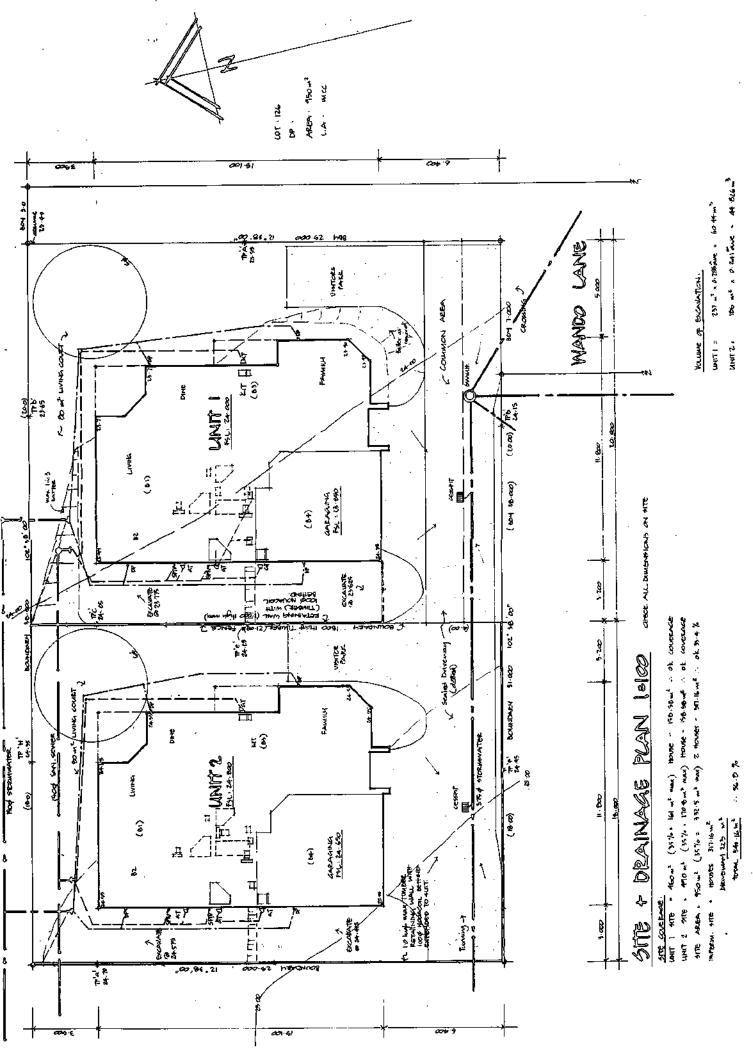
Robert Chieng

Team Leader - Resource Consents

MANUKAU CONSENTS

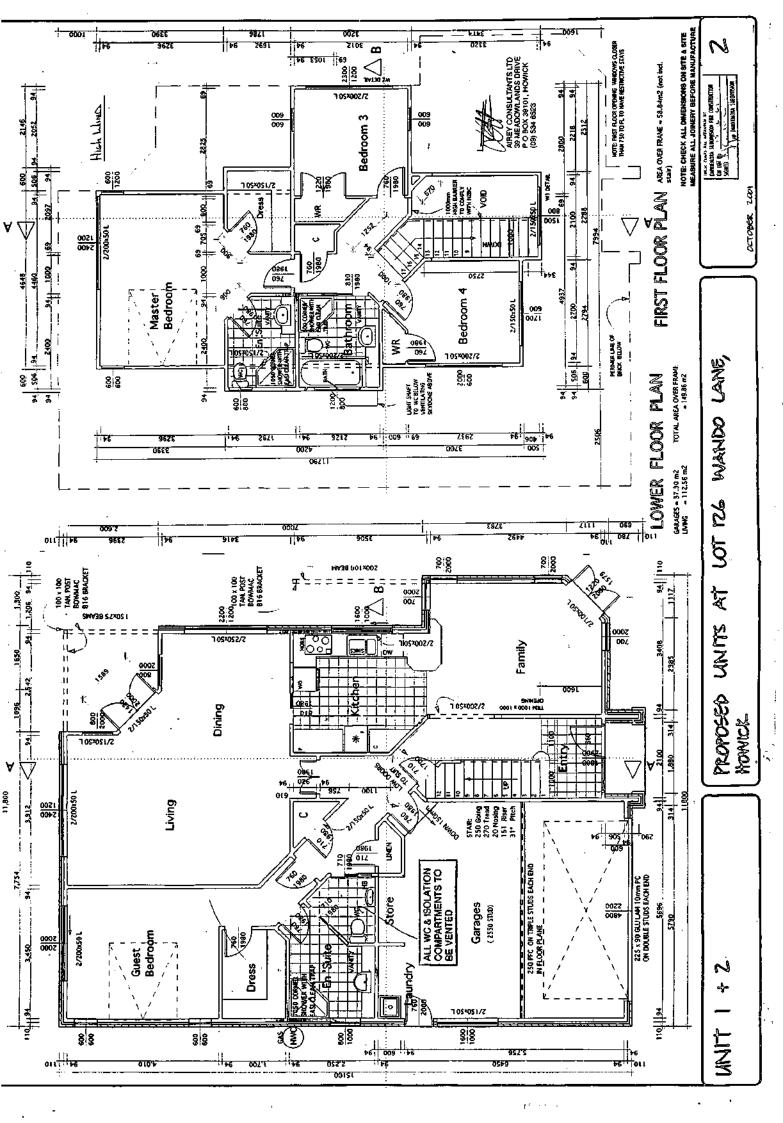


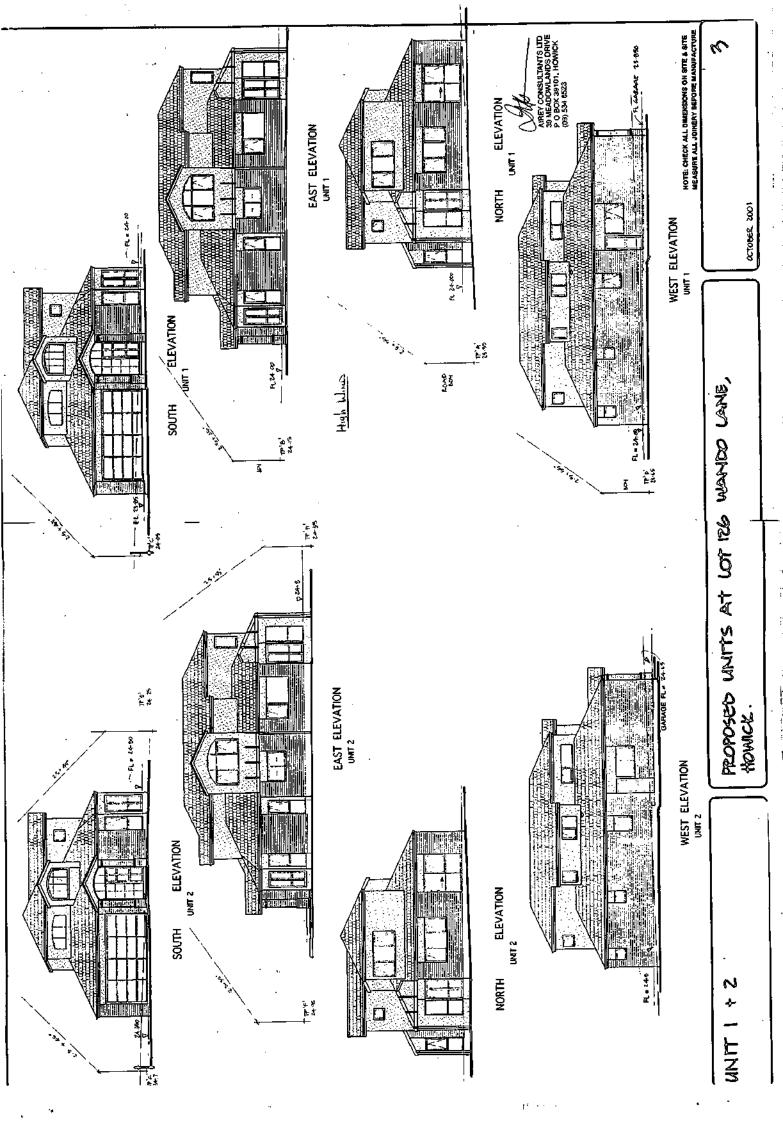


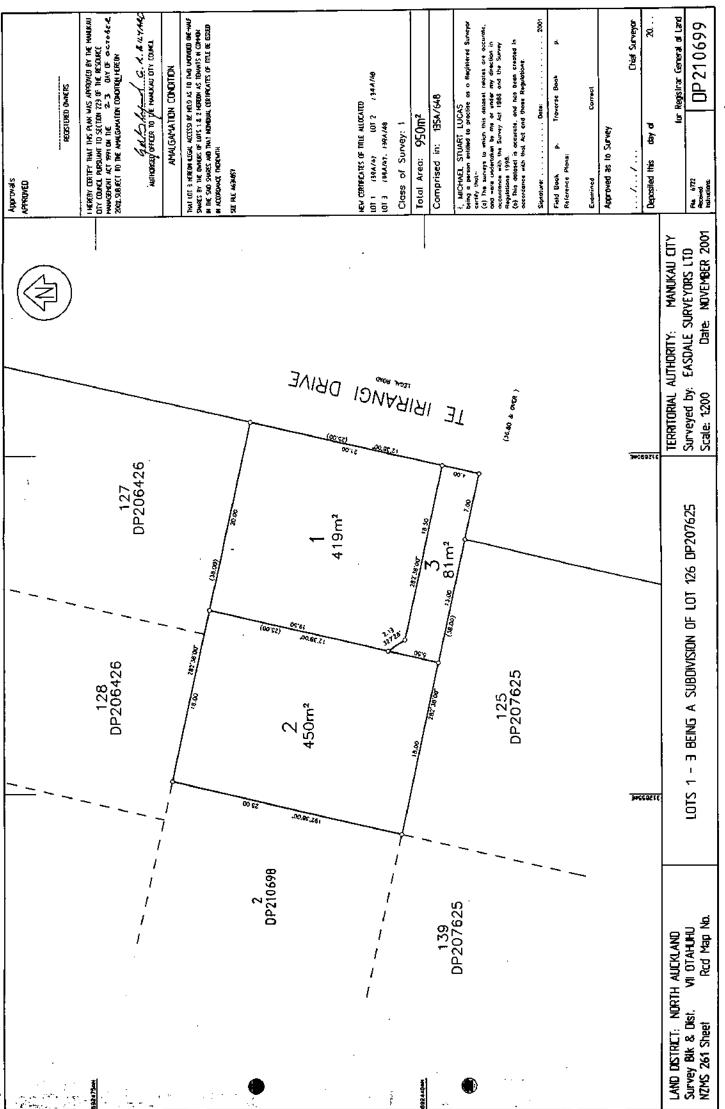


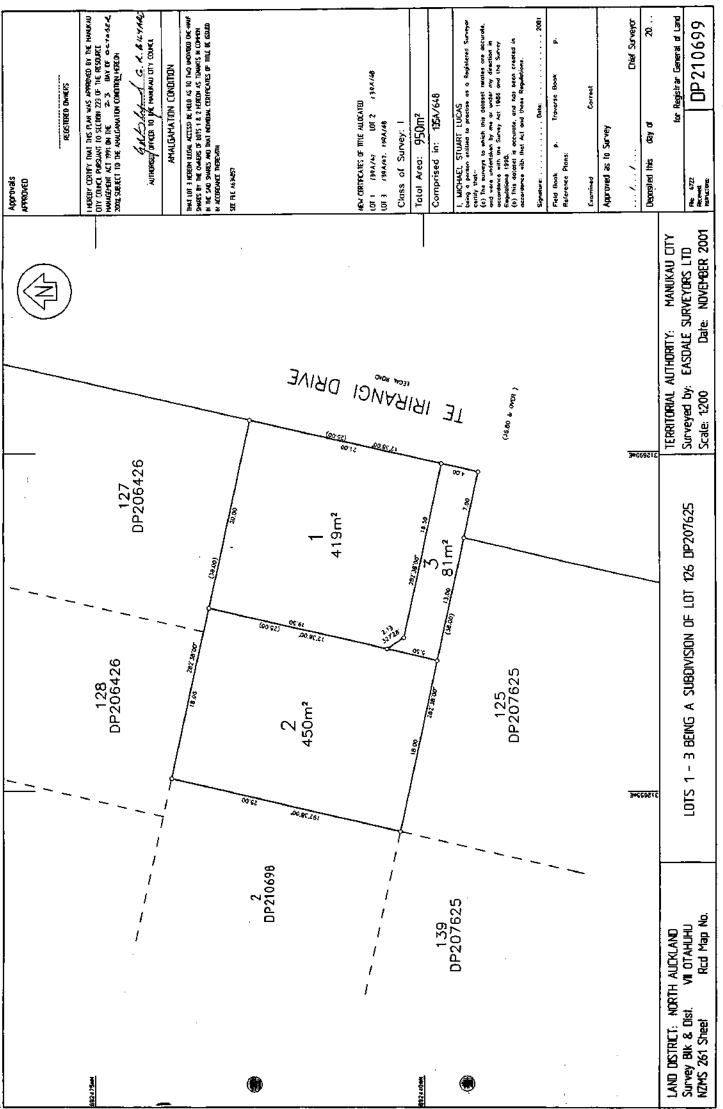
PROGOSSO UNITS AT UNIT 126 WANDO LAND, HOWICK

ACTORER YOU









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Environmental Services

6 November 2001

Easdale Surveyors Ltd 39 Meadowlands Drive HOWICK

Attention: Michael Lucas

Your ref: 6722

Dear Sir

í

DECISION ON AN APPLICATION FOR INTEGRATED LAND USE AND SUBDIVISION RESOURCE CONSENT

Applicant

: Grant Taylor

Application

: Part A - Land Use Consent

Controlled Activity and Non-Complying Activity to construct two dwellings on a site. (Manukau Proposed District Plan and Transitional District Plan for Manukau).

Restricted Discretionary Activity (development standard modification) and Discretionary Activity (dispensation) to infringe the 35% site coverage infringement of by 2% for proposed Lot 1. (Manukau Proposed District Plan and Transitional District Plan for Manukau)

Part B - Subdivision Consent

Controlled Activity and Non-Complying Activity to subdivide a site into two fee simple allotments. (Manukau Proposed District Plan and Transitional District Plan for Manukau)

Site

: 22 Wando Lane, Otara

Legal Description : Lot 126 DP 207625

Proposal No

: 19896 (SP 7400)

Zoning

Main Residential - Manukau Proposed District Plan

Future Development (Stage One) - Transitional District Plan for

Manukau

CONDITIONS OF CONSENT

Part A ~ Land Use Consent

I wish to advise that consent for the land use component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

Reference: ES 9608/22 Proposal: 19896

Enquiries to Consent Co-ordinator: Bryce Pomfrett

Facsimile Extension 262-5109 8118

- That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing, and granting of this Resource Consent are paid in full.
- That the development shall be in general accordance with the plans submitted with the application and numbered 19896 by the Council.
- 3. That no less than 30% of each of the proposed 2 lots shall be laid out in grass and/or planting and that 1 specimen tree of size PB 95 shall be planted in each of the proposed lots at the completion of construction and prior to the occupation of the units.
- 4. That all driveways and reverse manoeuvring areas shall be formed in all-weather dust-free surface and provided with stormwater control at the completion of construction and prior to the occupation of the dwellings on the site.
- Power, gas and telephone services shall be installed underground to provide service connections to all proposed units.
- 6. That the proposed vehicle crossings shall not exceed 4.5m and 3.0m at the footpath for units 1 and 2 respectively. These shall be constructed in accordance with drawing R9 of the Council's "Manual of Engineering Quality Standards".
- 7. The private way shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached

REASONS FOR THE DECISION

- (a) The application merits a consent pursuant to Sections 104, and 105 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives and policies of the Operative Transitional Plan for Manukau and the Manukau Proposed District Plan.
- (b) The proposed layout of the site will provide for satisfactory on site amenity while preserving the amenity values of surrounding properties and the general streetscape and residential characteristics of the area.
- (c) The effects of the proposal on the environment will be no more than minor and can be further mitigated through conditions of consent.
- (d) The proposal is an efficient use of the site in an area already zoned for residential purposes.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and building consent if you have not already done so.

- 3. A copy of this letter <u>MUST</u> accompany your application for a Project Information Memorandum and building consent. Failure to do so will result in unnecessary delay in the processing of your application.
- 4. Each building is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

Part B - Subdivision Consent

I wish to advise that consent for the subdivision component of the above application was granted on 6 November 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

General

- 1. That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application, and numbered 19896 (SP 7400) by Council.
- 3. That should building precede application for Council's approval pursuant to Section 223 or 224 of the Act "as-built" plans prepared by a Registered Surveyor shall be submitted certifying the actual location of any constructed buildings in relation to the proposed boundaries and demonstrating compliance with the requirements of Part A Land Use Consent. In this regard the consent holder is responsible for accurately positioning the buildings in terms of the approved resource consent plans numbered 19896 by Council.
- 4. Any private drainage shall be shown by plan and certified to be fully contained within the lot it serves.
- 5. A reserve contribution of \$6750.00 being 6% plus GST of the assessed average current market value for Lots 1 and 2 shall be paid within two years or before the Section 224 certificate is issued for the subdivision, whichever is the sooner.
- Power, gas and telephone services shall be installed underground to provide service connections to all proposed lots. This connection shall be at the road boundary. The service connection shall be located entirely within the lot boundaries of that building site.
- 7. That proposed Lot 3 be held as to two undivided one half shares by the owners of Lots 1 & 2 hereon as tenants in common in the said shares and that individual certificates of title be issued in accordance therewith. (DLR Approval: A634857)
- 8. The private way on proposed lot 3 shall be constructed in accordance with Manukau City Council Engineering Quality Standards drawing R12, with a vehicle crossing constructed in accordance with Manukau City Council Engineering Quality Standards drawing R9. Copies of R9 and R12 are attached
- All conditions are to be fully complied with, the Land Transfer plan number notified to the Council, and a copy of the survey plan (showing co-ordinates) is to be supplied before a certificate is issued pursuant to Section 224 of the Act.

REASONS FOR SUBDIVISION DECISION

- (a) The application merits consent pursuant to Sections 104 & 105 and 405 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives, and policies of the Operative Transitional District Plan for and the Manukau Proposed District Plan.
- (b) It is considered that the effects of the proposal on the surrounding environment will be no more than minor.
- (c) The proposed development will promote the sustainable management of this land resource by enabling people and communities to provide for their health and wellbeing while maintaining and enhancing the amenity values of the surrounding environment.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and a building consent if you have not already done so.
- A copy of this consent and the associated approved drawings should accompany
 your application for a Project Information Memorandum and Building Consent. If not
 supplied unnecessary delay may occur in the processing of your application.
- Each allotment shall be individually supplied and metered for water supply at the road boundary. The water lead to each dwelling shall be located entirely within the proposed lot.
- The notes registered on Council's Land Information Register (LIR) for Lot 126 DP 207625 together with the consent notice registered on the Certificate of Title for the property will be carried down to both proposed allotments.

COSTS

- Your deposit of \$562.50 already paid has been deducted from the total costs payable on the accompanying invoice.
- 2. In addition to the consent charge for this subdivision, pursuant to Section 36 (1)(c) of the Resource Management Act 1991, an administration, monitoring and supervision charge relating to the conditions of this resource consent will be applicable. Further administration charges relating to the release of the subdivision, as fixed by determining all reasonable and actual costs incurred by the Manukau City Council. The applicant will be advised of the charges as they fall due.
- The aforementioned fee is in addition to the normal fees and requirements as imposed by the Manager - Building Consents to the Building Consent.

RIGHT OF OBJECTION

Within 15 working days of receipt of this decision (commencement date stamped below) you may lodge an objection to the decision pursuant to Section 357(2) of the Resource Management Act 1991. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any future correspondence, building consent applications, or enquiries relating to this consent, could you please ensure that you include the file reference at the foot of page one of this letter.

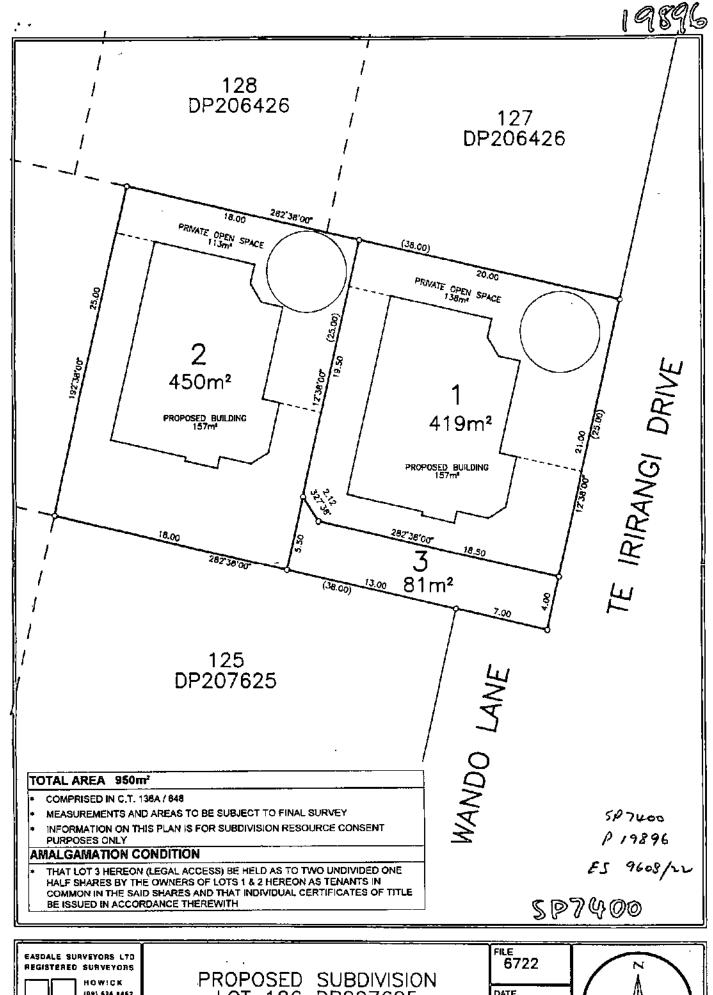
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Yours faithfully

Robert Chieng

Team Leader - Resource Consents

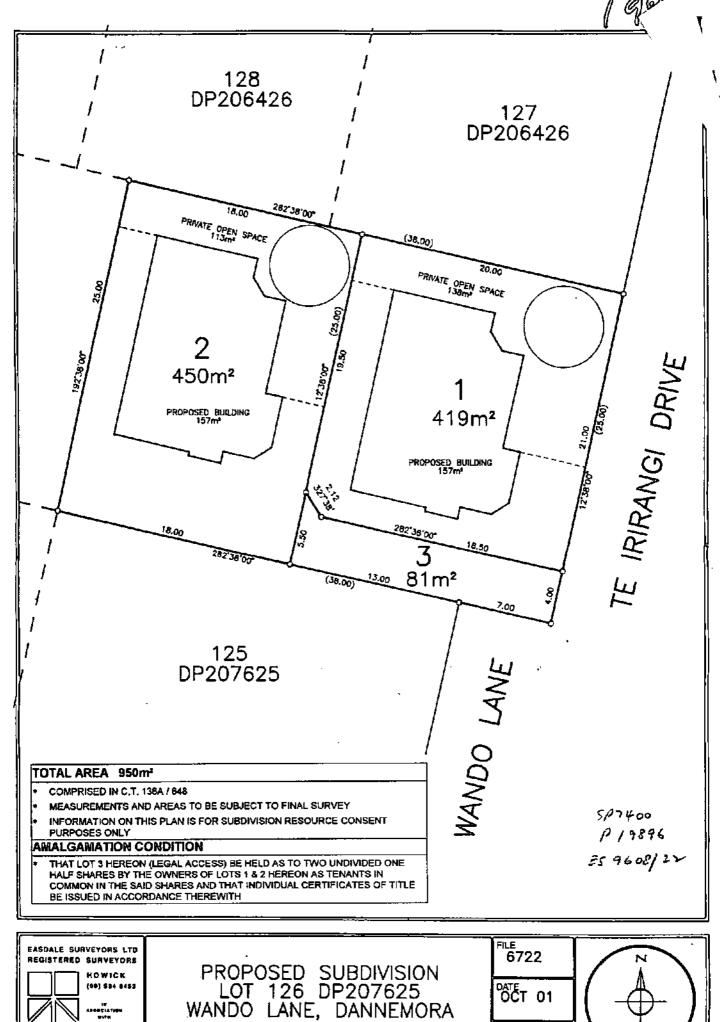
MANUKAU CONSENTS

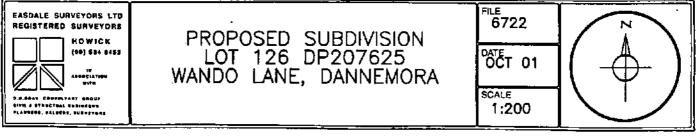




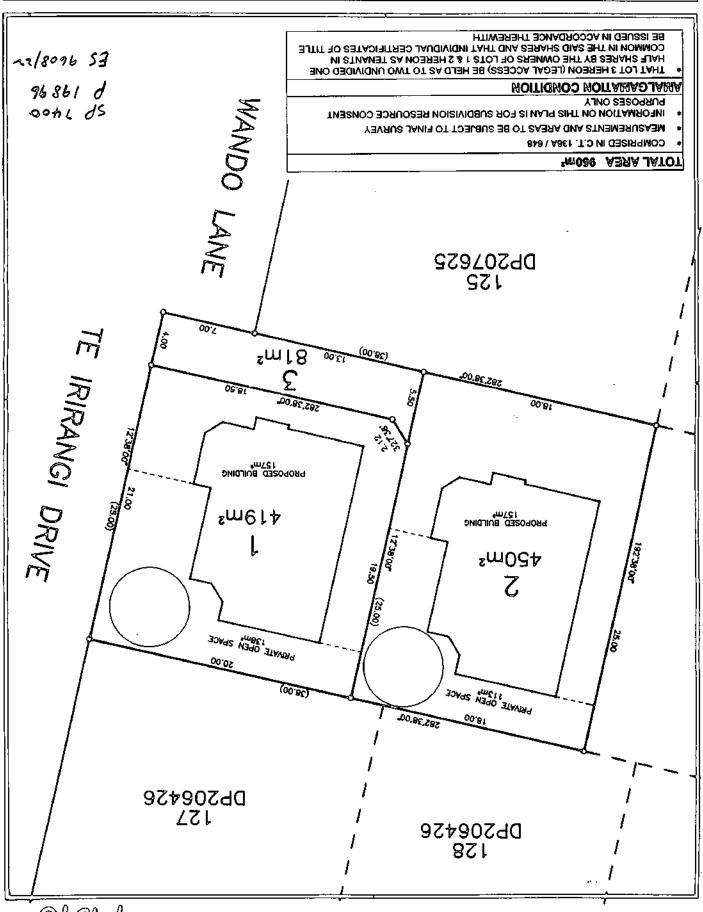
MANUKAU CONSENTS RESOURCE CONSENT COMPLETION REVIEW

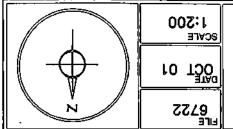
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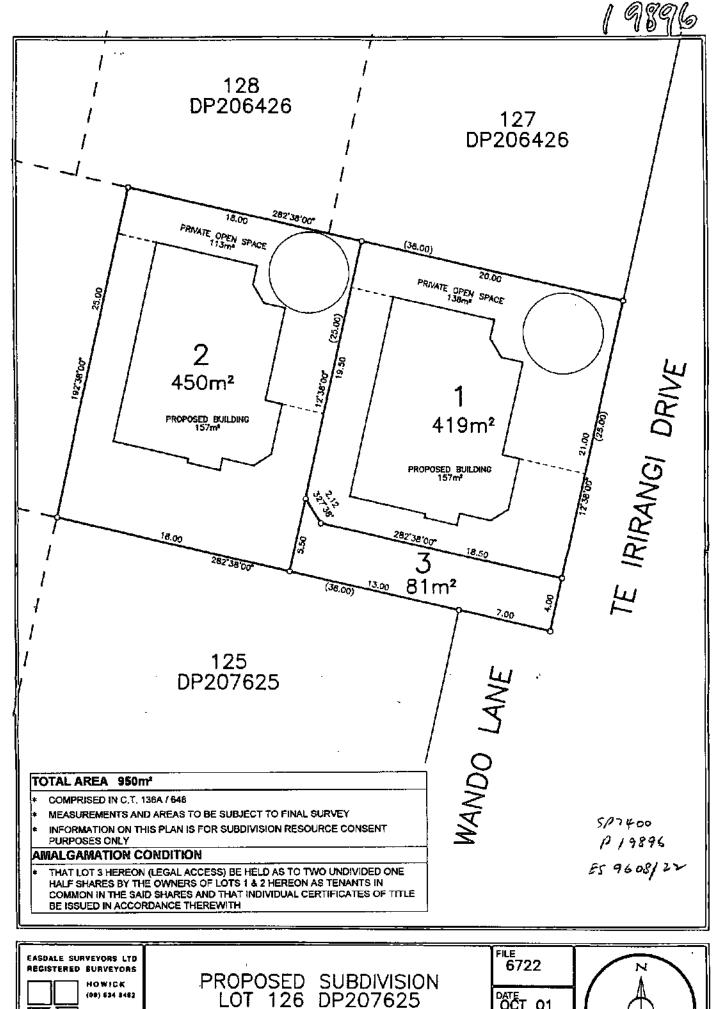
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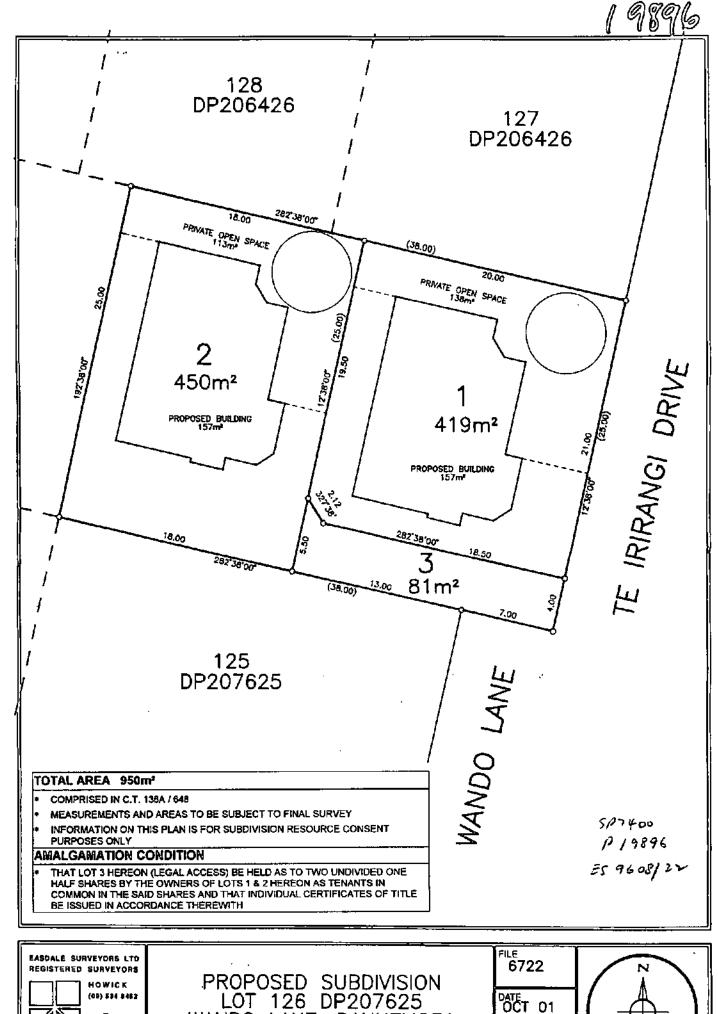


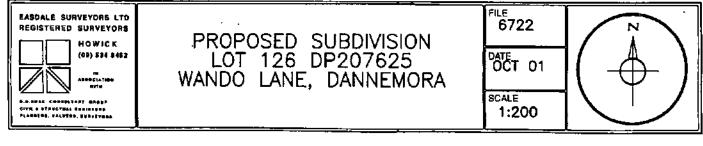
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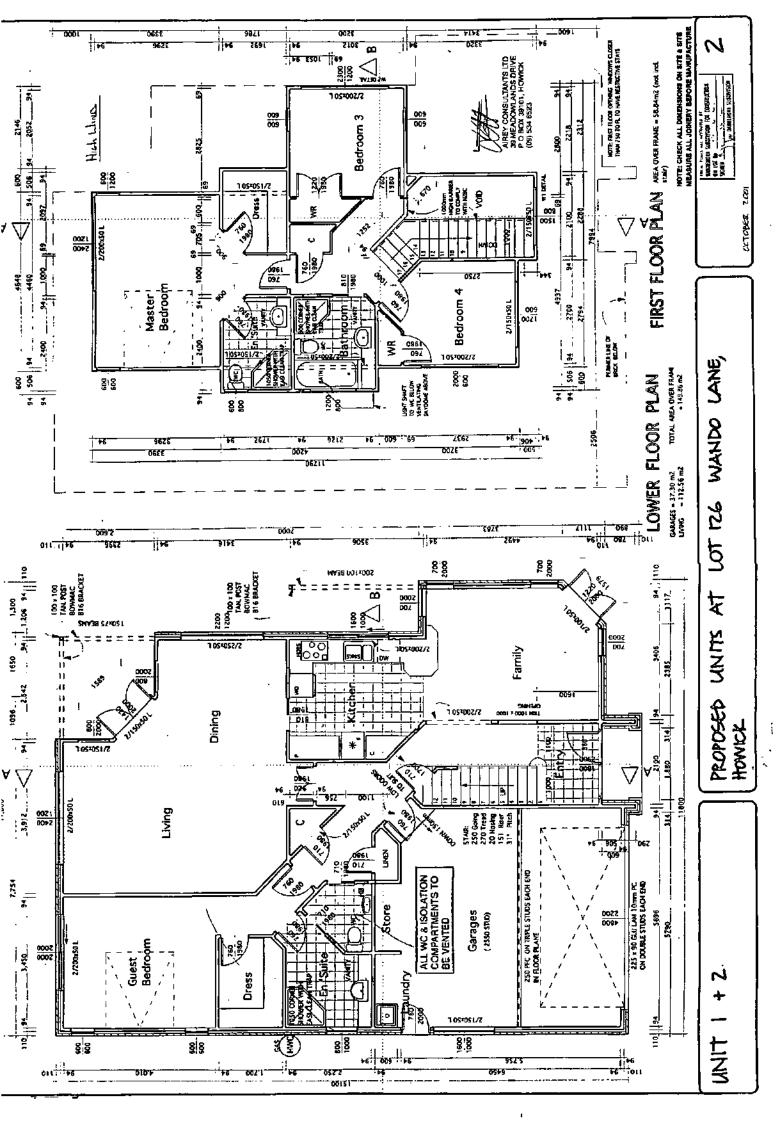




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PROPOSSO UNITS AT UDT 126 WANDO LANE, HOWICH

CTOBER ON



Environmental Services

(ex

16 October 2001

R M McFarland 41 Glenmore Road PAKURANGA

Dear Sir

DECISION ON AN APPLICATION FOR AN INTEGRATED LAND USE AND SUBDIVISION RESOURCE CONSENT

Applicant

National Development Co Ltd

Application

Part A - Land Use Consent

- Non-complying Activity and Controlled Activity to construct two new household units on a site (Transitional & Proposed District Plans)
- Restricted Discretionary Activity to construct two new household units on two fee-simple lots, and in respect of the site coverage related to the dwellings on proposed Lot 2 exceeding the maximum requirement of 35% by 0.25%

Part - Subdivision Consent

 Non-Complying and Controlled Activity to subdivide the site into two fee-simple lots in accordance with the Land Use Consent already granted in Part A (Transitional & Proposed District Plans)

Location

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10 Feeny Crescent, Otara

Legal Description:

Lot 199 DP 206426

Proposal No

19679

Zoning

Future Development (Stage 1) – Transitional District Plan

Main Residential - Proposal District Plan

PART A -- LAND USE CONSENT

I wish to advise that consent for the land use component of the above application was granted on 16 October 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

Reference: SP 7357, ES 9602//10, Proposal 19679 Facsin Enquiries to Mike Pritchard Exten

CONDITIONS OF CONSENT

General

)

- That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing, and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application and numbered 19679 by the Council.
- 3. That no less than 30% of each of the proposed two lots shall be laid out in grass and/or planting and that one specimen tree of size PB 95 shall be planted in each of the proposed lots at the completion of construction and prior to the occupation of the units.
- 4. That all driveways and reverse manoeuvring areas shall be formed in all-weather dust-free surface and provided with stormwater control at the completion of construction and prior to the occupation of the dwellings on the site.
- 5. Power, gas and telephone services shall be installed underground to provide service connections to both proposed units. This connection shall be at the road boundary. The service connection shall be located entirely within the covenant boundaries of that building site being served.

REASONS FOR THE LAND USE DECISION

- The application merits a consent pursuant to Sections 104, and 105 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives and policies of the Operative Transitional Plan for Manukau and the Manukau Proposed District Plan.
- The proposed layout of the site will provide for satisfactory on site amenity while preserving the amenity values of surrounding properties and the general streetscape and residential characteristics of the area.
- 3. The effects of the proposal on the environment will be no more than minor and can be further mitigated through conditions of consent.
- 4. The proposal is an efficient use of the site in an area already zoned for residential purposes.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project information Memorandum and building consent if you have not already done so.

- 3. A copy of this consent and the associated approved drawings must accompany your application for a Project Information Memorandum and Building Consent. Failure to do so may result in unnecessary delay in the processing of your application.
- Each building/allotment is required to be individually metered for water supply. Please note
 that the application for a water meter is a separate application and the installation of a
 water connection is not part of this consent.
- Council's Land Information Register records details with respect to minimum floor levels and foundation design for buildings on these lots. Please refer to your Project Information Memorandum (PIM).

PART B - SUBDIVISION CONSENT

I wish to advise that consent for the subdivision component of the above application was granted on 16 October 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being complied with to the satisfaction of Council and at no cost to the Council:

General

- That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.
- 2. That the subdivision shall be in general accordance with the plans submitted with the application, and numbered 19679 (SP 7357) by Council.
- 3. That should building precede application for Council's approval pursuant to Section 223 or 224 of the Act "as-built" plans prepared by a Registered Surveyor shall be submitted certifying the actual location of any constructed buildings in relation to the proposed boundaries and demonstrating compliance with the Land Use consent, numbered 19679. In this regard the applicant is responsible for accurately positioning the buildings in terms of the approved resource consent plans.
- Any private drainage shall be shown by plan and certified to be fully contained within the lot it serves.
- Power, gas and telephone services shall be installed underground to provide service connections to both proposed lots. This connection shall be at the road boundary. The service connection shall be located entirely within the boundary of the lot being served.
- 6. A reserve contribution of \$7,290.00 (incl GST), being 6% plus GST of the assessed average current market value for Lots 1 and 2 shall be paid within two years or before the Section 224 certificate is issued for the subdivision, whichever is the sooner.
- All conditions are to be fully complied with, the Land Transfer plan number notified to the Council, and a copy of the survey plan (showing co-ordinates) is to be supplied before a certificate is issued pursuant to Section 224 of the Act.

REASONS FOR SUBDIVISION DECISION

(a) The application merits a consent pursuant to Sections 104 & 105 and 405 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives, and policies of the Operative Transitional District Plan for and the Manukau Proposed District Plan.

- (b) A Land Use consent for two units on the site identifying the specific buildings has been granted within Part A of this consent.
- (c) It is considered that the effects of the proposal on the surrounding environment will be no more than minor.
- (d) The proposed development will promote the sustainable management of this land resource by enabling people and communities to provide for their health and well-being while maintaining and enhancing the amenity values of the surrounding environment.

ADVICE NOTES

J

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it may be necessary for you to apply for a Project Information Memorandum and a building consent if you have not already done so.
- 3. A copy of this consent and the associated approved drawings must accompany your application for a Project Information Memorandum and Building Consent. If not supplied unnecessary delay may occur in the processing of your application.
- 4. Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.
- Council's Land Information Register will record for Lots 1 and 2 the existing consent notice on the underlying land containing information with respect to minimum floor levels and foundation design requirements for this site. Refer to your PIM.

COSTS

- The resource consent deposit of \$562.50 has been deducted from the total fees payable on the accompanying invoice.
- In addition to the consent charge for this consent, and pursuant to Section 36(1)(c) of the Resource Management Act 1991, an engineering administration and inspection charge, relating to the engineering conditions of the Resource Consent will be applicable together with administration charges relating to the release of the subdivision as fixed by determining all reasonable and actual costs incurred by Council. The actual charges incurred in the Council's field monitoring of the engineering works will be determined at the completion of works and will be payable prior to release/completion. The applicant will be advised of the charges as they fall due.
- 3. The aforementioned fee is in addition to the normal fees and requirements as imposed by the Manager Building Consents to the Building Consent.

RIGHT OF OBJECTION

Within 15 working days of receipt of this decision (commencement date stamped below) you may lodge an objection to the decision pursuant to Section 357(2) of the Resource Management Act 1991. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any future correspondence, building consent applications, or enquiries relating to this consent, could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

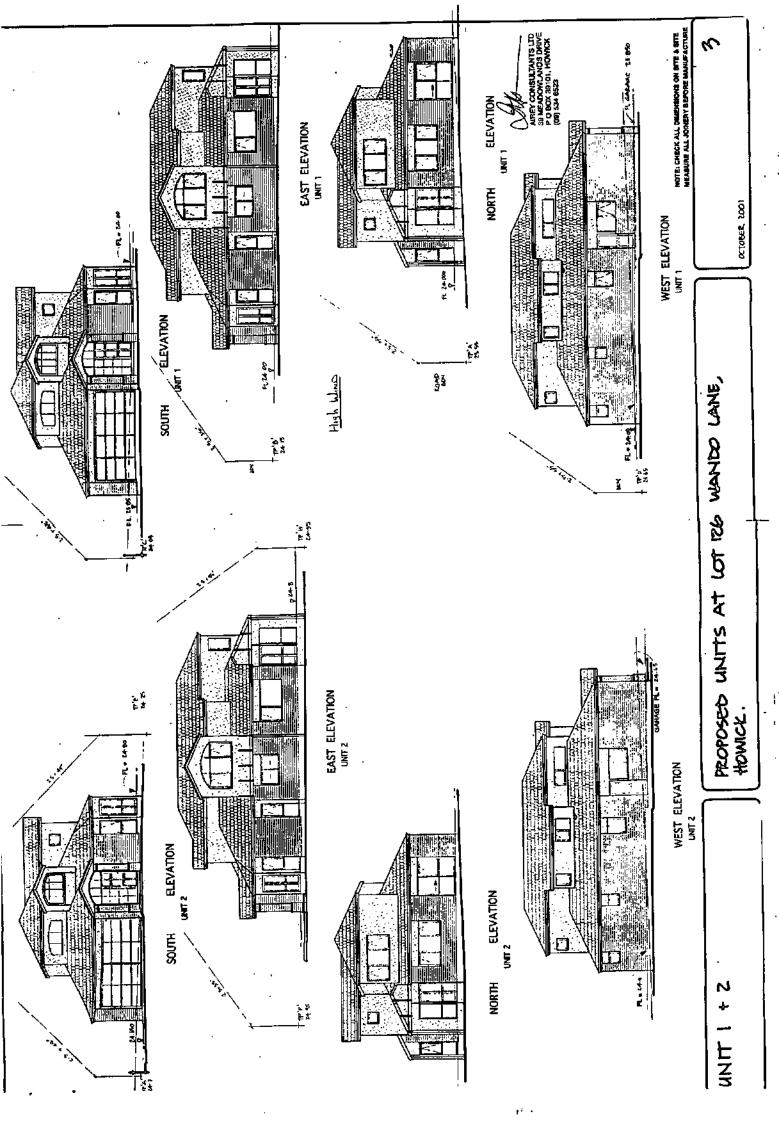
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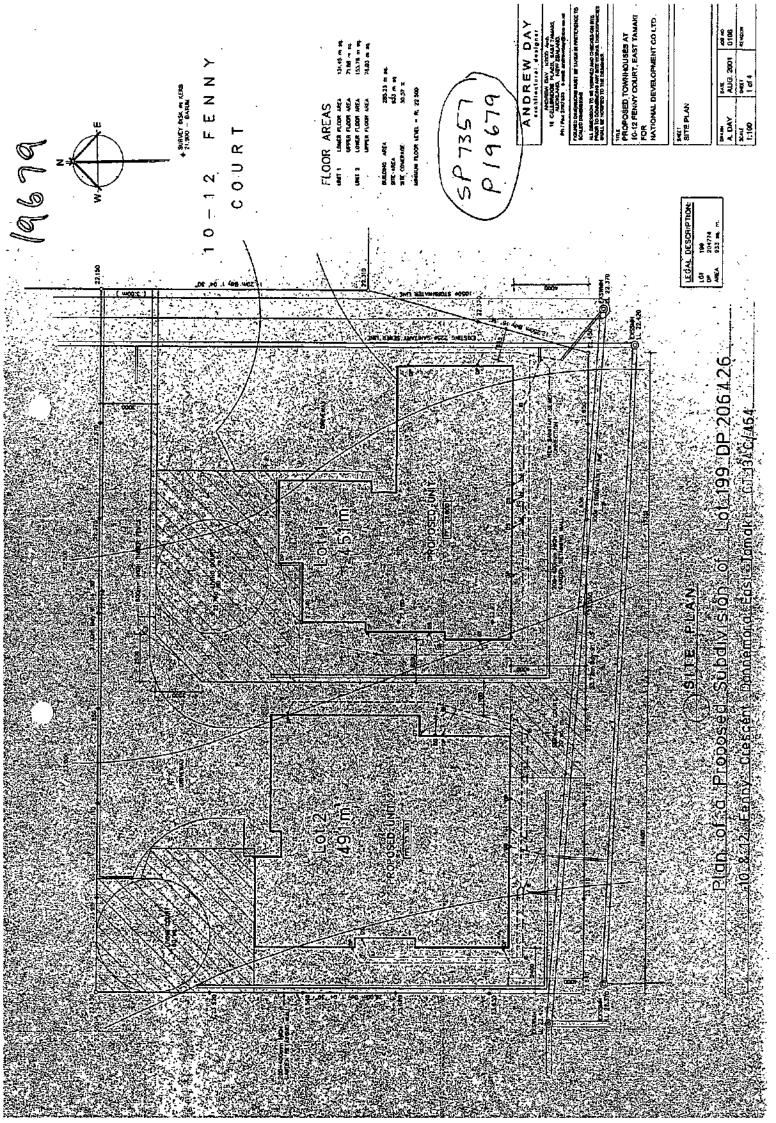
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Robert Chieng

Team Leader - Resource Consents

MANUKAU CONSENTS





DETERMINATION AS TO WHETHER A RESOURCE CONSENT APPLICATION SHOULD BE NOTIFIED OR NON NOTIFIED UNDER SECTION 94 OF THE RESOURCE MANAGEMENT ACT 1991

(a) REFERENCES:

National Development Co Ltd 10 Feeny Crescent OTARA



SP 7357 Proposal 19679

CONTROLLED ACTIVITY WHERE THE DISTRICT PLAN DOES NOT PROVIDE FOR NON-NOTIFICATION

(b) EFFECTS ASSESSMENT:

Possible Effects	Magnitude	Extent of	Mitigation/Neighbours Consent/
	of Effect (1)	Effect (2)	Other Comments (3)
Flora and fauna	Nil	Nil	The site is relatively clear with a slight
İ		ĺ	slope down towards the road frontage
			and undeveloped with no trees or other
			significant vegetation.
Landscape	LN	WP	Minimal earthworks are associated with
'			this application necessary to establish
	İ		suitable building platforms. The effects of
	İ		these earthworks will be minor and are
			below the threshold of 200m ³ requiring
			restricted discretionary activity resource
			consent.
Water bodies	Nil	Nil	
Site stability	Nil	Nil	
Chadauina/C:1:-b4	Nil	Nil	Both proposed dwellings are double
Shadowing/Sunlight	l ' '''		storied and comply with the HRB
			requirements for both District Plans. As
			such any effects on neighbouring
			properties resulting from the shadowing
	!		of the buildings is considered to be no
			more than minor.
<u> </u>	LN	AS	Both proposed dwellings are double
Privacy		,	storied that will not overlook adjoining
			properties and are not considered to
			have any adverse effects on the privacy
			of neighbouring sites. The private open
	ļ		space areas for both units are located in
	į		a complying position on the northern side
			of these units.
	 	ASB	
Visual	LN	A9B	It is considered that the proposed new dwellings will be similar in appearance to
			other existing dwellings in the local
			vicinity and will not detract from the
			visual aesthetics of the surrounding
			environment. The dwellings are brick
			veneer buildings with concrete tile roofs,
			considered to be consistent with other
			residential buildings in the
	N.I.	3. 121	neighbourhood.
Amenity/Character	Nil	Nil	The style and layout of the proposed
			dwellings is not considered to detract
			from the amenity or character of the
			area. Other new dwellings in the
			surrounding area are generally of similar

			brick (veneer) and tile construction, as well as scale and design. The site is part of a recent subdivision with other sites in the surrounding area zoned for residential purposes. Any effects resulting from the proposal on the amenity and character of the area are
		AS	considered to be minimal. During the period of construction only.
Noise	LN		During the period of construction only.
Smell	Nil	Nil	
Pollution	Nil	Nil	
Infrastructure	LN	ASB	The proposal adequately provides for stormwater and sewage disposal and all other servicing requirements. A condition ensuring that the power, telephone and gas connections be installed underground to the individual lots will be attached to any consent granted.
Traffic and Parking	LN	AŞB	The proposal complies with the parking and access requirements of both district plans. It is considered that the application will result in no more than a minimal increase in traffic movements.
Cultural	Nil	Nil	
Socio-economic	LP	WP	Efficient design and use of the site provides socio-economic benefits for the prospective tenants of the household units.
Dominance of buildings	LN	ASB	In terms of the total maximum site coverage the proposal does comply being 30.2%. The re-subdivision of the subject site creates one non-complying individual lots, Lot 1 is 29.1 % and Lot 2, 35.2%.
Open space	Nil	Nil	The private open space requirements for the application are complied with.
Other (specify)	Nil	Nil	

Overall, the adverse effects are no more than minor.

Key	y:			1			
(1)	State magnitude	e of effects as:		(2)	State extent of effects as:		
		High Positive:	HP		Wholly Within Property	WP	
		Low Positive:	LP		Affecting abutting sites	AS	
	No Effect:	No Effect: NIL			Affecting abutting sites & beyond ASB		
		Low Negative:	LN		(if there is no effect on item in [1]	l. then do	
		High Negative:	HN		not enter item in [2])		
							

(3) If there are any adverse effects then state whether they can be mitigated or whether adversely_affected persons have given their approval.

(c) ADVERSELY AFFECTED PERSONS:

No written approvals have been sought as no persons are deemed to be adversely affected by the proposal.

(e) CONTROLLED / RESTRICTED DISCRETIONARY ACTIVITIES WHERE THE PLAN ALLOWS FOR NON-NOTIFICATION

(i) Rule that allows Non-Notification (set out the rule) or a Controlled Activity Subdivision Application.

5.2.2 Controlled Activity

Controlled activity applications will be processed as non-notified resource consent applications, where the Plan expressly permits consideration of the application without the need to obtain the written approval of affected persons or where written approval has been obtained from every person which in the opinion of the Council may be adversely affected by the granting of the resource consent unless, in the Council's opinion, it is unreasonable in the circumstances to require the obtaining of every such approval.

Controlled Activity Subdivision Rule 9.8.1.4

Applications for resource consent under Rule 9.8 as controlled or restricted discretionary activities may be considered without notification or the need to obtain the written approval of affected persons in accordance with section 94(1A) of the Resource Management Act 1991.

5.2.3 Discretionary Activities

Resource Consent applications for a discretionary activity will be processed as non-notified (unless otherwise stated), where the Council is satisfied the adverse effects on the environment are minor and the written consent of affected persons has been obtained, however the requirement for such written consent may be waived by Council where it considers it unreasonable in the circumstances to require the obtaining of every such approval.

Rule 5.2.4 states.

Non-complying activities are activities that do not comply with the provisions of the Plan, but are not specifically prohibited. An application for a non-complying activity shall be considered in terms of Section 105(2A) of the Act, which requires Council to be satisfied that any effects are minor or that granting consent will not be contrary to the objectives and policies of the Plan. The need for notification of applications for non-complying activities will be addressed in the same manner as discretionary activities.

(ii) Leaving the above rule to one side, do any special circumstances exist in relation to the application that require the application to be notified?

No special circumstances exist in regard to this application.

(iii) Comments

No further comments are necessary.

(iv) Conclusion

This application has been assessed as a non-notified application with no consents from affected parties requied.

(f) SPECIAL CIRCUMSTANCES

There are no special circumstances that require this application to be notified.

(g) CONCLUSION:

- (i) Taking into account the effects of the proposal, the adverse effect on the environment of the activity for which consent is sought will be minor.
- (iii) Special circumstances requiring notification do not exist.

(h) RECOMMENDATION:

(i) That for the reasons set out above, this application be processed without notice, pursuant to section 94 of the Act.

SIGNED: AV Com

Date: 15/16/01

Consent Co-ordinator

DECISION

Recommendation adopted under Delegated Authority

Team Leader - Resource Consents

APPLICATION FOR RESOURCE CONSENT NOT REQUIRING NOTIFICATION CONSIDERED UNDER DELEGATED AUTHORITY

National Development Co Ltd 10 Feeny Crescent OTARA

SP 7357 Proposal 19679

1.0 DESCRIPTION OF THE PROPOSAL

The applicant proposes to construct two double dwellings on the site, accompanied with a two lot fee simple subdivision. The proposal complies with all of the bulk and location requirements of the Manukau Proposed District Plan, with the exception of the site coverage related to the dwelling on proposed Lot 2 exceeding the maximum requirements of 35% by 0.2%. The total size of the subject site is 943m² and was created as part of the recent Dannemora subdivision. The proposed re-subdivision will create two lots being 451m² (Lot 1) and 437m² net (Lot 2).

The original underlying site is a front site and slopes gently to the east and is undeveloped and grassed being serviced from Feeny Crescent and to the south. Adjoining sites are all zoned for residential purposes and are at various stages of development.

The subject site has been serviced with individual public connections for two units. On the Property Information Register the soils on the site are classified as moderately expansive and any buildings will need to comply with specific engineering design (foundations) requirements noted therein. Furthermore there is a minimum floor level restriction to protect future buildings from effects of 1% AEP flood.

2.0 REASONS FOR THE APPLICATION

Part A - Land Use

This proposal for two household units on the site constitutes a Controlled Activity within the Main Residential Zone as specified in rule 13.10.1 of the Manukau Proposed District Plan. In addition, as the individual Lot 2 does not meet the percentage site coverage requirement by 0.2%, the proposal is assessed as a restricted discretionary activity within the Proposed District Plan. The site is zoned Future Development Stage 1 under the Transitional District Plan for Manukau.

Part B - Subdivision Consent

The applicant also seeks consent for a fee simple subdivision to create two allotments, which constitutes a Controlled Activity within the Manukau Proposed District Plan under rule 9.8.2.2 (v). Each lot meets the minimum frontage requirements applicable in the zone. Both proposed lots are over 400m² net in area size.

3.0 PLAN PROVISIONS

(a) Relevant Provisions (include objectives and policies).

Proposed District Plan

Rules: 13.10.1,13.11.1.3,13.12.1, 13.13.6.1, 9.8.2.1, 15.15.2.3.3.1,

Objectives: 13.3.1, 13.3.3

Policies: 13.4.2, 13.4.3, 13.4.5, 13.4.6

(b) Assessment Criteria

Proposed District Plan

13.11.2.1, 13.12.1 (Construction, Erection, or Alteration of any one or more buildings for the purpose of providing two new or 1 additional household unit on land zoned Main Residential), 8.11.7 (Access Arrangements).

(c) Conditions the Plan requires to be imposed

Rule 9.10 Rules - Matters for Control: Controlled Activities

Council reserves control over the following matters for controlled activity resource consent applications for land modification, development and subdivision, and <u>may</u> impose controls in respect of each:

- Control of stormwater and sub-surface water, including overland flowpaths
- Avoidance of mitigation of natural or man-made hazards
- Protection of any natural or man-made heritage features, including native or riparian vegetation
- Design, dimensions and construction of roads, linkages, service lanes, private roads, private ways, and cycleways, bridle trails and recreational walkways, and the integration of roading and other access with the transportation network including road access to other land.
- The provision and design of public utility services (including financial contributions) of a sufficient standard and capacity provided in an orderly basis to meet likely future activities in the catchment area, including any outlets to or connections with public systems.
- The provision and design of effluent disposal systems and maintenance.
- Size, shape and disposition of any lot, including public open space, esplanade reserves and esplanade strips.
- Granting of easements
- The creation of vacant lots and defined areas in relation to existing buildings.

Rule 13.12.1.1 of the Manukau Proposed District Plan states that:

Council reserves control over the following matters in respect of the above activity 13.12.1 and may impose conditions in respect of each;

- (a) Council reserves control over the following matters in respect of the above activity 13.12.1 and may impose conditions in respect of each:
- (b) Servicing, including stormwater drainage, water supply and sewage disposal.
- (c) Attenuation of Aircraft Noise, Rules 17.6.11.10 and 17.6.12.1 apply. Refer Chapter 17.6. Airport Activities.

Rule 13.13.6.1 of the Manukau Proposed District Plan relating to site coverage, Council restricts its discretion to the following matters:

- (a) Scale and Bulk
- (b) Landscape Elements
- (c) Design and External Appearance

Rule 15,15,2,3,3,1

A reserve contribution may be required as a condition of a subdivision consent for residential purposes, the total value of which shall not exceed 6% of the assessed market value of the additional sites created by the subdivision.

4.0 STATUTORY CONSIDERATIONS

Section 5 (part II) and Sections 104 and 105 of the Resource Management Act will need to be considered in the application. In addition Section 108 which deals with conditions of consent will also need to be considered with respect to those matters of restricted discretion, and control.

5.0 AFFECTED PERSONS' APPROVALS (SECTION 94 OF THE ACT)

The attached Section 94 assessment report concluded that no written approvals have been sought as no persons are deemed to be adversely affected by the proposal.

Accordingly, the application is being processed on a non-notified basis.

6.0 ASSESSMENT OF THE APPLICATION

6.1 Assessment criteria of the District Plan

Land Use Assessment

The proposal to construct two new residential dwellings on a site is a controlled activity as is the simultaneous proposal to subdivide the site by way of a two lot fee simple subdivision. As mentioned above the proposal would also be assessed as a restricted discretionary activity because the proposed Lot 2 does not meet the 35% percentage site coverage requirement by 0.2%

The site coverage for Lot 1 is 29.2%, and for Lot 2 the site coverage is 35.2% exceeding the requirement by 0.2% and the total site coverage is 30.2%.

It is considered that the non-compliance related to Lot 2 site coverage aspect of the proposal will not adversely affect the amenity or streetscape values of Feeny Crescent for the prospective residents or adjoining neighbours given the that infringement involved is minor. Any effects resulting from the infringement can be adequately mitigated by a landscaping condition imposed on any consent granted. In addition the general design and external appearance of the proposed dwellings (as described below), will be enhancing and in general accord with the surrounding properties.

Design and External Appearance

Sites in Feeny Crescent are progressively being developed for residential purposes. As previously mentioned the dwellings proposed will be constructed with a brick veneer exterior and concrete tile roofing. It is considered that the dwellings will be in general visual accord with other buildings in the neighbouring area and are compatible with the residential zoning.

Site Layout

As discussed above, with the exception of the percentage site cover infringement of one individual lot, the proposal complies with the bulk and location requirements of both District Plans. The unit layout is considered to be an efficient use of the site zoned for residential purposes.

Private Open Space

The private open space areas provided for both new units comply with the size requirements. These private open spaces are located in relatively discrete locations on the north side of the dwelling. Units 1 and 2 private open space complies with the orientation requirements, have generous proportions and are located adjacent to the internal living areas providing good amenity for the occupants.

Landscape Elements

The proposal does not propose any landscaping however a condition of consent will ensure that at least 30% of each site is landscaped in grass and planting and that one specimen tree be planted per household.

Access to the site

The proposal provides for separate access to the each of the proposed dwellings. A condition of consent ensuring that all driveways and manoeuvring areas are formed in an all-weather surface and stormwater run-off controlled will appropriately minimise any adverse effects that the proposal may have on adjoining neighbours.

Traffic movements in Feeny Crescent are intended to be moderate and as such the proposals effects on traffic movement and safety are considered to be minor.

Servicing

The site has been serviced for two household units as part of the underlying subdivision, thus no condition will be required for sewerage reticulation. Although a general engineering condition relating to power, telephone and gas will be included with any consent granting the application.

Reserve Contribution

A reserve contribution of 6% + GST of the assessed value of the additional site created is considered to apply to this application.

6.2 Objectives and Policies

The objectives and policies of both the Transitional District Plan and Proposed District Plan generally seek to provide for diversity and to allow development that maintains and enhances aesthetic qualities and amenity values in the residential environment. In particular Policy 13.4.5 states:

Buildings and other structures in residential areas should be designed and/or located in such a way as to:

- (a) respect any existing aesthetic qualities in the built form such as proportion, scale, style, unity and coherence;
- (b) contribute the visual amenity of the streetscape;
- (c) enable reasonable on-site amenity, including privacy and access to daylight and sunlight;
- (d) avoid, remedy or mitigate adverse effects on the acoustic environment; and
- (e) protect any identified heritage qualities in the residential neighbourhood.

The proposed subdivision is consistent with the objectives and policies of Chapter 9 which seek to enable subdivision provided that the environmental qualities and character of the area are preserved and any adverse effects are avoided, remedied or mitigated.

It is considered that the proposal is consistent with the objectives and policies of both the Transitional District Plan and the Proposed District Plan.

6.3 Section 104 of the Act

This application has been assessed in terms of s104(1)(a) of the Resource Management Act 1991, which requires consideration of actual and potential effects on the environment, which has been addressed in paragraph 6.1 above. As such it is considered that the proposed development will have minor actual or potential adverse effects. Section 104(1)(d) also requires relevant policies and objectives of a District Plan or Proposed District Plan to be considered. This requirement has been fulfilled by paragraph 6.2 above.

6.4 Part II of the Act

This section requires consideration of Part II "Purpose and Principles" with the purpose of the Act being sustainable management. It is considered that the proposal complies with the relevant sections of Part II of the Act.

6.5 Section 105

Section 105 relates to decisions on applications. As the proposed development is a Restricted Discretionary Activity, Section 105,1(a), 2(a) & 3 of the Resource Management Act 1991 (below) are applicable.

- (1) Subject to subsections (2) and (3), after considering an application for:
 - (a) A resource consent for a controlled activity, a consent authority shall grant the consent, but may impose conditions under section 108 in respect of those matters over which it has reserved control:
 - (b) A resource consent for a discretionary activity, a consent authority may grant or refuse the consent, and (if granted) may impose conditions under section 108: Provided that, where the consent authority has restricted the exercise of its discretion, conditions may only be imposed in respect of those matters specified in the plan or proposed plan to which the consent authority has restricted the exercise of its discretion:
- (3) For the avoidance of doubt, when granting a resource consent for a controlled activity under subsection (1)(a), the matters described in section 104 shall be relevant only in determining the conditions, if any, to be included in the consent.

Section 105 (2)(A) of the Act states:

Notwithstanding any decision made under section 94(2)(a), a consent authority must not grant a resource consent for a non-complying activity unless it is satisfied that –

- (a) The adverse effects on the environment (other than any effect to which section 104 (6) applies) will be minor; or
- (b) The application is for an activity which will not be contrary to the objectives and policies of:
 - (i) Where there is only a relevant plan, the relevant plan; or
 - (ii) Where there is only a relevant proposed plan, the relevant proposed plan; or
 - (iii) Where there is a relevant plan and a relevant proposed plan, either the relevant plan or the relevant proposed plan

The proposed development is considered to meet both limbs of the threshold test embodied within this section of the Act.

It is considered that the proposed development will not have adverse environmental effects of more than a minor nature and that it is not contrary to the objectives and policies of the Operative and Proposed District Plans.

7.0 RECOMMENDATION

That consent be granted to this application subject to conditions specified below.

8.0 CONDITIONS & ADVICE NOTES

PART A - LAND USE CONSENT

General

- 1. That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing, and granting of this Resource Consent are paid in full.
- 2. That the development shall be in general accordance with the plans submitted with the application and numbered 19679 by the Council.
- 3. That no less than 30% of each of the proposed two lots shall be laid out in grass and/or planting and that one specimen tree of size PB 95 shall be planted in each of the proposed lots at the completion of construction and prior to the occupation of the units.

4. That all driveways and reverse manoeuvring areas shall be formed in all-weather dust-free surface and provided with stormwater control at the completion of construction and prior to the occupation of the dwellings on the site.

10

 Power, gas and telephone services shall be installed underground to provide service connections to both proposed units. This connection shall be at the road boundary. The service connection shall be located entirely within the covenant boundaries of that building site being served.

REASONS FOR THE LAND USE DECISION

- The application merits a consent pursuant to Sections 104, and 105 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives and policies of the Operative Transitional Plan for Manukau and the Manukau Proposed District Plan.
- 2. The proposed layout of the site will provide for satisfactory on site amenity while preserving the amenity values of surrounding properties and the general streetscape and residential characteristics of the area.
- The effects of the proposal on the environment will be no more than minor and can be further mitigated through conditions of consent.
- 4. The proposal is an efficient use of the site in an area already zoned for residential purposes.

ADVICE NOTES

- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse
 two years after the date on which it was granted unless it has been given effect to before the
 end of that period. However the Council does have the power to extend this period in certain
 cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it
 may be necessary for you to apply for a Project Information Memorandum and building consent
 if you have not already done so.
- 3. A copy of this consent and the associated approved drawings must accompany your application for a Project information Memorandum and Building Consent. Failure to do so may result in unnecessary delay in the processing of your application.
- 4. Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.
- Council's Land Information Register records details with respect to minimum floor levels and foundation design for buildings on these lots. Please refer to your Project Information Memorandum (PIM).

PART B - SUBDIVISION CONSENT

I wish to advise that consent for the subdivision component of the above application was granted on 15 October 2001 under delegated authority and pursuant to Sections 104, 105, and 108 of the Resource Management Act 1991 subject to the following conditions being complied with to the satisfaction of Council and at no cost to the Council:

General

1. That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.

- 2. That the subdivision shall be in general accordance with the plans submitted with the application, and numbered 19679 (SP 7357) by Council.
- 3. That should building precede application for Council's approval pursuant to Section 223 or 224 of the Act "as-built" plans prepared by a Registered Surveyor shall be submitted certifying the actual location of any constructed buildings in relation to the proposed boundaries and demonstrating compliance with the Land Use consent, numbered 19679. In this regard the applicant is responsible for accurately positioning the buildings in terms of the approved resource consent plans.
- 4. Any private drainage shall be shown by plan and certified to be fully contained within the lot it serves.
- 5. Power, gas and telephone services shall be installed underground to provide service connections to both proposed lots. This connection shall be at the road boundary. The service connection shall be located entirely within the boundary of the lot being served.
- 6. A reserve contribution of \$7,290.00 (incl GST), being 6% plus GST of the assessed average current market value for Lots 1 and 2 shall be paid within two years or before the Section 224 certificate is issued for the subdivision, whichever is the sooner.
- 7. All conditions are to be fully complied with, the Land Transfer plan number notified to the Council, and a copy of the survey plan (showing co-ordinates) is to be supplied before a certificate is issued pursuant to Section 224 of the Act.

REASONS FOR SUBDIVISION DECISION

- (a) The application merits a consent pursuant to Sections 104 & 105 and 405 of the Resource Management Act 1991 and granting consent will not be contrary to the rules, objectives, and policies of the Operative Transitional District Plan for and the Manukau Proposed District Plan.
- (b) A Land Use consent for two units on the site identifying the specific buildings has been granted within Part A of this consent.
- (c) It is considered that the effects of the proposal on the surrounding environment will be no more than minor.
- (d) The proposed development will promote the sustainable management of this land resource by enabling people and communities to provide for their health and well-being while maintaining and enhancing the amenity values of the surrounding environment.

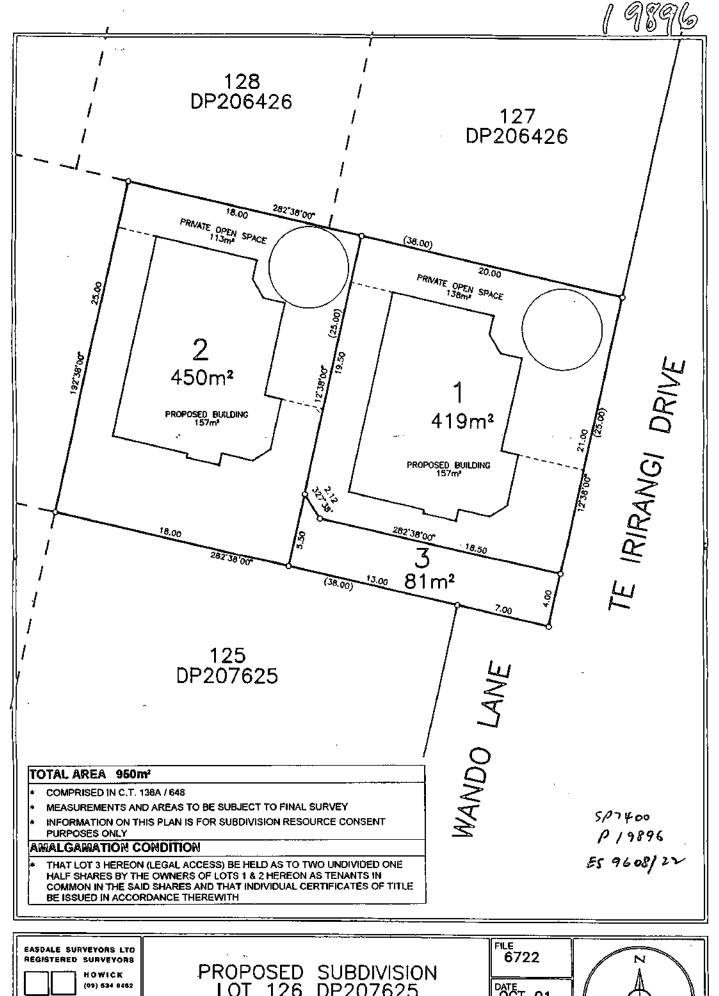
ADVICE NOTES

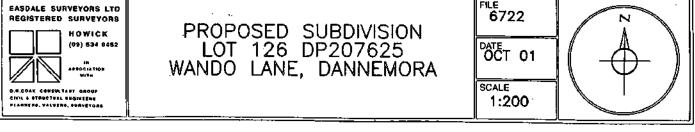
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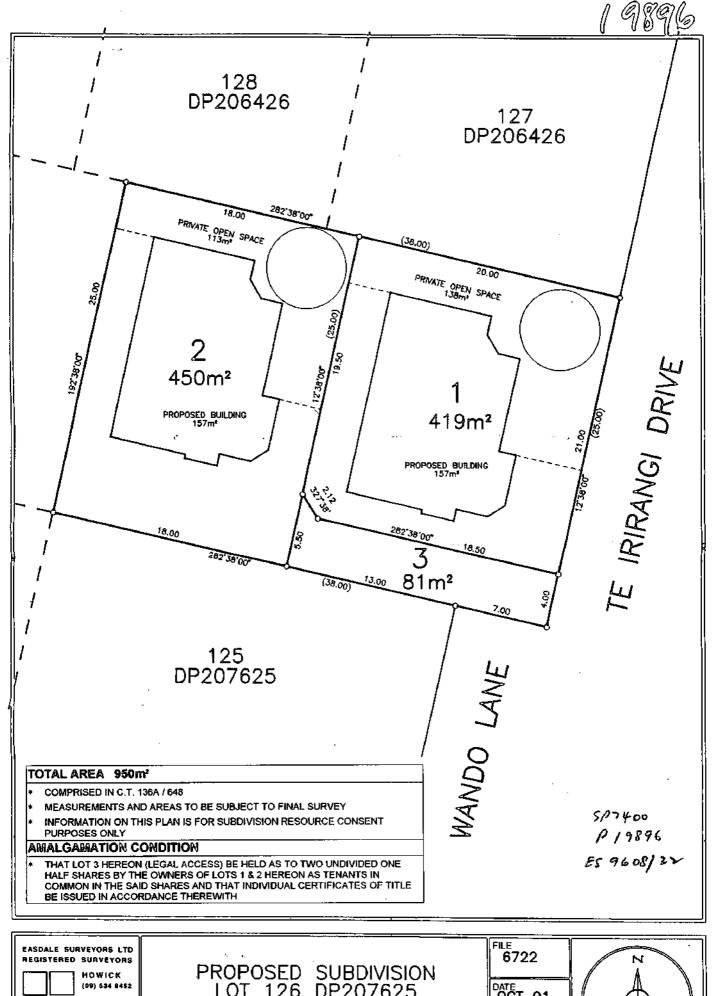
- In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.
- This consent does not constitute authority to build or undertake private drainage works and it
 may be necessary for you to apply for a Project Information Memorandum and a building
 consent if you have not already done so.
- A copy of this consent and the associated approved drawings must accompany your application for a Project Information Memorandum and Building Consent. If not supplied unnecessary delay may occur in the processing of your application.
- 4. Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.
- 5. Council's Land Information Register will record for Lots 1 and 2 the existing consent notice on the underlying land containing information with respect to minimum floor levels and foundation design requirements for this site. Refer to your PIM.

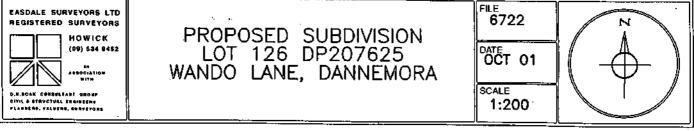
Team Leader - Resource Consents

Date: 15/10/01	Consent Co-ordinator
Date: 15/18/17	Team Leader - Resource Consents
been considered under Delegated Authority consent as a Controlled Activity and a Controll Consent is hereby granted in accordance with	Register (Minutes 10897/96), the above application had and has been determined as a non-notified resource led Activity within the Manukau Proposed District Plan. Part II and sections 104, 105 and 108 of the Resource
Management Act 1991. SIGNED	Date: (5/16/0/
Consent Co-ordinator DECISION	
Recommendation adopted under Delegated A	
/ () L	107101









WOOD & PARTNERS CONSULTANTS LTD CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. E. WOOD M.I.P.E.N.Z., E.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.





- 2 MAY 2000 IVI.C.C. RESOURCE COMPLIANCE

Our Ref: 3521/E1/224

10 April 2000

The Manager
Development Compliances
Manukau City Council
Private Bag 76-917
MANUKAU CITY

ATTENTION: MR COLLIN SINCLAIR

Dear Collin

RE: SP 6326 SUTTON EAST STAGE 1

Please find enclosed the completion documentation for Sutton East Stage 1 of the Dannemora Subdivision for Councils checking and acceptance. When you have satisfied yourselves that the documentation is in order, can you please issue the Section 224C Certificate for Stage 1 as soon as possible.

If you require any further information, please let us know.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

CLAYTON McKENZIE Registered Surveyor

15173R1

DANNEMORA SUBDIVISION SUTTON EAST STAGE 1 SP 6326 224 RELEASE APPLICATION INDEX OF CONTENTS

1A	Submission Letter
1	Engineering Release Documentation and Q.A.M. Forms.
2	Corrections Action List.
3	Schedule of work to be bonded for.
4	A cheque to cover in house Bond.
5	Foundation Completion Report.
6	Copy of Resource Consent approval and confirmation of condition compliance.
7	Copy of Engineering Approval conditions.
8	6 coloured copies of Certified As-Builts.
9	Certification of works.
10	Arrangement for connection to Manukau City Council Services by A.L.C.
11	Two copies of R.A.M.M.s forms.
12	Copies of Certified Beam results.
13	There is no limited Drainage servicing.
14	Overland flowpath addressed.
15	Right of Entry release confirmation.
16	Utility Certification for Telecom, United Networks and Orion.
17	Barter Invoice.
18	Results of Scala penetrometer tests on all roads.
19	Confirmation of Rainfall Simulation Tests.
20	Parks and Reserve Inspection of Tree planting.
21	Application for Water Meters for Traffic Islands.
22	Copy of Soil Conservation Consent from Auckland Regional Council.

Copies of Survey and Title Plans.

Schedule of Contribution payments.

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24

OBJECTIVE

Check subgrade strength and shape is suitable for design depth of metal

S.P. No
DEVELOPER
CONSULTANT
CONTRACTOR
SUBCONTRACTOR
DATE:

s suitable for design depth or met

to the change on the start

Bounds

SUBGRADE INSPECTION

PRE-MEETING TASKS	ORGAI	NISATIO	МС	ACTION REQUI	RED	Yes	No	N/A
Cor	tractor	(1)		subgrade & check metal depth			0	0
		(2) (3)	Check	subgrade for soft Elevation set out	areas	D D		0
Con	sultent `	(1)	Arrange	e for Soil Tests (a) CBR (b) Scala Penetro (c) B/Bearn (d) Other and ser Council for ap	nd to	a a	0000	0000
		(2)	Confirm	metal depth	•			Ö
		(3)		subgrade improv ures & proof rolling		t		
		·	(b) Add (c) Mate (d) Filte	a referenced litional Depth erial used r cloth used type bilisation		න් ට ට ට	0000	
			(0) 0.02	Lime K.O.B.M. Calcicon		_ 	0	9
		(4)	Pre-strir	ng subgrade		⋴.	a	
		(5)	Observe subgrad	e shape & consiste de.	ency o	a		
		(6)	inspecti	ecking above arra on with M.C.C. Ad tor of time		व ्	0	-
		(7)	Proof Re	ılıc				0
Cou		(i)	Confirm	design & subgrad ments		ď	0	Ċ
•		(ii)	Constru	ction depth check		~	_	
		(iii)	Advise F	Soil Tests Roads				

SITE	MEE	TING
IN A	TTENI	DANCE

Council

(I) L.D.C. (II)Roads

Consultant Contractor

	•		0.00	314 I.
(i)	Confirm subgrade improvements where required	D		41° 0 11/201
(ii)	String subgrade and confirm surface criteria	ď		
(iii)	Check underchannel drains exposed	ď		0
(iv)	Agreement to proceed with metal	o i	-	
	(a) Whole			.0
,	(b) Part (describe) (c) Further inspections	ď		
	required (d) Consultant to check any remedial work required	6		

Hurre de to Motol

Subbon /224

SP No	Sutton East Stage 1. SP 6326 Pap# 15173	OBJECTIVE Check subgrade strength and shape is suitable for design depth of metal
Developer Consultant Contractor Subcontractor Date	DANTONDA KOLDINGA S MODE PARNORS: KERRY DINES LTD:	FUTON FLOGAN CTD.
SUBGRAD	DE INSPECTION tasks	

Yes No N/A **Action Required** Organisation String subgrade and check design metal depth Ø Contractor (1) ፼′ Check subgrade for soft areas (2) Super-Elevation set out (3) Arrange for soil tests (1) Consultant (a) CBR (b) Scala Penetrometer **2** (c) B/Beam (d) Other and send to Council for approval Ø Confirm metal depth (2) Confirm subgrade improvement procedures proof rolling 仑 (a) Area referenced Æ (b) Additional depth Ø (c) Material used Ø (d) Filter cloth used type (e) Stabilisation 乜 Lime Ø **KOBM** Ø Calcicon **a** Pre-string subgrade (4) Ø, Observe shape and consistency of subgrade (5) After checking above arrange for inspection with MCC- advise contractor of time ₽ **2** (7) Proof Roll Confirm design and subgrade improvements Council (1) Construction depth checked against soil tests (2) Advise Roads (3)

SITE	MEETING
In Att	endance

R. Cont	RS Officer pading Officer practor ultant Color Poly Robot	/Ck.	/ 	
		Yes	No	N/A
(1)	Confirm subgrade improvements where required	₽		
(2)	String subgrade and confirm surface criteria	ø		
(3)	Check under channel drains exposed	Q		p
(4)	Agreement to proceed with metal (a) Whole (b) Part (describe) (c) Further inspections required (d) Consultant to check any remedial	D D	B 0 0	
	work required	Ø		

ITEMS TO BE PROVIDED / CORRECTED

No Action Required	Party to Action	Party to Accept	Acces Approved	otance Date
1. Thini submade un	Corde.	Consultans	Rlohung	17/1/00
hyper spotts (Rd4)				<u> </u>
		·		
Future Utility Operator Rep	Con	sultant / Contrac	tor	7 01 00 Date

OBJECTIVE

0 0 0

Final inspection and test water reticulation prior to being accepted by Council and connected to existing Council system

OD M.	6326 existi	ng Coi	ınçıı s	systen		
SP No Developer Consultant Contractor Subcontractor	MAN	NEV DE, 1	CAD HOLDINGS UN SFLITON MICHAN MARNERS VINES LID			
Date WATER RE	<u>، ۲۵۰.</u> TICU	LAT	ion			
FINAL INSPE Pre-meeting ta		I ANI) TEST			
Organ	nisation		Action Required	Yes	No	N/A
Cont	ractor	(1)	Complete all work	đ		
		(2)	Carry out successful pre-test	2		
		(3)	Check that pipes are in correct position to be joined to Council main	Ø		
		(4)	Backfill leaving bends and fittings exposed	Ø		
		(5)	Duct positions marked	ø	□	
Cons	ultant	(1)	Measure up for as-built and fix fittings, bends and ducts	図	0	
		(2)	Complete As-Builts	र्घ		
		(3)	Request Council to witness pressure test	d		
Coun	ıcil	(1)	Advise Water & Drainage			
		(2)	Check as-builts and process			
SITE MEETIN	NG	Cou	cil (a) BRS Officer	.		
		Can	(b) W & D Officer Les (sitted)	0		
		_	ractor Lives.	1. 4		_
		(1)	Inspect work, fittings, duct markings	<u>p</u> .		

Carry out pressure test

(2)

TOOG	CITT	MEETING	3
PUST	SHL	MICCILING	3

Contractor	(1) (2) (3)	Complete backfill on all lines and tidy up Install boxes and posts after topsoil respread Inspection of (2) at final inspection	0	000	
Consultant	(1)	Arrange connection to Council main			

ITEMS TO BE PROVIDED / CORRECTED

No	Action Required	Party to Action	Party to Accept	Acceptance Approved Date
1/	bande find astrolly of	Consultant	MW	
2/	Do ALC Lookips	ALI	MW	
3/	Set of value of FH boas	Contractor	MW-	
			-	

Future Utility Operator Rep	Consultant / Contractor	Date

MCC FILE REF 50 6326

ADDRE	<u>SS</u> :	Sattan East Stage 1 DATE:		• • • • • •	
			ME		
Presen'	т:	COUNCIL (i) Water & Drainage Rep (ii) Future Utility Operator/Manager CONSULTANT CONTRACTOR OTHERS (eg ARC, Watercare, Geotec etc)		••••••	
CHECK	(1)	Status of engineering approval (delete as necessary) ALL	/ PART		
	(2)	Site Safety Plan (OSH) in place inc. Traffic/pedestrian management as necessary	N/A	ок	U Not OK
	(3)	Insurances in place (Public Liability, etc)			
	(4)	Right of Entry confirmed for any work outside development boundaries inc open excavation permit for any road crossing (eg owner still the same)			
	(5)	MANARC approval for all materials			
`	(6)	Approval to start work			
	(6)	COMMENCEMENT DATE		·····	
	(7)	COMPLETION DATE			*******
	(8)	LIST OF PROPOSED SUBCONTRACTORS (INCL. ALC)			······
					••••••
WA	TER A	ND DRAINAGE REP CONSULTANT / CONTRACTOR DATE			
NO	TES				
					
_					•
	•				
_		· · · · · · · · · · · · · · · · · · ·			

677 PRECONST.DOC

R	
	OK Not OK
	NAME
	- College
N/A	OK Not OK D D D
	N/A

NO.	ACTION REQUIRED PARTY TO		PARTY TO	ACCEPTANCE		
		ACTION	ACCEPT	APPROVED	DATE	
V	Do ALC book ups.	ALC.	MiD			
7						
			·			
				-	 	
·						
			 			
· · · · · · · · · · · · · · · · · · ·			 			
			 -			
	1					
	0/1			<u></u>		

WATER AND BRAINAGE REP 677 FAW-INSP.DOC

CONSULTANT / CONTRACTOR

DATE

OBJECTIVE

Final inspection and test on sanitary sewer installation prior to Council taking over works and being declared "public drains"

SP No Developer Consultan Contracto Subcontra Date	r	<u>6</u>	Sattan ECIST Stage 1.			
SANITA	RY SEWER	DRA	INAGE			
FINAL II Pre-meeti	NSPECTION ing tasks	I ANI) TEST			
(Organisation		Action Required	Yes	No	N/A
(Contractor	(1) (2) (3) (4) (5) (6)	Flush out & test all lines Pre-test all manholes Check all manholes All backfilling completed, tidied up Pre-check on MH installation Provide Consultant with as-built information	00000	000000	000000
(Consultant	(1) (2) (3)	As-builts completed, checked and to Council Confirm contractor has completed 1-3 above Advise Council of test requirements	0 0 0		000
•	Council	(1)	Arrange test time and inform Consultant Watercare Services Water & Drainage	000	000	000
		(2)	Confirm as-builts received or on site			
SITE MEETING In attendance		Cons BRS Wate	tractor sultant - Officer er & Drainage Officer ercare Services .			
		(1)	Air-test all lines	₽		
		(2)	Inspect all manholes	₽		
		(3)	Note failures and arrange for re-tests	<i>9</i> ′		
POST SI	TE MEETIN	IG TA	ASKS	V	M-	3 974
	Contractor	(1)	Attend to any failures/rejects	Yes	No □	N/A
	Consultant	(1)	Observe (1) above and advise Council			

(2) Co-ordinate connections etc

	(3)	Arrange connection to suit existing Manukau City Council sewers	0	
Council	(1)	Arrange for MH inflitration test and / or re-test		
	(2) (3)	Check as-builts against design Floor level restrictions		
	(4)	Other		

ITEMS TO BE PROVIDED / CORRECTED

No Action Required	Party to Action	Party to Accept	Acceptance Approved Date
Y Do ALC Works	ALC.	NW	
3/ Consultant to shock	Casalone	NW	
clesion & hydronics			
11 35MH & M/ H L M/ U SKC			
		,	
-			-
			<u> </u>
-(1)			

_ 16.31		estelor.
Future Utility Operator Rep	Consultant / Contractor	Date

OBJECTIVE

Final inspection & test on stormwater reticulation prior to Council taking over works and

SP No Developer	<u> 62</u>	320	& Suttan	East	Se being decl	ared "Pu	blic D	Fains
Consultan				-				
Contracto	· -			-	•			
Subcontra				-	•			
Date				- 				
LAND I	DRAINAG	E						
FINAL II Pre-meeti	NSPECTION ing tasks	I AN	D TEST					
•	Organisation	Acti	ion Required		y	Yes	No	N/A
(Contractor	(1)	Flush out all lines					
·		(2)	Check all manhole	es .				
		(3)	All backfilling cor	npleted and	I lines tided up			
		(4)	Provide Consultar					
(Consultant	(1)	As-builts complete	ed, checked	and to Council	G		
		(2)	Confirm 1-3 abov	e completes	d by Contractor			
(Council	(1)	As-builts received	d or on site	•			
		(2)	Arrange test time	and advise	consultant			
		(3)	Advise Water & Dr	rainage				
SITE ME	EETING							
In Attend	ance		tractor					
		Con	sultant			 		
			S Officer			<u>}</u> }		
		Wat	er & Drainage Offic	ær	_ fer Cit	vsn		
		(1)	Jointly inspect all	lines manh	ole inlet and			
		(2)	outlet structures	111100, 11MA	ioio illot illo	DŽ.		
		(2)	Inspect secondary	flownaths		6		
		(3)	Check open water	_	houndary			
		(5)	upstream and dow		, , , , , , , , , , , , , , , , , , ,			
		(4)	Silt pond monitor	ingti Carri				
POST SI	TE MEETIN	G T	ASKS					
	Contractor	1)	Attend to any iten	ıs arising fi	om 1 - 4 above			
	Consultant	(1)	Observe (1) above	_				
	Council	(1)	Check as-builts ag					
•		(2)	Floor level restrict		-	Ö		
		(3)	Others			_		
		17/	~~~~			_		

ITEMS TO BE PROVIDED / CORRECTED

70000000	No	Action Required	Party to Action	Party to Accept	Acceptance Approved Date
	y	Provide fine as buts	Consultant.	MW	
Ĺ	4	lessive settlents hoke	Consultant/	NW	
7	· · · · ·	100 f 5 10 1500 f 5 10	Contractor		
F	3/	Clan out 1500 \$ 1200 p	Cabrota	MW	
	4/	Set lys of docpans for Savall	Calmeto	MW	
L	5/	sattaipath @ Tilgiona:	1*	r.	
-	6/	Esta step regulardia			` <u> </u>
F		DI SIMMI /			
E	ï				
		<i>J</i> 2			

Future Utility Operator Rep Consultant / Contractor Date

Do not bond this work or release 224 until remedial works have been resolved.

1

OBJECTIVE

Final inspection of total development site to ensure all works are completed or bonded for prior to acceptance by Council

SP No Developer Consultant Contractor Subcontractor Date	ASA M	onemaa logo - Sutton	(Co) (3)	
FINAL SITI Final Field I		SPECTION AND RELEASE			
(a) SITE FII In Attend		Contractor Consultant			
		Action Required	Yes /	'No N/A	
(1)	Checl	k all items which failed previous inspections	Ø	<u> </u>	
	(a)	Earthworks	Ø		
	(b)	Drainage	ਈ /		
		Sewer	· 🗷	_	
		Stormwater	ď		
	(c)	Water Reticulation	√Z		
	(d)	Roading			/
	(e)	Reserves			
(2)	Gene	eral	. : 7	• • • • • • • • • • • • • • • • • • • •	
	(a)	Surplus material removed	12		
	(b)	Drainage reticulation topsoiled and grassed	.♥		•
	(c)	Manhole lids level with surrounding area/clear of boundaries	स्		
	(d)	Carriageway and berms clear of rubbish	ر کھا '		
	(e)	Grass take on topsoiled areas	· z		
	(f)	Water reticulation, boxes and kerb markings in place	ຸ ⊄ ∕		
	(g)	Check Concrete paths vehicle crossings & drives for crac	ks 🗹		
٠.,	<u>.</u> (h)	Channel swept and cesspits empty of debris	e e		
	(i)'	Road surface acceptable			
	(j)	Fences erected where required	Ø		
	(k)	Warning sign at end of stage roads	E		
		Some tems bonded of) (Haub	/cont) sh

Final Field Inspection (cont)

	Action Required	Yes/	No	N/A
(1)	Restoration after telecommunication, electricity, gas, etc			
(m)	Right of entry releases		和	
(n)	Uncompleted items to be bonded for	` ⊿∕		
(o)	See details of Bond Schedule in Appendix No 6	Ø		

ITEMS TO BE PROVIDED / CORRECTED

	No	Action Required	Party to	Party to	Accepta	ance
^	200000000	()	/ Action	_J Accept	Approved	Date
Report /Smode		Complete botralty	lardiavolat	Mcc		
75.02	2	L BRIMS	ate.			
	3	Second all ceaps,	· ·			
Smales	+	Keplacer W/M Sour Jacob				
	Š	Countato besus Sual	a-e ,		-	
Swalens	Mark 6	Complete Planting Rose				
719864	7	Construct OFP FOLB	'			
. 4	8	Mosterbacks C.P. Ro	_र थ .			
ટ્રેપ્ટલ	9	Replace becking block C	P			
	10	Conshind OFP ROLL				
	_u	Complete being Rd.	4		-	
	12	Complete Completage				
	13	Complete clased trees.		,		-
	W	Topsoil islands	,		<u>j </u>	
	F.	Complete wall concret	hs '			
		ete around Off outlet				
	k	de de			214	.4.00
į	BRS	Rep	Cons	sultant / Contract	or T	Date
U	- 0 ()	Rep Oneplato finishing w	- L			
		mile di Kicaen	- ,			

Correction Action Forms to Come

MANUKAU CITY COUNCIL

REQUIREMENTS & PROCEDURES FOR LEGAL DOCUMENTATION FOR MINOR WORKS BONDS

As a condition of approving your application, the Council requires certain legal documents to be prepared. The form of the documents and the wording of the conditions to be secured shall be to the satisfaction of the Council.

- (a) The Council shall prepare these documents upon your:
 - (i) Accepting liability for the Council's legal fees and disbursements in this regard by signing and returning the attached copy of this notice; and
 - (ii) Paying to the Council a deposit on account of those legal fees; and
 - (iii) Providing a current search copy of the title or titles of the land involved; and
 - (iv) Providing the name and address of your solicitor if you wish the documents to be forwarded to your solicitor.
 - (v) Providing the name of the bondsman if a guarantor is required (a bank or insurance company acceptable to the Council).

	No instructions will be prepared until all these requirements have been met
(b)	As charges are calculated on the basis of the staff time involved, total charges will be contained by correct execution and prompt return of the documents.
	We
	ept the liability for the Council's administration costs, legal fees and disbursements, and request issue instructions to its solicitors accordingly.
Enc	losed:
(1)	The proposed Guarantor is: (if required)
	Name:
	Address:
(2)	My/our solicitor is:
	Name:
	Address:
(3)	I/we enclose:
•	(a) Cheque \$100 as deposit towards administration costs (cheques are to be made payable to the Council)
	(b) Current search copies of title or titles.
	Owner(s)

HARRISON GRIERSON CONSULTANTS LIMITED

Document Control Record Dannemora Holdings and Fulton Hogan Ltd

Project

Client

Dannemora Subdivision - Stage 1 Sutton Block, Manukau

Project No.

08.09261.5A

Document

Geotechnical Completion Report

ISSUE AND REVISION RECORD

Status/Revision No.

Set No.

Date of Issue

pril 2000

Originator

Engineering Technician

Checked

C K-Oldham

Geotechnical Manager

Approved

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Registered Engineer

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DANNEMORA HOLDINGS AND FULTON HOGAN LIMITED

Dannemora Subdivision - Stage 1

Sutton Block, Manukau

Geotechnical Completion Report

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DRAW	rings		
09261	-GE17 -GE18 -GE19	Depth of Fill and Compaction Control Tests Settlement Plates Monitoring Drainage Lines with Geotech Standard Backfilling	

April 2000

1.0 INTRODUCTION

This report presents the results of general earthworks undertaken by Kerry Dines Ltd during the 1998/99 and 1999/00 earthworks construction seasons at Dannemora Subdivision, Stage 1 of Sutton Block. Earthworks carried out on Stage 1 were concurrent with adjoining stages, which will be reported on separately.

Compaction control test locations, underfill drainage locations and extent of certified fill placed by Kerry Dines Ltd are detailed on drawing 09261-GE17.

This report covers Stage 1 - Sutton Block, being residential lots 1 to 27, 97 to 100, 102 to 135, 148 and 149.

2.0 PREVIOUS REPORTS

A geotechnical investigation of the Sayes Block prior to earthworks was undertaken and is detailed in FEL report 7410, dated 3rd September 1997. In the FEL report settlement was indicated as presenting a problem.

3.0 CONSTRUCTION EVENTS

Earthworks during the 1997/98, 1998/99 and 1999/00 construction seasons was undertaken by Kerry Dines Limited.

Construction supervision was carried out on an as required basis. In preparing the development area, all topsoil was stripped to stockpile. Unsuitable material excavated was also stockpiled on site and some, where suitable, was used as topsoil.

Earthworks equipment used on the site included the following (at various times):

- 2 x D8 towed Wedgefoot roller
- 5 x D8 towed Scoop
- 1 x Tracked Hydraulic Excavators
- 1 x CAT 15 Compactor
- 2 x Wabco 222 Elevator scrapers

4.0 EARTHFILL

The ground surface within the fill areas was excavated to remove all soft materials prior to filling. All soft material was removed leaving a sound surface. Subsoil drains were installed to pick up seepages in the gully floor.

Engineered fill placed on Sutton Block Stage 1 covers all or part of lots 1 to 27, 97 to 100, 102 to 135, 148 and 149.

Fill up to 4m deep was placed on Stage 1 at the site. Settlement within the engineered fill should be within acceptable limits. Density testing was carried out at the locations shown on the attached drawing 09261-GE17.

The field and laboratory earthworks compaction control and soil data presented in this report were obtained and produced on our behalf by **geolab**, air soil and water laboratory services,

which is a division of Harrison Grierson Consultants Limited. The Engineer consulted with laboratory staff regarding the timing and positioning of the compaction tests and re-tests where considered necessary. Where necessary the Engineer issued instructions to the contractor regarding the removal of unsatisfactory compacted material and/or further compactive or drying effort as required and as indicated by the test results.

Compaction tests were located and the positions are plotted on the accompanying drawing. Compaction control test results are tabulated in Appendix 1. Tests T1 to T47, T49, T51 to T60, T62 to T79, T81, T82, T87, T88, T92, T121 to T123, T126, T136, T138, T140, T141, T145, T146, T166, T167, T183, T184 to T186, T194 to T196, T201 to T203, T220, T221, T240 and T243 were undertaken on fill forming part of Stage 1 - Sutton Block.

Earthfill was placed in accordance with the requirements of NZS 4431:1989. "Code of Practice for Earthfills for Residential Development" and NZS 4404:1981 "Code of Practice for Urban Land Subdivision".

The specification used for the placing of fill materials is appended to this report as Appendix 2.

During the 1998/99 and 1999/00 construction seasons, approximately 125,000m³ of controlled compacted fill was placed on Sutton Block. All materials used for bulk earthfilling originated on the site. Compaction tests were carried out on the fill as it was placed.

Compaction control of earth fill placed on Stage 1 was carried out concurrent with adjacent Stages.

Of the 107 compaction tests carried out T23, T29, T30, T32, T42, T43, T45, T47, T51, T53 to T55, T58, T59, T62, T63, T67, T72, T81, T92, T121, T122, T138, T166, T195 and T196 all failed to meet the fill specification criteria. The failed area was reworked and retested as tabulated in Appendix 1.

In all cases, acceptance or rejection was at the discretion of the Engineer, after consideration of the results, type of soil being placed and effort given to compaction by the earthworks contractor.

NZS 4431:1989 requires compaction tests to be carried out in areas likely to yield the lowest values of in-situ dry density. Test positions were therefore selected visually. Failed tests generally require the whole area recently worked to be reworked. Retest locations are also selected visually for the likely lowest density value and due to the scale of the work these places will not coincide with the earlier failed test locations.

A small amount of organic material, roots etc., may have inevitably been included in the fill material, due to being picked up and deposited from the machine wheels or tracks. We believe however, that this material would be widely dispersed and would not have a detrimental effect on the quality of the fill material. The gully was excavated to remove all organic and soft materials prior to filling. In general, organic material was no more extensive than would normally be expected. All soft material was removed leaving a sound surface for the support of underfill drainage media and perforated pipes.

On the basis of the test results and our observations of the construction procedures, we conclude that the constructed earthfills as reported herein are acceptable and have been placed in accordance with the requirements of the New Zealand Standards mentioned

above. We also conclude that they were placed in accordance with the compaction criteria set out in the specification.

5.0 CUT AREAS AND NATURAL GROUND

Part of residential lots 105 to 108 are in a cut area. It is inferred that because only 0.3m of cut has been exposed the soils will have a safe bearing pressure of 100kPa, as defined in Appendix C of NZS 3604:1990

6.0 SETTLEMENT

In the geotechnical investigation report by FEL, settlement was identified as a potential problem and settlement monitoring was recommended. To action this recommendation, settlement plates were installed and monitored on a monthly basis. Monitoring results are presented on drawing 09261-GE18. No ongoing settlement of engineering significance was recorded.

It is therefore our opinion that for proposed buildings located at the site, settlement should not present a problem for buildings constructed in accordance with NZS 3604:1990, founded on shallow pads and strip footings, provided that the recommendations made in this report are adopted.

7.0 SERVICE TRENCHES

Deep trenches were excavated for large stormwater lines in lots 3 to 6, 10, 16, 17, 27, 130 to 132. Backfilling was monitored and tested by hand augers and shear vanes to a Fill Specification of a minimum undrained shear strength of 80kPa. Any material that did not achieve this criteria was reworked and retested to meet the Fill Specification. The Fill Specification was designed to prevent excessive settlement of trench backfill. The large stormwater lines that were backfilled with engineered fill along with hand augers are located as shown on drawing No. 09261-GE19. Borelogs are presented in Appendix 1 of this report. Building within 45° of the invert centreline of these pipes will be subject to specific design as per Manukau City Council requirements.

Service trenches (except for the large stormwater lines as discussed above) that have been excavated in the original ground have not been backfilled to the standard used for engineered fill. Backfill in these trenches was not specifically tested, but all will have been traversed by heavy plant in dressing off the platforms to final levels and spreading topsoil.

All services backfilled with non-engineered fill are located close to and parallel with boundaries and will probably not be built over.

8.0 SLOPE STABILITY ISSUES

There were no significant slope stability issues on Sutton Block.

9.0 EXISTING FILL

Non engineered fill was not identified in the Stage 1 area during the investigation, or encountered during earthworks. The Stage 1 area was stripped and earthworked. All unsuitable material, inclusive of any non-engineered fill if present, was removed during stripping operations.

10.0 CONCLUSIONS

As a result of our investigations, inspections, testing and evaluations as detailed in this report, it is our professional opinion that the cut and natural ground areas within Sutton Block is suitable for the construction of residential dwellings constructed in accordance with NZS 3604:1990.

It is our opinion that the filled areas of the subdivision, are suitable for the construction of residential dwellings constructed in accordance with NZS 3604:1990. Fill depths on this stage range up to 4m. Given the standard of compaction achieved, it is considered that any settlement should be within acceptable limits.

This certification does not remove the necessity for the normal inspection and design of foundations as would be made under normal circumstances in accordance with the relevant New Zealand Codes.

The following recommendations are made:

- If building foundation pressures exceed the recommended design bearing pressures, the foundation system should be re-appraised relative to the specific subsurface conditions at the particular building location.
- 2 Conventional shallow pad and strip footings (if adopted), for all proposed buildings should be founded at a minimum depth of 450mm below cleared platform levels (i.e. 450mm below the base of topsoil).

The professional opinion expressed in this report is furnished to Manukau City Council and Dannemora Holdings and Fulton Hogan Ltd for their purposes only, on the express conditions that it is not to be relied upon by any other person and on the understanding that where heavy or unusual constructions are proposed, then the building sites of concern will be specifically appraised by an engineer competent in geotechnical engineering.

This opinion should be read in conjunction with the remainder of this report.

Harrison Grierson Consultants Limited

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APPENDIX 1 COMPACTION CONTROL TEST RESULTS AND EXPLORATORY BOREHOLES

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE:

JOB No:

08.09261.4

			·		•									
COMMENTS		;										-		
RETEST	ş													netrameter, 1377:1975)
SHEAR	STRENGTH	V192+x4,158,132	V192+x6	V192+x4,178,169	V192+x6	V,191+x2,175,155	V,191+x3,182,175	V, 191+x6	V,200+x5,141	V,200+x4,144 137	V,200+x6	V,200+x6	V,174+x6	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vanc (kPa) in terms of BS; 1377:1975) Specific Gravity Reduced Level (metres)
A.V.		9.0 8.9	6.1	3.5	0.0	2.5	<u>ئ</u> ئ	4.6	4.2	6. t.	8 5.5 5.	5.5	7.5	- blows p by vanc
S.G.		2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68 2.68	2.68 2.68	2.68	2.68 2.68	2.68	ength (P strength Sravity Level (m
Pd		1390 1391	1443	1439 1440	1468 1467	1624 1625	1626 1626	1427	1496 1497	1248 1249	1532 1533	1496 1497	1408	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)
M.C.		28.2 28.2	27.7	29.7	30.2 30.2	22.7	25.1 25.1	34.8 34.8	26.7 26.7	4.1.5 7.1.5	22.4 22.4	25.9 25.9	28.4	S. S. G.
Pb		1782 1783	1843 1844	18 67 1868	1912 1911	1993 1994	2034	1881 1882	1896 1897	1767 1768	1875 1876	1883 1884	1808	
SOIL	CCOCKE HOLD	Siit, slightly clayey, light brown, moist	Siit, slightly clayey, light brown, occasional light grey, moist	Siit, slightly clayey, light brown, occasional light grey, moist	Silt, slightly clayey, light brown, occasional light grey, moist	Silt, slightly clayey, light brown	Silt, slightly clayey, light brown	Silt, slightly clayey, light brown	Silt, slightly clayey, light brown	Silt, slightly clayey, light brown	Stit, slightly clayey, light brown	Silt, slightly clayey, light brown	Silt, slightly clayey, fight grey and light brown, moist-dry	
۳. با						::	-7						<u></u>	/ (kg/m3) intent (%) (kg/m3)
DATE		12/2/98	13/2/98			16/2/98	<u>-</u>		17/2/98				18/2/98	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)
TEST	2	Ξ	72	£	<u>‡</u>	TS	T6	4	118	£	T10	Ξ	T12	Pb M.C. A.V.

INSITU DENSITY TEST RESULTS

SITE: SUTTON BLOCK, EAST TAMAKI.

JOB No:

08.09261.4

COMMENTS											Disced to dry and recompacted	
RETEST No											125	
STRENGTH	V,174+x3,162,143 123	V,174+x6	V,200+x4,134 129	V,200+x3,172 151,139	V,200+x2,169,165 158,155	V,200+x3,169,134 129	V,200+x4,173,142	V,200+x2,176,165 144,141	V,207+x2,150,137 135	V,207+x3,140,135	V,207+x4,70,56	V,207+x6
A.V.	1.7 8.1	4.2 4.1	-1.8 -2.0	0.5	-0.5 -0.6	0.4 0.4	2.0	4 6	0.6	-5.1	3.0 8.8	8. E.
တ် တိ	2.68	2.68	2.68	2.68	2.68 2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68
2	1325 1323	1482	1141	1438 1437	1525 1526	1289 1289	1382 1383	1389 1388	1365 1367	1176	1426 1427	1378
M.C.	36.9 36.9	27.3 27.3	51.9 51.9	31.9	28.6 28.6	40.6 40.6	33.6 33.6	34.8 34.8	35.5 35.5	52.1 52.1	30.1	32.5 32.5
€.	1813	1887	1734 1736	1897 1895	1961 1962	1812 1812	1847 1848	1872 1871	1850 1852	1788 1789	1855 1856	1826 1825
SOIL DESCRIPTION	Silt, slightly clayey, light grey and light brown, moist-dry	Silt, slightly dayey, light grey and light brown, moist-dry	Sitt, slightly dayey, light brown	Silt, slightly dayey, light brown	Silt, slightly dayey, light brown, moist	Silt, slightly clayey, light brown, moist	Silt, slightly clayey, light brown, molst	Silt, slightly dayey, light brown, molst	Silt, slightly clayey, light grey and light brown, moist	Silt, slightly dayey, light grey and light brown, moist	Sill, slightly clayey, light grey and light brown, moist	Silt, slightly clayey, light brown, moist
R.L.												
DATE			20/2/98		2/3/98	3/3/98	•		4/3/98			5/3/98
TEST	113	T14	115	T16	117	T18	T19	120	121	122	123	¥2,

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS; 1377:1975) Specific Gravity
Reduced Level (metres)

S.G.

Bulk Density (kg/m3) Maisture Canlent (%) Dry Density (kg/m3) Air Voids (%)

A Pd C.

S

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE

JOB No:

08.09261.4

TEST	DATE	R.L.	SOIL	Pb	M.C.	Pd	S.G.	A.V.	SHEAR	RETEST	COMMENTS
ON O			DESCRIPTION						STRENGTH	2	
T25	5/3/98		Silt, slightly clayey, light brown, moist	1874 1876	35.1 35.1	1387 1389	2.68	0.0	V,207+x2,185,177 165,121	123	
126	673/98		Silt, slightly clayey, light brown and light grey	1747	44.9 6.49	1206 1206	2.68	0.0	V,174+x2,156,138 132,120		
127			Silt, slightly clayey, light brown and light grey	1850 1850	31.7 31.7	1405 1405	2.68	6. Q	V,174+,171,166 132,125,120		
128			Silt, slightly clayey, light brown and light grey	1898 1899	28.7	1475 1476	2.68	2.6	V,174+x3,158,135 123		
129			Silt, slightly clayey, light brown and light grey	1892 1892	31.5 31.5	1439 1439	2.68	0.0	V,174+x4,65,52	T31	Disced to dry and recompacted
T30	973/98		Silt, slightly clayey, light brown and light grey, molst	1804 1805	31.1 31.1	1376 1377	2.68	5.9 5.8	V,207+x4,115,84	T37	Disced to dry and recompacted
T31			Sitt, slightly clayey, light brown and light grey, molst	1857 1858	40.1	1325 1326	2.68	-2.6	V,207+x2,189,175 158,153	T29	
T32			Silt, slightly clayey, light brown and light grey, moist	1815 1812	40.2	1295 1292	2.68	0.3 0.2	V,207+x2,171,101 91,70	T39	Disced to dry and recompacted
T33			Silt, slightly clayey, light brown and light grey, moist	1862 1862	32.3	1407	2.68	2.0	V,207+x4,135,130		
			Silt, slightly clayey, light brown and light grey, moist	1865 1866	29.7	1438 1439	2.68	3.6 9.6	V,207+x3,175,171 161		
135			Silt, slightly clayey, light brown and light grey, moist	1834	34.2 34.2	1367 1367	2.68	2.3	V,207+x4,192,189		
T36	10/3/98		Silt, slightly dayey, light brown	1850 1851	31.7 31.7	1405	2.68	3.1	V,207+x2,189,178 171,161	. –	
Pb M.C. Pd A.V.	Bulk Density (kg/m3 Moisture Content (% Dry Density (kg/m3) Air Voids (%)	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)			S S.G. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blov V - shear strength by va Specific Gravity Reducod Level (metres)	- blows _{ by vane etres)	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	netrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE:

JOB No:

08.09261.25

TEST	DATE	R.L.	SOIL	£	Σ. O.	P	S.G.	γ. Υ	SHEAR	RETEST	COMMENTS
Q.			UESCIAIP I I OIN						PICENCIA	CN	
T37	10/3/98		Silt, slightly dayey, light brown	1833 1835	¥ ¥ 0 0	1368	2.68	2.5	V,207+x2,150,147 140,133	E E	
T38			Sitt, slightly clayey, light brown	1808 1815	42.1 42.1	1272 1277	2.68	1.1.4	V,171,168,165 143,136,133		
T39			Sitt, slightly clayey, light brown	1808 1805	33.4 33.4	1355 1353	2.58 2.68	4.2 6.4	V,207+x4,189,182	T32	
T40			Silt, slightly clayey, light brown	1846 1846	32.5 32.5	1393 1393	2.68	2.7	V,207+x3,153,147 129		
T41	20/3/98		Silt, slightly dayey, light brown	1906	33.7	1426 1425	2.68	7 7 7 7	V,190,183,182 176,155,153		
142			Silt, slightly dayey, light brown	1785 1786	40.0	1275 1276	2.68	4 4	V,169,127,84 77,63,56	T45,48,50	Disced to dry and recompacted
T43	23/3/98		Sitt, orange brown, light grey mottles	1862 1863	36.6 36.6	1363 1364	2.68	-0.7	V,200+x3,99,77 70	T 51,50	Disced to dry and recompacted
1			Silt, orange brown, light grey mottles	1852 1854	31.5	1408 1410	2.68	3.1	V,200+x5,158		
T45			Silt, orange brown, light grey mottles	1861 1865	32.8 32.8	1401 1404	2.68	8; <u>t</u>	V,200+,186,177 132,106,83	T 42,48,50	Disced to dry and recompacted
T46	24/3/98		Silt, slightly clayey and clayey, light brown	1884 1885	28.7	1464 1465	2.68	3.4 3.3	V,200+x4,162 155		
T47			Silt, slightly clayey and clayey, light brown	1904	38.9 38.9	1371	2.68	4.4 6.5	V,141,125,115 113,111,100	T67,72	Disced to dry and recompacted
T48	·		Silt, slightly clayey and clayey, light brown	1875 1875	35.9 35.9	1380 1380	2.68	-1.0 -1.0	V,155,115,106 94,70,63	T42,45,50	Discoed to dry and recompacted
P. A. A. A. A. A. A. A. A. A. A. A. A. A.	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)	ity (kg/m3 content (% y (kg/m3) %)	9		S S.G. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)	- blows py vane by vane etres)	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	netrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE

JOB No:

08.09261,25

DATE	R.L.	SOIL	£	ပ <u>်</u> Σ	Pa	S.G.	A.V.	SHEAR	RETEST	COMMENTS
25/3/98		Silt, slightly dayey, light brown,	1873	29.2	1450	2.68	3.6	V,174+x6		
		maist	1874	29.2	1451	2.68	3.5			
		Sift, slightly clayey, light brown, and	1794 1794	37.7	1303	2.68	2.3	V,174+x2,136,135	T42,45,48	
		light grey, moist	1795	37.7	1303	2.68	2.2	123,121		
		Silt, slightly clayey, light brown, and	1663	39.4	1193	2.68	8.5	V,162,149,121,87	T43,57	Disced to dry and recompacted
		light grey, moist	1662	39.4	1192	2.68	8.5	71,52		
26/3/98		Sitt, slightly clayey, light brown, moist-dry	1878	46.0 46.0	1286 1285	2.68	-7.2 -7.1	V.174+x6		
		Silt, slightly dayey, light grey, moist	1777	33.8	1328	2.68	5.6	V,149,143,136	T55,61,71	Disced to dry and recompacted
			2 5	2 6	000	7.00	n 1	+0':8'0! I		
		oni, siighty dayey, iigin brown and light grey, moist	1848	29.4	1428	2.68	7.4	v. 165, 158, 156 123, 84, 65	<u> </u>	Disced to dry and recomparted
		Sill, stightly dayey, light brown and light prev. moist	1845	26.6	1458	2.68	6.9	V.174+x3,91,71	T53,61,71	Disced to dry and recompacted
		Som Con State	3	2.0.0	2	90.7	?			
		Siit, slightly dayey, light brown and light grey, moist	1873 1870	28.8 28.8	1454 1452	2.68	3.9 4.0	V,174+x3,149,145		
		Sift, slightly dayey, light brown and	1823	31.6	1385	2.68	4.5	V,174+x3,160,147	T43,51	
		light grey, moist	1823	31.6	1385	2.68	4,5	144		
		Silt, slightly clayey, light brown and	1835	38.6	1324	2.68	-0.5	V,158,156,145	T62,66	Disced to dry and recompacted
		light grey, moist	1836	38.6	1324	2.68	9.0-	113,84,80		
27/3/98		Sift, slightly dayey, light brown and	1798	35.7	1325	2.68	3.2	V,126,123,106	17.5	Disced to dry and recompacted
		light grey, moist	56/1	7.0	1325	8 74	3.2	97,65,58		
		Silt, slightly clayey, light brown and	1739	32.9	1308	2.68	8.1	V,174,169,166	154	
		light grey, moist	1740	32.9	1309	2.68	8.1	152,140,121		

Shear Strength (P - blows par 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity
Reduced Level (metres) Ø

S.G. R.L.

Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE

JOB No:

08,09261.25

TEST	DATE	R.L.	SOIL	£	M.C.	Ьd	S.G.	A.V.	SHEAR	RETEST	COMMENTS
9	-		DESCRIPTION						STRENGTH	Š	
T61	27/3/98	-	Silt, slightly dayey, light brown and light grey, moist	1787 1785	41.4	1264 1262	2.68	0.5	V,113x2,108,103 58,42	T53,55,71	Disced to dry and recompacted
T62			Sitt, slightly dayey, light brown and light grey, moist	1775	41.7	1253 1252	2.68	1.0	V,147,145,143 128,127,91	T58,66	Disced to dry and recompacted
163			Sitt, slightly clayey, tight brown and tight grey, moist	1785 1786	32.7 32.7	1345 1346	2.68	5,8 5,8	V,174+x3,97,91	T68	Disced to dry and recompacted
72			Silt, slightly clayey, light brown and light grey, moist	1795 1800	28.9 28.9	1392 1396	2.68	7.8	V,158,156,149 141,126,123		
T65	1/4/98		Stit, slightly clayey, light brown	1797 1802	29.8 29.8	138 4 1388	2.68	7.1 6.8	V,174+x4,123 121		
T66			Siit, slightly clayey, light brown	1865 1865	29.0 29.0	1446 1446	2.68	4. 4. 1. 1.	V,158,156,149 138,136,126	T58,62	
T67	6/4/98		Silt, slightly clayey, light brown, moist	1869 1872	31.5 31.5	1421	2.68	2.2	V,169,162,149 136,80,71	T47,72	Disced to dry and recompacted
T68	·		Silt, slightly clayey, light brown, moist	1851 18 55	35.5 35.5	1366 1369	2.68	0.5	V,174+x4,136,121	Т63	
T69	7/4/98		Silt, slightly clayey, light brown and light grey, moist	1810 1812	33.9 33.9	1352 1353	2.68	3.7	V,174+x3,158 149,143		
T70			Silt, slightly dayey, light grey, molst	1846 1845	35.5 35.5	1363 1362	2.68	0.9	V,174+x4,169 156		
171			Silt, slightly dayey, light grey, moist	1792 1790	38.5 38.5	1294 1293	2.68	1.9	V,174,169,149 127,123,121	T53,55,61	
T72			Sill, slightly dayey, light brown and light grey, moist	1863 1865	35.9 35.9	1371 1373	2.68	-0.4	V,174+x3,156 152,143	147,67	
Pb M.C. A.V.	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)	ty (kg/m3 ontent (% y (kg/m3) %)	(3)		S S.G. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blov V - shaar strength by va Specific Gravity Reduced Level (metres)	- blows by vane letres)	Shear Strength (P - biows per 50mm on scala penetrometer, V - shaar strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	netrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE:

JOB No:

08.09261.0

ST COMMENTS										-			er, 5)
RETEST No	<u> </u>		T59										netromet 1377:197
SHEAR STRENGTH	V,174+x4,156,123	V,147+x2,171 156,132,123	V,174+x4,143 121	V,176+x6	V,176+x6	V,176+x6	V,176+x5,133	V,176+x5,163	V,176+x4,102,96	V,176+x4,139,131	V,195+x3,134 117,98	V, 195+, 178, 160 140, 117, 89	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity
4.V.	-1.0	2.6 2.6	3.6	5.7	-1.1	9.8 5.3	1.9	3.2	1.5	4.5	-0.1 -0.8	-0.7 -1.6	- blows by vane
5.6.	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68 2.68	2.68	2.68	2.68	2.68	rength (P strength Gravity
2	1452 1380	1342	1463	1354	1297	1419	1409	1422	1254 1262	1354	1372 1381	1427	Shear Strength (P - blow V - shear strength by va Specific Gravity
M.C.	32.2 32.2	35.3	28.6 28.6	32.3	40.6	30.5 30.5	32.2 32.2	30.8 30.8	41.2	33.2 33.2	35.7 35.7	33.3	တ တ တ
g	1920 1825	1816 1815	1881 1880	1792 1809	1824	1851 1861	1862 1865	1859 1861	1771	1804 1111	1861 1874	1902 1918	
SOIL DESCRIPTION	Silt, stightly dayey, light grey and light brown, moist	Slit, slightly dayey, light grey and light brown, moist	Silt, stightly clayey, light grey and light brown, moist	Silt, slightly clayey, light brown	Sift, slightly clayey, light brown	Silt, slightly clayey, light brown	Sit, slightly clayey and trace clay light brown and light grey	Sitt, slightly clayey and trace clay light brown and light grey	Silt, slightly dayey and trace clay light brown and light grey	Silt, slightly dayey and trace clay light brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	
R.L.	S 🚟	ഗ <u>ട്</u>	တ <u>မ</u> ိ	<u>vs</u>	<u>_w</u>	<u>ν</u>	<u>ග≝</u>	ഗ≝്	ഗ <u>ജ്</u>	S ≝	ഗങ	O E	(kg/m3) nlent (%) kg/m3)
DATE	8/4/98	_		9/11/98		<u>-</u> .	10/11/98				12/11/98	· · -	Bulk Density (kg/m3) Moisture Conlent (%) Dry Density (kg/m3)
TEST	£7T	174	T75	9/1	777	178	179	180	T83	182	T8 3	181	Po M.C.

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE

08.09261.5 JOB No:

			_										_									
COMMENTS		Disceed and ripped to dry and	pienu perore recompacung	Disced and ripped to dry and blend before recompacting				Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and	blend before recompacting	Disceed and ripped to dry and	blend before recompacting				
RETEST	No	T94,T99		T93, T98 T105		•	T81	T92,T119		T118		T97,T100		T89,T119	T86,T98	T105	T85,T99		T83,T84			·
SHEAR	STRENGTH	V,195+x3,140	22,30	V,195+x2,133 117,105,69	V,195+x6	_	V,195+x6	V,195+x4,76,42		V,195+x4,118,85	_	V,195+x4,90,74		V,104,101,95 88x3	V,195+x3,98	93,69	V,195+x3,99	93,83	V,194+x4,134	123	V,160,149,146	143,137,132
A.V.		2.5	i i	8 G	5.7	5.4	0 0 0 0	2.9	2.8	1.2	.	0.2	ņ	8.4 8.6	0.7	9.0	6	-0.5	3,5	3.0	8.5	8.3
S.G.		2.68	3	2. 68 2.68	2.68	7.68 89.7	2.68	2.68	2.68	2.68	7.68	2.68	9	2.68 2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68
æ		1331	3	1316	1395	1400	25 52 26 25 27 25	1432	454	1494	1482	1388	785	1354 1360	1414	1416	1395	1400	1367	1373	1505	1508
ĭ.C.		36.0		38.0	30.3	50.3	36.2 36.2	30.5	30.5	28.8	28.8	34.9	,	33.1 33.1	32.9	32.9	34.5	34.5	33.3	33.3	23.5	23.5
ď		1810		1817	1817	1824	1857 1858	1869	1871	1925	0161	1872	2	1809 1809	1879	1882	1875	1882	1822	1831	1859	1862
SOff	DESCRIPTION	Silt, slightly dayey, light brown and light grey		siit, slightig dayey, light brown and light grey	Silt, slightly clayey, light brown	alra igni grey	Silt, slightly dayey, light brown and light grey	Sift, slightly clayey, light brown	and light grey	Silt, slightly clayey, light brown	and light grey	Silt, slightly clayey, light brown and light grey.		Sill, clayey and slightly clayey light grey and light brown	Silt, clayey and slightly clayey	light grey and light brown	Silt, clayey and slightly clayey	light grey and light brown	Silt, dayey and slightly clayey	light grey and light brown	Sill, clayey and slightly clayey	light grey and light brown
R.L.																						
DATE		12/11/98												16/11/98								
TEST	Q.	T85	Ş	£	T87	j	8	189		<u>6</u>		T9T	٠,	192	193		新		T95		96L	

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity
Reduced Level (metres) Ø

Bulk Density (kg/m3) Moisture Conlent (%) Dry Density (kg/m3) Air Volds (%)

P. W.C. A. V.

S.G. R.L.

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE

JOB No:

08.09261.5

COMMENTS	Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and blend before recompacting										
RETEST No	T136	T138,T145									T114	
SHEAR STRENGTH	V,195+x6	V,195+x3,108 95,89	V,195+x6	V,195+x6	V,195+x6	V,195+x6	V,195+x6	V,195+x6	V,195+x6	V,195+x6	V,180,158,152, 146,143,140	V,195+x6
AV.	3.7	6, 4 0, 6,	0.7	0.5	6.9	6.2 4.2	3.6	6.5 6.9	2.6	7.8	2.5	-3.3
S.G.	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68 2.68
Pd	1428	1254 1260	1474	1412	1406	1434	1400	1432	1415	1417	1381 1381	1390 1355
M.C.	29.9 29.9	45.5 45.5	30.1	33.2 33.2	28.9 28.9	32.7	31.5	28.0 28.0	31.5	27.7	33.3	37.0 37.0
Pb	1855 1861	1833	1917 1918	1880 1885	1812 1817	1902 1900	1839 1839	1833 1824	1861 1871	1810 1815	2 2 2 2 2 2 2 2 2 2	1904 1857
SOIL DESCRIPTION	Silt, dayey, light grey	Silt, dayey, light grey	Silt, dayey, light grey	Silt, clayey, light grey	Silt, dayey, light grey	Silt, dayey, light grey	Silt, slightly dayey, light grey, light brown	Silt, slightly dayey, light grey, light brown	Siit, slightiy clayey, light grey, light brown	Siit, slightly dayey, light grey, light brown	Siit, slightly clayey, light grey, light brown	Silt, slightly dayey, light grey, light brown
R.L.												
DATE	19/11/98		•		_		20/11/98			•		
TEST NO	T121	1122	T123	1124	T125	T126	T127	T128	T129	1130	1134	T132

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity
Reduced Level (metres) S.G.

Bulk Density (kg/m3)
Moisture Content (%)
Dry Density (kg/m3)
Air Voids (%)

P M.C. A. A. ..

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INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE:

JOB No:

08.09261.5

COMMENTS	Disced and ripped to dry and blend before recompacting	Disced and ripped to dry and blend before recompacting				Large ripper vold evident, disced and recompacted						
RETEST No	T157,T161 T178	T151,T158 T162,T177		T124		T122,T145						
SHEAR STRENGTH	V,195+x2,143,117 99,76	V,195+x4,120,85	V,195+x6	V,195+x6	V,195+x6	V,195+x6	195+x2,185,170, 162,144	195+x5,172	178,171,159,146, 143,134,121	195+x5,176	195+x3,176,146, 137	174,168,156,149, 146,137
A.V.	4.4 4.4	3.9 3.3	-2.7	-3.7	4.5	0.3	5.5 5.3	7.1	0.0	1.7	1.6	0.0
S.G.	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68 2.68	2.68	2.68
Pd	1363 1363	1343 1350	1372	1392	1441	1367	1386 1380	1453 1460	1376 1377	1384 1385	1329 1325	1387 1382
M.C.	32.8 32.8	34.3	37.5	37.2 37.2	29.0	36.0	39.0 39.0	26.6	35.4	33.7	39.2 39.2	34.8
g.	1810 1811	1803 1813	1887 1897	1910 1908	1858 1863	1859 1861	1927 1918	1840 1849	1863 1864	1851 1852	1849 448	1870
SOIL DESCRIPTION	Silt, slightly clayey, light brown, light grey	Silt, slightly clayey, light brown, light grey	Silt, slightly clayey, light brown, light grey	Silt, slightly clayey, light brown, light grey	Silt, slightly clayey, light brown, light grey	Siit, slightly clayey, light brown, light grey	Sift, slightly clayey, brown, some grey pockets	Sitt, slightly clayey, light grey, brown pockets	Sitt, slightly clayey, brown, some grey pockets	Sift, slightly clayey, brown, some grey pockets	Silt, slightly clayey, brown, some grey pockets	Silt, slightly clayey, brown, some grey pockets
R.L.												
DATE	20/11/98						23/11/98					
	T133	T134	T135	T136	T137	T138	1139	T140	T141	T142	T143	T144

Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Volds (%) P Pd C.

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377;1975) Specific Gravity
Reduced Level (metres) S.G. R.L.

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INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE

JOB No:

08.09261.5

1018	32.7	1446	2.68	-1.3	STRENGTH V,195+x6	No	
1875	32.7	1444	2.68	2.0	V,195+x6		
1889	35.6 35.6	1393	2.68 2.68	1.6 1.6	V,195+x2,176,149 141,123		
1922 1923	29.6 29.6	1484 1484	2.68	0.8	V,195+,185,175 153,141,130		
1912	31.5	1455 1454	2.68	0.0	V,195+x5,149		
1900 1895	32.0 32.0	1439 1435	2.68 2.68	0.2	V,195+x2,134 123,105,99	T217	Disced and ripped to dry and blend before recompacting
1905 1892	34.9	1 412 1403	2.68 2.68	-2.0	V,195+,146x2 120,99,85	T158,T162 T177,T134	Disced and ripped to dry and blend before recompacting
1858 1870	30.6 30.6	1423 1432	2.68	3.4	V,195+,146,143 134x2,82	1154	Isolated pockets, removed one scoop load and replaced
Sit, slightly clayey, light brown, grey 1885 and brown	33.9 33.9	1408	2.58 2.58	-0.2 -0.7	V,207+,160,150 143,142,125		
Silt, slightly clayey, light brown, grey 1893 and brown, some dark brown 1900	34.5	1408 1413	2.68 2.68	0.1. 4.1.	V,170,153,150 142,139,126	1152	
Silt, slightly clayey, light brown, grey 1862 and brown	31.2	1419 1426	2.68	2.8	V,207+,161,154 150,140,132		
Silt, slightly clayey, light brown, grey 1865 and brown	35.7	1374	2.68	99	V,207+x2,171,168	T160,T165	Disced and ripped to dry and Mand before recommenting
· · · · · · · · · · · · · · · · · · ·	1922 1923 1912 1912 1916 1906 1906 1885 1885 1885 1885 1900 1966 1865 1865 1966		29.6 3.1.5 3.1.5 3.1.5 3.2.0 3.2.0 3.3.9 3.3.9 3.3.9 3.3.9 3.3.9 3.3.9 3.3.9 3.3.9 3.3.9 3.3.9 3.3.9 3.3.9 3.3.0 3.0	29.6 1484 31.5 1455 31.5 1454 32.0 1435 32.0 1435 34.9 1403 30.6 1423 30.6 1423 33.9 1408 34.5 1408 34.5 1419 34.5 1419 35.7 1374	29.6 1484 2.68 31.5 1455 2.68 31.5 1455 2.68 32.0 1439 2.68 32.0 1435 2.68 34.9 1412 2.68 30.6 1423 2.68 30.6 1423 2.68 33.9 1408 2.68 34.5 1408 2.68 34.5 1414 2.68 34.5 1419 2.68 35.7 1377 2.68	29.6 1484 2.68 0.8 29.6 1484 2.68 0.7 31.5 1455 2.68 0.0 32.0 1439 2.68 0.2 32.0 1435 2.68 0.5 34.9 1403 2.68 -2.0 34.9 1403 2.68 -1.3 30.6 1423 2.68 -1.3 30.6 1423 2.68 -1.3 34.5 1408 2.68 -0.7 34.5 1414 2.68 -1.0 34.5 1419 2.68 -1.4 34.5 1419 2.68 -1.4 35.7 1374 2.68 -0.3 35.7 1377 2.68 -0.3 35.7 1377 2.68 -0.3	29.6 1484 2.68 0.8 V,195+,185,175 29.6 1484 2.68 0.7 153,141,130 31.5 1455 2.68 0.0 V,195+x5,149 32.0 1439 2.68 0.0 V,195+x5,149 32.0 1435 2.68 0.2 V,195+x2,134 32.0 1435 2.68 0.5 123,105,99 34.9 1402 2.68 -2.0 V,195+,146x2 30.6 1423 2.68 -1.3 120,99.85 30.6 1422 2.68 -1.3 120,99.85 30.6 1422 2.68 -1.3 120,99.85 30.6 1423 2.68 2.0 V,195+,146,143 30.6 1422 2.68 3.4 V,195+,146,143 30.6 1424 2.68 -0.7 V,207+,160,150 33.9 1414 2.68 -0.7 V,207+,161,154 34.5 1413 2.68 -1.0 V,207+,161,154

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS; 1377:1975) Specific Gravity
Reduced Level (metres)

S.G. F.G.

Bulk Density (kg/m3)
Moisture Content (%)
Dry Density (kg/m3)
Air Voids (%)

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INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE:

JOB No:

08.09261.5

TEST	DATE	R.L.	SOIL DESCRIPTION	æ	M.C.	Pd	S.G.	AV.	SHEAR	RETEST No	COMMENTS
T157	9/12/98		Silt, slightly clayey, light brown, grey and brown	1873 1875	32.3 32.3	1416	2.68	1.5 4.	V,207+,184,140, 111,88,81	T133,T161 T178	Disced and ripped to dry and blend before recompacting
T158			Silt, slightly clayey, light brown, grey and brown	1828 1828	39.1	1314	2.68	0.0.	V.136,118,111 94,87,74	T134,T162 T177,T151	Disced and ripped to dry and blend before recompacting
T159			Silt, slightly clayey, light brown, grey and brown	1845 1846	39.1 39.1	1326 1327	2.68	4.4	V,207+x3,92, 84,73	163,176,190 191,213,222	Disced and ripped to dry and blend before recompacting
T160	11/12/98		Silt, clayey, light grey	1753 1759	38.0	1270 1275	2.68	4.3 0.4	V,118,101,99 96,93,93	T156,T165 T188	Disced and ripped to dry and blend before recompacting
T161		-	Silt, clayey, light grey	1569 1567	34.4	11 67 1166	2.68	16.3 16.4	V,142,129,118 101,99,93	T133,T157 T178	Disced and ripped to dry and blend before recompacting
T162			Sitt, clayey, light grey	1713 1712	32.3	1295 1294	2.68	6.6	V,110,101,99 96,84,84	T134,T151 T158,T177	Disced and ripped to dry and blend before recompacting
T163			Silt, clayey, light grey	1794 1795	34.7	1332 1333	2.68	4.4	V,144,129,114 110,110,86	159,176,190 191,219,222	Disced and ripped to dry and blend before recompacting
T164			Silt, clayey, light grey	1785 1764	35.5 35.5	1317 1301	2.68	5.2	V,144,138,110 100,86,76	T218	Disced and ripped to dry and blend before recompacting
T165	14/12/98		Sift, clayey, light grey	1840 1838	36.4	1349 1347	2.68	0.6 0.7	V,141,129,113 101,90,77	T156,T160 T188	Disced and ripped to dry and blend before recompacting
T166			Silt, clayey, light grey	1850 1841	39.1	1330 1324	2.68	9,7	V,118,110,101 96,90,73	T 187	Disced and ripped to dry and blend before recompacting
T167			Silt, clayey, light grey	1797 1802	41.9 6.14	1266 1270	2.68	0.3 0.6	V,155,141,129 118,100,87	Ţ184	Disced and ripped to dry and blend before recompacting
T168	·		Silt, dayey, light grey	1820 1821	29.2	1409 1410	2.68	6.3	v,200+x6		
Pb M.C. Pd A.V.	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)	ity (kg/m3 ontent (% y (kg/m3) %)			S S.G. R.L.	Shear Strength V - shear streng Specific Gravily Reduced Level	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)	- blows p by vane etres)	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	netrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE:

JOB No:

08.09261.5

TEST	DATE	R.L.	SOIL DESCRIPTION	4	M.C.	Pa	S.G.	A.V.	SHEAR	RETEST No	COMMENTS
T181	15/12/98		Sitt, dayey, light brown and light grey	1858 1867	32.3 32.3	1404 1411	2.68	2.2	V,176+x6		
T182			Sill, clayey, light brown and light grey	1838 1836	35.3	1359 1357	2.68	4 7.	V,176+x3,152 130,126		
T183			Silt, clayey, light brown and light grey	1868 1868	35.2 35.2	1381 1381	2.68	0.2	V,176+X5,139		
T184			Sift, clayey, light brown and light grey	1871 1874	33.7	1400 1402	2.68	0.6	V,176+X3,142 135,,123	T167	
T185			Sitt, clayey, light brown and light grey	1837 1844	35.0	1361 1365	2.68	15	V,176+x2,148 140,60	T195,T202	Disced and ripped to dry and blend before recompacting
T186			Siit, clayey, light brown and light grey	1851 1845	30.5	1418	2.68	3.8	V,176+X3,,166 148,139		
T187			Silt, clayey, light brown and light grey	\$5 25 26 26 26 26 26 26 26 26 26 26 26 26 26	29.4	1432	2.68	9.4	V,176+X6	T166	
T188			Silt, clayey, light brown and light grey	1907 1909	55.8 55.8	1224 1226	2.68	-14.0	V,176+X6	T156,T160 T165	
T189			Silt, clayey, light brown and light grey	1815 1814	35.2 35.2	1343	2.68	2.7	V,176+x3,81 68,60	T201	
T190.			Silt, clayey, light brown and light grey	1780 1774	35.8 35.8	1311 1306	2.68	4.2	V,176+x4,142 135	T159,T163	
T191	16/12/98		Silt, slighty clayey, light brown and light grey	1926 1923	31.8 31.8	1461 1459	2.68	-1.0	V,134,1069,74 76,61,51	159,163,213 219,222	Excavated up to 0.5m and replaced
T192			Silt, slighty dayey, light brown and light grey	1913 1905	33.7 33.7	1431	2.68 2.68	-1.6 -1.2	V,175x3,146 117,80	T220	Disced and ripped to dry and blend before recompacting
Pb M.C. A.V.	Bulk Densily (kg/m3 Moisture Content (% Dry Densily (kg/m3) Air Volds (%)	Bulk Densily (kg/m3) Moisture Content (%) Dry Densiry (kg/m3) Air Volds (%)	(8)		S S.G. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)	- blows by vane etres)	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	netrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI SITE

JOB No:

08.9261.5

TEST NO	DATE	R.L.	SOIL DESCRIPTION	P _D	M.C.	26	.9.G	A.V.	SHEAR STRENGTH	RETEST No	COMMENTS
T193	16/12/98		Silt, slightly clayey and clayey, light grey and light brown	1836 1861	33.8 33.8	1372 1390	2.68	2.4	V,153,146,134 114,105,61	T204	Disced and ripped to dry and blend before recompacting
1194			Silt, slightly clayey and clayey, light grey and light brown	1804 1814	28.9 28.9	1400 1408	2.68	7.4	V,175+x4,146 143		
T195			Sitt, slightly clayey and clayey, light grey and light brown	1750 1746	37.4 37.4	1273 1271	2.68	4.8 5.0	V,175+x3,105 95,90	T185,T202	Disced and ripped to dry and blend before recompacting
T196			Silt, slightly clayey and clayey, light grey and light brown	1809 1805	37.4 37.4	1317	2.68	1.6 1.8	V,175+x3,95 105,51	T203	Disced and ripped to dry and blend before recompacting
T197	17/12/98		Silt, slightly clayey, light brown and light grey	1827 1823	36.0 36.0	1344	2.68	1.5	V,175+x3,95	T208	Disced and ripped to dry and blend before recompacting
1198			Sitt, slightly dayey, light brown and light grey	1809 1806	28.9 28.9	1403 1401	2.58	7.0 7.2	V,117,109,95 73,69,44	T231	Disced and ripped to dry and blend before recompacting
T199			Silt, slightly clayey, light brown and light grey	1812	28.8 28.8	1405	2.68	7.0	V,195+X2,146 143,134,124		
T200			Silt, slightly dayey, light brown and light grey	1820 1824	29.9	1404 1404	2.68 2.68	5.8 5.6	V,195+X2,182 168,146,134		
T201			Sift, slightly dayey, light brown and light grey	1897 1896	26.8 26.8	1496 1496	2.68	4.1	V,195+x3,182 149,143	T 189	
T202			Silt, slightly clayey, light brown and light grey	1799 1808	31.9	1364 1370	2.68	5.6	V,195+X3,146 141,115,88	T185,T195	Disced and ripped to dry and blend before recompacting
T203			Sift, slightly clayey, light brown and light grey	1785 1786	36.2 36.2	1311 1311	2.68	3.7	V,195+X2,146 139,109,90	T196	Disced and ripped to dry and blend before recompacting
T204	21/12/98		Silt, slightly clayey, light brown and light grey	1799 1796	33.7 33.7	1346 1343	2.68	4.4 4.6	V195+x5, 175	T193	
Pb Pd AV.	Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)	ity (kg/m3 content (% y (kg/m3) %)	G (3		S S.G. R.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blow V - shear strength by va Spedific Gravity Reduced Level (metres)	- blows by vane	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Lavel (metres)	anetrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

SITE: SUTTON BLOCK, EAST TAMAKI

JOB No:

08.09261.5

COMMENTS			Blended with moist soil and recompacted									
RETEST No	T150	T164	159,163,190 191,222	T192		159,163,190 191,219		T238	T237			
SHEAR STRENGTH	V,176+x3,163 145,138	V,1764x5,167	V,176+x4,156 152	V,195+,178,168 159,153,149	V,195+x2,182 156,146,139	V,195+x5,141	V,175,168,160 158,146,141	V,175,141,123 104,99,93	V,115,109,102x3 99	V,195+x6	V,195+x6	V,195+x5,118
A.V.	0.8	11.9	13.B 13.7	0.5	6. 1.	3.4 3.1	2.0	2.3	4.6	3.2	0.5	9.2
S.G.	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68
Pd	1367 1364	1403	1375	1425	1409	1466 1469	1464 1467	1439 1436	1332 1340	1394 1396	1427	1482
M.C.	35.4	25.4	25.4	32.5	32.5 32.5	28.6 28.6	28.9 28.9	30.6 30.6	36.7	32.1	32.4 32.4	23.9
Po	1850 1847	1760. 1757	1724 1726	1888 1889	1867 1870	1885 1890	1887 1891	1879 1875	1821	1842	1890 1895	1837
SOIL DESCRIPTION	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Sill, slightly clayey, light brown and light grey	Silt, stightly clayey, light brown and light grey	Silt, slightly clayey, light brown and light grey	Silt, slightly clayey and clayey, light brown and light grey	Siit, slightly clayey and clayey, light brown and light grey	Silt, slightly clayey and clayey, light brown and light grey	Silt, slightly clayey and clayey, light brown and light grey	Silt, slightly clayey and clayey, light brown and light grey	Silt, slightly dayey and dayey, light brown and light grey, dry
R.L.												
DATE	22/12/98		•	23/12/98			29/12/98					30/12/98
TEST NO	T217	T218	T219	T220	1221	1222	T223	T224	T225	1226	1227	T228

Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravily
Reduced Level (metres)

S.G.

Bulk Density (kg/m3) Moisture Content (%) Dry Density (kg/m3) Air Voids (%)

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INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE:

JOB No:

08.09261,5

	R.I.	SOIL	æ	Œ.C.	2	S.G.	A.V.	SHEAR STRENGTH	RETEST	COMMENTS
30/12/98	 -	Sift, slightly dayey and clayey, light grey and light brown, dry	1716 1721	23.0	139 5 1399	2.68	15.9 15.6	V,195+x5,125	1239	Blended with moist soil and recompacted
		Silt, slightly clayey and clayey, light grey and light brown, dry	1621 1611	15.9 15.9	1399 1390	2.68	25.6 26.1	V,195+x6	T175,T212 T234	Blended with moist soil and recompacted
31/12/98		Silt, slightly clayey, light brown	1811 1815	37.7 37.7	1315 1318	2.68 2.68	1.3	V,195+x5,128	T198	
-		Silt, slightly clayey, light brown	1875 1881	33.3	1406 1411	2.68	0.7	V,143,140,131 128,125,88	T242	
		Silt, slightly clayey, light brown	1837 1941	25.6 25.6	1462 1465	2.68	7.9 7.7	V,195+x6		
641/33		Sift, slightly clayey, tight brown	1892 1887	27.2	1488 1484	2.68 2.68	4.4	V,195+x6	T175,T230	
	-	Silt, slightly clayey, fight brown	1861 1858	27.7	1457 1455	2.68	5.2 5.4	V, 195+x5, 160		
····	-	Silt, slightly clayey, light brown	1870 1871	27.8	1463 1464	2.68	4.7	V,195+x6	T225	
	<u> </u>	Sitt, slightly clayey, light brown	1858 1861	25.1 25.1	1485 1487	2.68	7.3	V, 195+x6	T224	
	<u> </u>	Silt, slightly clayey, light brown	1765 1771	34.4 34.4	1313 1318	2.68 2.68	5.8 5.5	V,195+x6		
		Sift, slightly clayey, light brown	1708 1705	29.5 29.5	1319 1317	2.68	11.9 ·	V,195+x6	1229	
		Silt, slightly dayey, tight brown	1861 1854	31.5	1415 1410	2.68 2.68	3.0	V,195+x6		
Bulk Density (Moisture Con' Dry Density () Air Voids (%)	Bulk Density (kg/m3) Moisture Content (%) Ory Density (kg/m3) Air Voids (%)			S S.G. P.L.	Shear Strength V - shear streng Specific Gravity Reduced Level	Shear Strength (P - blow V - shear strength by va Specific Gravity Reduced Level (metres)	- blows by vane letres)	Shear Strength (P - blows per 50mm on scala penetrometer, V - shear strength by vane (kPa) in terms of BS: 1377:1975) Specific Gravity Reduced Level (metres)	anetrometer, 1377:1975)	

INSITU DENSITY TEST RESULTS

SUTTON BLOCK, EAST TAMAKI. SITE:

JOB No:

08.09261.5

RETEST COMMENTS	ON			1232				7261 Mixed with wetter soil and	recompacted			-	T254 Disced and ripped to dry and	blend before recompacting				
_	STRENGTH	V,195+x6	V 405.4ve		V,195+x6		V,195+x6	V.195+x3,178	V,195+x6	V,195+x6	V,195+x3,175	160		V,195+x6	V.195+x6		V,195+x4,166	
A.		3.2	9 6	တ် တ်	5.0	5.0	4. 4. 6. 6.			ກ ທ _ີ	0.9	12	7.4	7.5	2.5	2.4		
S.G.		2.68	8 8	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2.68	2,68	2,68	2.68	2.68	2.68] ;]
2		1406	. 4	1413	1406	1407	1384 1382	1587	150	1462 1462	1355	1351	1417	1429	1346	1347	1441	
W.C.		은 E 6 전	29.2	29.5	30,2	30.2	31.7	14.2	22.7	26.6	35.8	35.8	29.9	27.5	35.1	35.1	31.9	٦,
a	_	1856	1824	1825	1831	1832	1823 1820	1812	1842	1851	<u>\$</u>	1835	1841	1821	1819	1820	1901 1910	
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Reduced Level (metres)

geolab CLIENT: DANNEMORA HOLDINGS/FULTON HOGAN BOREHOLE No: HA 1 air, soil & water PROJECT: SUTTON TRENCH BACKFILL, SMALES ROAD, Sheet 1 of 1 EAST TAMAKI laboratory services Driff Type: HÄ Project No: 08.09261.6 Logged By: GH GIH Checked By: GOH Driffed By: Coordinates: Date Started: 19/1 **1/99 Ground Elevation:** Shear Vane No: DR 2871 19/11/99 Date Finished: DRY 19/11/99 Water Lovel: NATURAL WATER CONTENT ΔX GROUND WATER LIQUID LIMIT PLASTIC LIMIT LABORATORY TESTS GRAPHIC LOG DEPTH (m) DEPTH (m) SOIL DESCRIPTION 50 100 15D (%) MAIN/minor components, strength, colour SHEAR STRENGTH 0 4 structure, weathering REMOULDED SHEAR Ø r POCKET PENETROMETER O p (kPa) FILL, mainly silt, slightly clayey and clayey, very stiff, light grey, light brown and orange brown, moist 134 v 92+ v stiff 1.0 1.0. very stiff stiff ac i 2.0 very stiff stiff END OF BORE, 2,40 METRES. (UNABLE TO PENETRATE PIPE) 3,0 4.0 09261_6,CPJ_GEOLAB,GDT_17/04/00 4.5. 4.5 5.0

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APPENDIX 2
FILL SPECIFICATION

air, soil & water laboratory services

A Division of Harrison Grierson Consultants Ltd P O Box 5760 Wellesley Street, Auckland 1 Telephone: 0-9-309 0346

6 November 1997

Wood & Partners Consultants Limited P O Box 6752 AUCKLAND

ATTENTION: Mr J Gardner

Dear Sir

Dannemora Block / Saye Block - East Tamaki

On reviewing test data collected at the above site. The following compaction standard is proposed.

i) Class A Compaction

Filling shall be broken up and placed in uniform layers not greater than 230mm loose thickness.

Compaction of each layer of fill materials so placed shall be sufficient to the following minimum standards:

a) Air Voids Percentage (as defined in NZS 4402:1986).

An average value of not more than 10% with any one test result permitted to be up to 12%.

b) Undrained Shear Strength

Average value not less than 140kPa and no single test result less than 120kPa.

ii) Within 500mm of Road Subgrade

Filling shall be broken up and placed in uniform layers not greater than 150mm loose thickness.

Compaction on each layer of fill materials so placed shall be sufficient to dotain the following minimum standards:

a) Air Voids Percentage (as defined in NZS 4402:1986).

An average value of not more than 8% with any one test result permitted to be up to 10%.

b) Undrained Shear Strength

Average value not less than 170kPa and no single test result less than 140kPa.

Yours faithfully ε
Harrison Grierson Consultants Limited

Greg Hill Laboratory Manager Geolab

JA9261\W\LET-001.GIH

APPENDIX 3 STATEMENT OF PROFESSIONAL OPINION

To:

The City Manager Manukau City Council

MANUKAU

STATEMENT OF PROFESSIONAL OPINION AS TO SUITABILITY OF LAND FOR RESIDENTIAL DEVELOPMENT

SUBDIVISION:

Dannemora Sutton Stage 1

OWNER/DEVELOPER:

Dannemora Holdings and Fulton Hogan Ltd

LOCATION:

East Tamaki Road

I, Philip Walter Matthew WILLIAMS of HARRISON GRIERSON CONSULTANTS LIMITED, 429 Parnell Road, Parnell

Hereby confirm that:

- 1 I am a Registered Engineer experienced in the field of soils engineering and was retained by the owner/developer as the Soils Engineer on the above subdivision.
- The extent of my inspections during construction and the results of all tests carried out are described in the accompanying report no 08.09261.5A dated April 2000. The purpose of the report is to provide a record of the earthworks procedures and to describe the technical background upon which this statement of professional opinion has been based. The residential lots covered by this statement are no's 1 to 27, 97 to 100, 102 to 135, 148 and 149.
- One purpose of this statement is to describe the extent to which buildings designed in accordance with NZS 3604:1990 "Code of Practice for Light Timber Framed Buildings Not Requiring Specific Design" (NZS 3604) can rely upon soil conditions for foundation construction in accordance with that Code. In this regard the reference to NZS 3604 is itself specific, and does not include other non-specific design codes such as NZS 4229.
- In my professional opinion, not to be construed as a guarantee, I consider that the fill shown on the attached Harrison Grierson Consultant's drawing no. 09261-GE17 has been placed in accordance with NZS 4431:1989, Code of Practice for Earthfills for Residential Development and NZS 4404:1981, Code of Practice for Urban Land Subdivision.
- With respect to the safe bearing capacity of soils, in my professional opinion, not to be construed as a guarantee, I consider that:
 - i) The filled ground is suitable for buildings constructed in accordance with NZS 3604 and for which it is believed that the modified soils thereon will afford a foundation safe bearing capacity of 100kPa for shallow foundations.
 - ii) The natural ground and excavated ground comprising all or part of lots 105 to 108 are suitable for buildings constructed in accordance with the NZS 3604 and for which it is believed that the unmodified soils thereon will afford a foundation safe bearing capacity of 100kPa for shallow foundations.

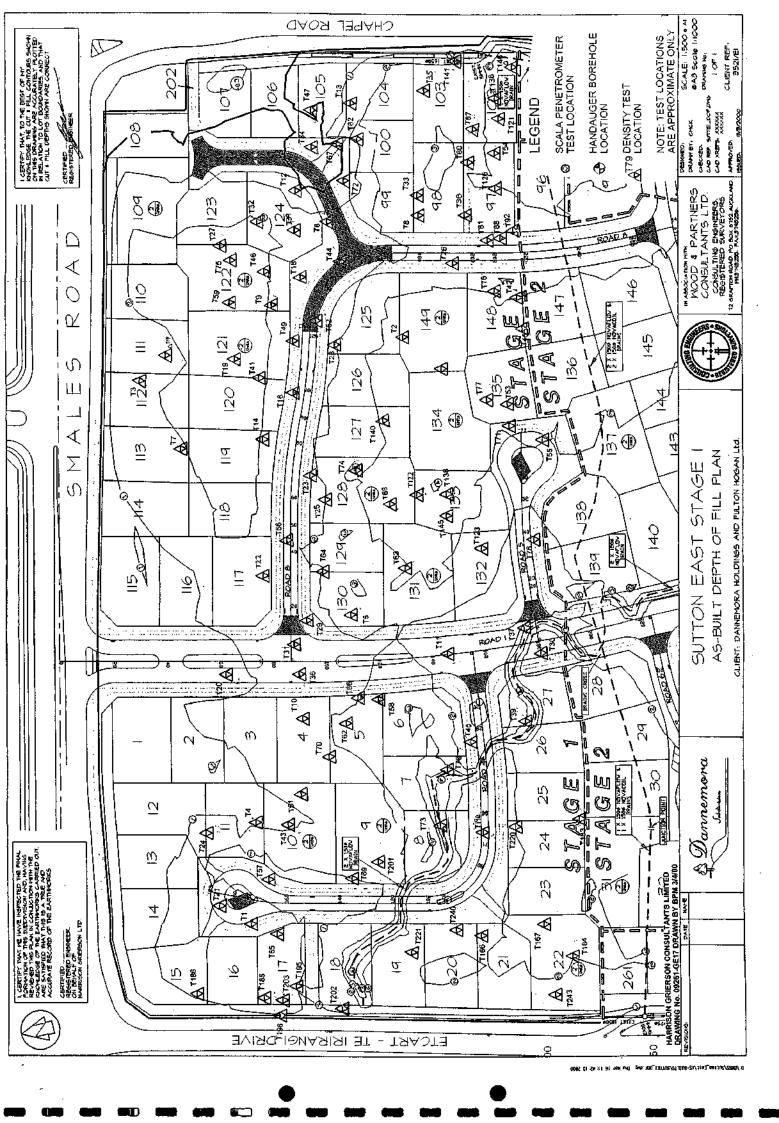
- vi) Due to the expansive nature of Auckland soils, and of the soils on this site in particular, conventional shallow pad and strip footings for all buildings should be founded at a minimum depth of 450mm below cleared ground level (i.e. with topsoil removed).
- 6 The roadways and passive reserves have been earthworked to a standard suitable for their intended purposes.
- 7 This statement does not extend to retaining walls (including basement excavation retaining walls), or site development cuts or fills which fall within the scope of the Building Act or which require Council resource consent.
- This statement of professional opinion does not remove the necessity for the usual inspection of foundation excavations by Council and any unexpected or unusual site conditions encountered should in the first instance be referred to Harrison Grierson Consultants Limited for evaluation.
- 9 This statement of professional opinion is furnished to the Council and the owner/developer for their purpose alone on the express condition that it will not be relied upon by any other person.

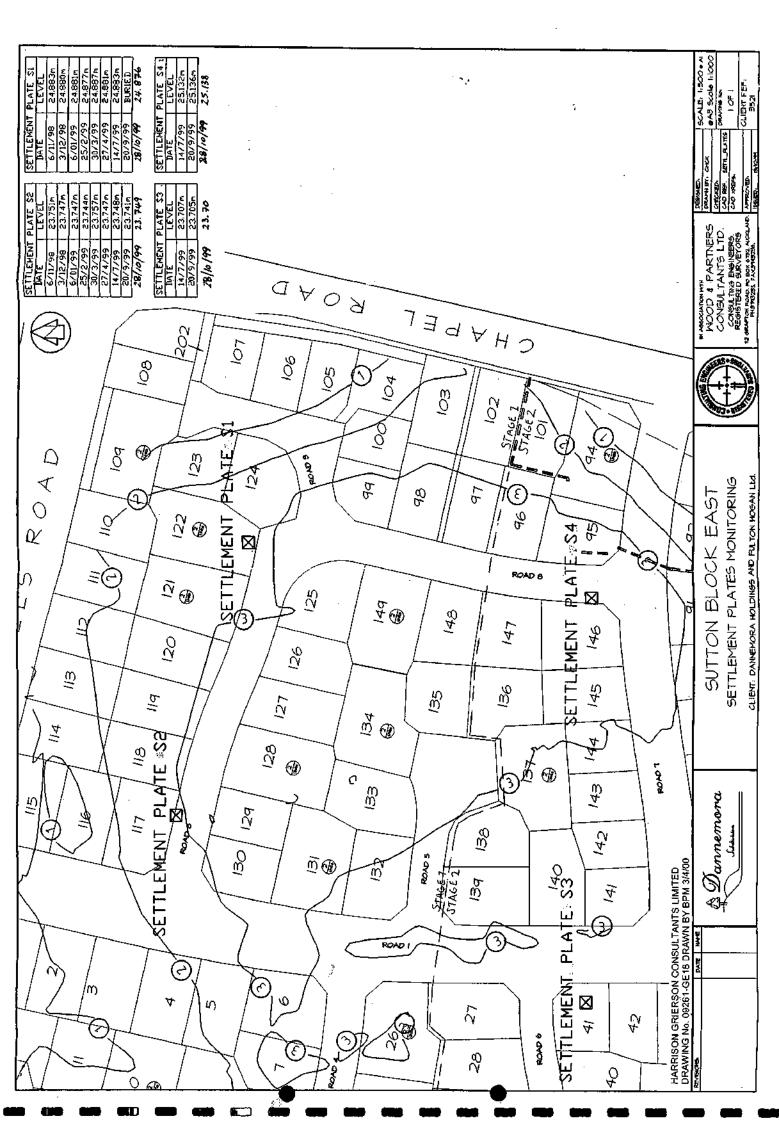
Signed /Why William . Date 17.04.2000

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DRAWINGS

09261-GE17	DEPTH OF FILL AND COMPACTION CONTROL TESTS
09261-GE18 09261-GE19	SETTLEMENT PLATES MONITORING DRAINAGE LINES WITH GEOTECH STANDARD BACKFILLING





Geotechnical Completion Report will be forwarded under a separate cover

WOOD & PAIRTNERS CONSULTANTS LTD CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:
D. L. WOOD M.J.P.E.N.Z., E.N.Z.I.S., R.S. FIJI
T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S.
D. W. WILLIAMS B.SURV., M.N.Z.I.S.
J. F. GARDINER B.E., M.J.P.E.N.Z.
M. G. WILLIAMS B.SURV., M.N.Z.I.S.



3521/E1/224

27 April 2000

The Manager
Building & Resource Services
Manukau City Council
Private Bag 76-917
MANUKAU CITY

ATTN: COLLIN SINCLAIR

Dear Collin

RE: SUTTON EAST STAGE 1 SP 6326

The Engineering works for the above subdivision are now complete and we enclose our application for the S224 Certificate. When you have satisfied yourselves that all relevant information has been provided we ask that you issue a S224 Certificate for Stage 1 of the Sutton East Block subdivision as soon as possible.

To assist you in processing our application, we comment on the conditions of the Resource Consent, and Engineering approval conditions as follows:

- All charges relating to the Resource Consent have been paid.
- All works to provide access and servicing for Stage 1 have been undertaken as per approved plans, ref. E7/15173.
- (a) All work, testing and materials has been carried out in accordance with Manukau City Council Engineering Quality and Manarc standards.
- (b) All work has been supervised by Wood & Partners as Dannemora's Engineering Representatives.
- (c) As built plans are enclosed in Section 8 and a Certified Completion Certificate is contained in Section 9 of this application.
- (d) All work on existing stormwater, sanitary sewer and water mains has been carried out by a Manukau City Council Approved Licensed Contractor.

- 3(a) All land modification works were carried out in accordance with plan N°s C7/11800 and a Foundation Completion Report is enclosed herewith.
- (b) Consent Notices will be recorded on the titles of any lots identified in the Geotechnical Completion Report as requiring restrictions of one form or another.
- 4. Conditions noted and complied with. (a)-(e)
- (f) We wish to defer road upgrading works along the Chapel Road frontages of allotments 102-107 to tie in with further upgrading works to the south for economical reasons. We have therefore allowed for these works in the bond schedule. Dannemora have given an undertaking that allotments 102 and 103 shall not be sold until the road upgrading works have been completed. Collin Sinclair has confirmed that the above position is in order.
- 5. Traffic signs and markings have been installed in accordance with the 'Transit NZ Manual'.
- 6. A comprehensive stormwater discharge levy (FC45) of \$2,731.15 (incl. GST) will be paid prior to the issue of the S224 certificate.
- 7. A stormwater treatment contribution for the Tamaki/Point View stormwater quality pond (FC3) of \$52,358.21 (incl. GST) will be paid prior to the issue of the S224 certificate. This payment is being made without prejudice pending the outcome of a Hearing due to an objection to this condition.
- 8. An agreement has been made with Manukau Water regarding the early payment for the whole of this catchment. Mandy Francis of Manukau Water will confirm this.
- 9. The imposed water supply contribution of \$68,348.25 (incl. GST) is also subject to an objection but Dannemora and Manukau Water have reached an agreement on an amount which has been paid for this contribution. Again Mandy Francis of Manukau Water can confirm.
- 10(a) A road upgrading contribution of \$98,354.02 (incl. GST) for the construction of ETCART shall be paid to Manukau City Council. This figure is based upon \$490 plus GST per metre for a distance of 178.42m.
- (b) A road upgrading contribution of \$149,470.20 (incl. GST) shall be paid to Council which is based upon \$490 plus GST per metre for a distance of 301.96m. This payment is being made without prejudice pending the outcome of a Hearing due to an objection to this condition as regard payment of an upgrading level for Lot 108.

- Condition noted and complied with.
- 12. Stage 1 has been reticulated for the supply of natural gas to individual sites (see Section 16 for completion certificate).
- 13. Underground power and telephone services have been installed with service connections to each lot within the stage (see Section 16 for completion certificates). The existing overhead services along Chapel Road have been undergrounded.
- 14. All streetlighting facilities will be installed before the issue of the S224(C) Certificate.
- 15. An as-built plan showing minimum floor levels (see Section 14) has been prepared (a)-(b) based upon as-built kerb levels and as-built contours. There have been no changes made to the proposed levels shown in the schedule of the Resource Consent with the following exception:-

The scheme plan has subsequently been amended to change Lot 26 (two unit site) into two freehold sites being allotments 26 and 27. The minimum floor levels schedule should therefore be amended to show minimum floor levels of:

<u>Lot</u>	Minimum Floor Level
26	22.50
27	22.62

- 16. An as-built drawing for the overland flowpath through Lots 97 & 102 has been prepared (a)-(c) and is included in Section 14.
- 17. Dannemora wishes to bond for the landscaping works in the interim, planting has begun on site.
- Condition noted and complied with.
- 19-21 Please note that the following allotment numbers on the Land Transfer Plans differ from those on the proposed scheme plan.

Scheme Plan	Land Transfer Plan
401	1004
402	1003
403	1002
501	1005
201	1000
202	1001

- 22. An amount of \$508,551.13 as agreed with Mike Pritchard as an amended figure will be paid to Council prior to the issue of the 224 Certificate.
- 23-25 Conditions noted and complied with.

We trust that our application is complete and we would appreciate your urgent response should you require any further information.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

CLAYTON McKENZIE Registered Surveyor

Our Ref: DM/SuttonE/RC

22 December 1999

The Leader - Resource Consents
Resource Consents & Compliance Unit
Manukau City Council
Private Bag 76-917
MANUKAU CITY

ATTN: MR MIKE PRITCHARD

Dear Mike

RE: DANNEMORA SUTTON EAST STAGES 1 & 2 RESOURCE CONSENT APPLICATION SP 6326 PROPOSAL Nº 15173

Thank you for the Resource Consent dated 1st December (which we uplifted on the 6th December) for the above stages of Dannemora.

We have, at our client's request, resubmitted an amended Stage 2, together with Stage 3 to Council for Resource Consent (Subdivision). Our objections therefore as outlined below refer specifically to Stage 1 of this development but may also apply to Stage 2. Our client has asked us to formally lodge an objection to the following clauses under Section 357 of the Resource Management Act 1991.

Item 7 Stormwater Treatment Contribution

Reason for Objection

Dannemora has made a submission to Council regarding a change to the contribution rate. The existing condition does not give any certainty that the rate will be amended on completion of the review. The advice note does not have any status.

Relief Sought

Dannemora would agree to the condition with new wording for Item 7 as follows:

"A stormwater treatment contribution for Tamaki/Point View stormwater ponds (FC3) should be paid to Council. The extent of that contribution is yet to be resolved but has been tentatively assessed by the Applicant at this stage as being approximately \$2,350.00 plus GST per hectare for the total area of Stage 4 of 5.6077 hectares. Council is currently reviewing the contribution rate application

to financial contribution to FC3 to take account of the elimination by Council of one of the five stormwater quality ponds included in the original Catchment Analysis by Beca Carter. It is likely that this will result in a contribution rate in the order of that set out above. The precise contribution rate will be advised once that review has been completed. Council reserves to the applicant the opportunity to seek a review of the contribution rate in accordance with Section 357 of the Resource Management Act 1991, Account Nº 9999817 DO 1440. The final contribution should be adjusted annually until paid, based on the previous year's Opus construction index or equivalent."

Item 9 Water Supply Contribution

Reason for Objection

Dannemora through its Consultants has had discussions with Manukau Water regarding the level of contributions Dannemora is being asked to pay for Water Supply contributions. It is acknowledged by both parties that the current rate of \$120/m is applicable to upgrade existing mains in a built up area, where items such as other services, hedges and fences, paths, vehicle crossings, traffic, pedestrians, and restoration to name a few have to be taken into account. These items do not apply in areas such as Chapel, Smales and East Tamaki Roads, especially where Dannemora owns the land on both sides of the road. A submission has recently been made by Dannemora to Manukau Water suggesting that it is more practical for Dannemora's contractors to lay mains to Councils requirement and for Dannemora to pay the equivalent of a 150 σ main on one side and a 50 σ main on the other side of the road. Manukau Water is at present considering this submission.

Relief Sought

That Dannemora install the water reticulation to Manukau Water's requirement and that Dannemora pay the equivalent of a 150¢ main on one side of the road and a 50¢ main on the other side.

Item 10b Upgrading Contribution Smales Road

Reasons for Objection

The condition requires that Dannemora pays an upgrading contribution for Lot 108, i.e. \$440 + GST x 18.0m = \$8,910 incl. GST. It would appear that Dannemora is now being penalised for assisting Council in overcoming an impasse with the Sommerville Estate Trustees over land needed for road widening at the corner of Smales & what was East Tamaki Road.

Dannemora assisted Council by providing Lot 108 which will be amalgamated to R Lot 15 which is owned by the Sommerville Estate. The area of Lot 108 at 499m² is in compensation for an area of 492m² which Council required for road widening. Council & Dannemora have executed a Sale & Purchase Agreement for \$60,000 as compensation for this lot.

Dannemora says:

- (1) The land is currently held by the Sommerville Estate, under a Sale & Purchase agreement.
- The compensation of \$60,000 was a rock bottom figure agreed to by Dannemora to make progress on the upgrading works of Smales Road. While a separate title will not be available for Lot 108, a comparable value as a single lot would be that placed by Quotable Values on Lots 105-107, i.e. \$104,000. While there would be development costs necessary to obtain a separate title for Lot 108, i.e. extension of sewer & stormwater (minimal), reserve contribution, Council fees, etc, costs would be nowhere near the \$44,000 difference between what Council paid for the lot, and what its actual value is as a separate lot.

Relief Sought

That no road upgrading charge be made by Council for the frontage to Lot 108.

Item 11

Reasons for Objection

Dannemora has made submissions to Manukau Water regarding the sewer reticulation through this stage of development. The submissions are on the basis that the sewer reticulation between Smales Road & Chapel Road comprises 450ø, 375ø, 300ø & 225ø pipes, not the normal sized subdivisional reticulation. It is felt that there is no difference between the 450ø Council sewer north of Smales to the Watercare sewer, for which contributions are being made on a catchment basis, and the sewer between Smales & Chapel which Dannemora is being required to fund totally.

Relief Sought

That the cost of the reticulation between Smales & Chapel Road be apportioned between the upstream catchment land owners on a similar basis to the sewer costs north of Smales Road to the Watercare sewer.

Item 22 Reserves Contribution

Reasons for Objection

Dannemora has advised that it is obtaining valuations for the lots in this stage of development. This should be available early in January 2000.

Relief Sought

An objection is made to the Reserve Contribution as assessed until Dannemora has had the opportunity to compare values.

As stated earlier, Stage 2 of Sutton East has been resubmitted to Council along with Stage 3 for full Resource Consent (Subdivision). Should for any reason Council have a change of mind over verbal approvals given to the proposed slip road to ETCART, then the above objections to Stage 1 development should also be applied to Stage 2.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

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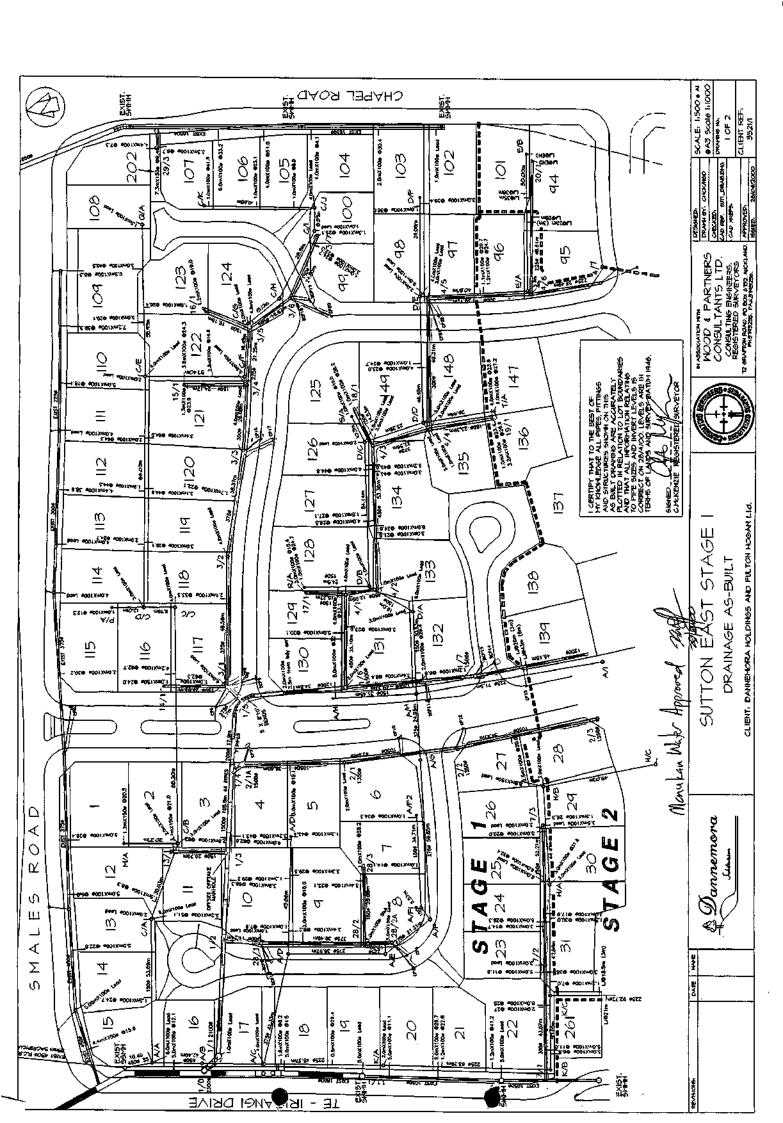
D.L. WOOD Director

cc: Dannemora

cc: Alex Parton

See Section 6 for Status of Engineering Conditions

As Part of Resource Consent



SANITARY SEWER MANHOLF COORDINATES

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STORMWATER LEAD END COORDINATES

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29/3	642744.866	313156,566

SIGNED - -

> SUTTON EAST STAGE I DRAINAGE AS-BUILT

CLIENT, DANNEMORA HOLDINGS AND PULTON HOSAN Ltd.

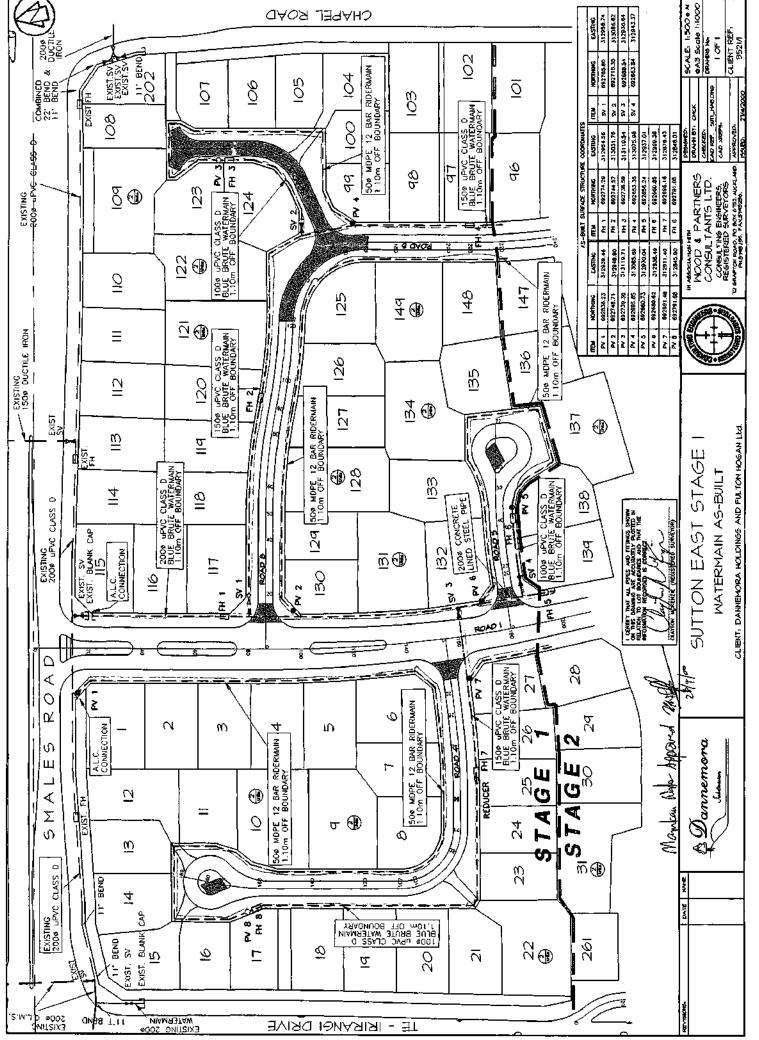
MOOD & PARTNERS
CONSULTINE LITD.
CONSULTINE BIGINERS
REGISTRED SURVEYORS

DERANDER, CHCKNED CHCKNED CHCKNED CHCKNED BY CAC RET. SUIL DRANDERS CAD SEETS.

CLIENT REP. 2 OF 2 200

2 Dannemora





MANUKAU CITY COUNCIL

Certificate of Completion of Subdivisional Roads and Services

SP 6326

Sutton East Stage 1

I, John Fraser Gardiner, being registered under the provisions of the Engineers Registration Act 1924, and currently holding an Annual Practising Certificate, hereby certify that all works including services and roading shown on plans numbered 3521/E1 Sheets E1-E37 and relating to the subdivision/development of Sutton East Stage 1 for Dannemora Holdings Limited and Fulton Hogan Limited have been constructed in accordance with sound and accepted engineering principles. All works comply with the provisions of the Standard Requirements of the Manukau City Council for the Construction of Subdivisional Roads and Services, and all connections to existing services have been constructed by an Approved Licensed Contractor. Minor works covered by a bond are not included in this certificate.

***********	Registered Engineer
Date:	

- To Be Completed For Each Road

ROAD NO	1	SUBDIVISION SP NO	5000 EysT	STAGE 1
Start Reference	ch 10	End Reference	d 190	
Length	160m	Width	10-Bm	
BASECOURSE LAY	YER (LAYER 1)			
	21/2/00 150m TUZ AP40 Wishes U40 Basalt/Greywacke	2	f	
SUB-BASE LAYER	(LAYER 2)			
Date Completed Depth Metal Grading Quarry Metal Type	1/2/00 150m GAP 65 ULSlams CAI Basalt/Groywacke	A	·	
SUBGRADE (LAYER	3 3)			,
Test Date CBR Type Stabilised Method (Agent) Depth	NIA NIA XES/NO			
UNDERCUT (LAYER	R 4)		•	
Location Length Width Depth		·		
Backfill Material /	****************			

SURFACING DETAILS - SUBDIVISIONS

ASPHALTIC CONCRETE & BITUMEN MACADAM

Membrane Seal									
Road Name	Road 1								
Chainage Start	Description Start	Southern side of Smales Ro							
End	Description End	d 12							
Date	Material	Basalf							
Width 10-lm	Aggregate Size								
Area Sealed 1636m2		Winstone LAQ (Company & Quarry)							
Binder Type & Grade!	30/200 Bitumer								
Cutter Type	Quantity	pph							
Spray Temp 1.6.0°C	Litres at spray temperature								
Residual Appl. Rate	I/m²								
Sealing Notes									

Surfacing									
	Material TW7	10 Asphalton Concrete							
Binder Type & Grad	80/100	Biluna							
Binder Rate6.2 1.	# 								
Aggregate Size	m_								
	Winstones	. A Q							
Aggregate Source	(Company & Quarry)								
Contractor	Fullon He	gan							
Mix Temp in Material									
Surfacing Notes									

SURFACING DETAILS - SUBDIVISIONS

Unip Sealing				
Chainage Start	********	Description Start	••••••	٠
Chainage End	********	Description End	·····/	٠
Date	*********	Material	· · · · · · · / · · · · · · · · · · · ·	٠
Width	·	Aggregate Grade	<i>[</i>	
Area Sealed		Aggregate Source	(Company & Quarry)	٠
Binder Type & (Grade	/	, ;	
Cutter Quantity	, , , , ,		ter Type	••••
Adhesion Quant	tity \	١ /	esion Type	
Additive Quantit		/	litive Type	
Flux Quantity	\ <u>\</u> 1			
Spray Temp	∤c/ ı	Litres at spray tempera	ature	
Residual Appl. R	iate) .	/		
ealing Notes	·····/	<u>/</u>	·	

•	- To	Be Completed For E	ach Road
ROAD NO			SMIDU EAST STAGE 1
Start Reference	d 10	SP NO End Reference	
Length	110	Width	5-4-
BASECOURSE LA	YER (LAYER 1)	0-100	V C 1140 -
Date Completed Depth Metal Grading Quarry Metal Type	25/3/00 Basalt/Greywacke	80mm 30mm 30mm 30mm 30mm	KS USEP - SECOURSE USED Sound Sound GAP65 subbare
SUB-BASE LAYER	(LAYER 2)		
Date Completed Depth Metal Grading Quarry Metal Type	6/3/00 200 GAP 65	LAQ	
SUBGRADE (LAYE)	R 3)	•	
Test Date	NA		

Test Date	N(A
CBR	NA
Type	N/A
Stabilised	Yes/No
Method (Agent)	14 Kg Line /m?
Depth	250m

UNDERCUT (LAYER 4)

Location	
Length	
Width	
Depth	/
Backfill Material	/

ASPHALTIC CONCRETE & BITUMEN MACADAM

: PAUNG BL	ocks USKO/	
Membrane Seal		<i>j</i>
Road Name	<i></i>	
ChainageStart	Description Start	<i></i>
End	Description End	/
Date	Material	
Width	Aggregate Size	
Area Sealed	Aggregate Source	(Company & Quarry)
Binder Type & Grade		***********
Cutter Type	Quantity	pph.
Spray Temp /º¢	Litres at spray tempe	erature
Residual Appl. Rate	I/m²	
Sealing Notes		
Surfacing /	•	
Øate	Material	
Binder Type & Grad	e	
Binder Rate		
Aggregate Size		
Aggregate Source	(Company & Quarry)	
Contractor		***************************************
Mix/Temp in Material	°C	
Surfacing Notes		
		• • • • • • • • • • • • • • • • • • • •

Chip Sealing		
Chainage Start	. Description Start	·/·····
Chainage End	. Description End	/ ·····
Date	. / Material /	•••••••••••••••••••••••••••••••••••••••
Width	Aggregate Grade	······································
Area Sealed	Aggregate Source	(Company & Quarry)
Binder Type & Grade		
Cutter Quantity	Cutte	er Type
Adhesion Quantity 1.	/	sion Type
Additive Quantity .		tive Type
Flux Quantity	/	
Spray Tempºg	Litres at spray temperate	ure
Residual Appl. Rate	l/m²	
Sealing Notes	***************************************	·
	• • • • • • • • • • • • • • • • • • • •	• • • • • • • • • • • • • • • • • • • •
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d

	- To	Be Completed For E	ach Road	
ROAD NO	4		Scriew EAST 6326	STACE 1
Start Reference	d 10		d- 190	
Length	160-	Width	5-42	
BASECOURSE LA	YER (LAYER 1)			
Date Completed Depth	100 nm			
Metal Grading		/ A cO	f .	
	Basalt/Greywacke			
SUB-BASE LAYER	R (LAYER 2)			
Date Completed Depth Metal Grading Quarry Metal Type	14/2/2000 150	WAQ		
SUBGRADE (LAYE	IR 3)			
Test Date CBR Type Stabilised Method (Agent) Depth	NIA NIA NIA NIA NIA			
-	•		•	

UNDERCUT (LAYER 4)

Location Length Width Depth Backfill Material

ASPHALTIC CONCRETE & BITUMEN MACADAM

<u>membrane Seai</u>		
Road Name	Road 4	***************************************
Chainage Start d. 10	Description Start	***************************************
End 4.190	Description End	***************************************
Date	Material	Basalt
Width 5-4m	Aggregate Size	Q. 5
Area Sealed 669m²		(Company & Quarry)
Binder Type & Grade	80/200 Bilum	<u> </u>
Cutter Type	Quantity	pph
Spray Temp //64°C	Litres at spray tempe	erature
Residual Appl. Rate	0- 7 I/m²	
Sealing Notes		

Surfacing		
Date	MaterialTW	2 10 Aghalter Concrete Bituma
Binder Type & Grad	ie 60/100	Bituma
Binder Rate .£.2 /-		
Aggregate Size 🚄 10 🛌		
Aggregate Source	(Company & Quarry)	
Contractor	Aubba L	bgan
Mix Temp in Material	/ <i>6.2</i> °C	
Surfacing Notes		***************************************
• • • • • • • • • • • • • • • • • • • •		· · · · · · · · · · · · · · · · · · ·

Chip Sealing	•	
Chainage Start	Description Start	
Chainage End	Description End	
Date	Material	
Width	Aggregate Grade	
Area Sealed	Aggregate Source	(Company & Quarry)
Binder Type & Grade	//	
Cutter Quantity	c	utter Type
Adhesion Quantity	AA	dhesion Type
Additive Quantity (,	dditive Type
Flux Quantity	\` <i>f</i>	
Spray/Temp°(Litres at spray temp	erature
Residual Appl. Rate	/ I/n	12
Sealing Notes	<i>[</i>	· · · · · · · · · · · · · · · · · · ·
		•••••

- To Be Completed For Each Road

SUBDIVISION SURTON FAST STAGE I
SP NO 6326

Start Reference CL 10

End Reference CL 7.7

Width 5-4-

BASECOURSE LAYER (LAYER 1)

Date Completed 12/3/200

Depth 100

Metal Grading 6AP 40

Quarry Laintons LAQ

Metal Type Basalt/Graywacke

SUB-BASE LAYER (LAYER 2)

Date Completed 21/2/2000

Depth 150

Metal Grading GAV 65

Quarry Lingtones LAQ

Metal Type Basalt/Greywacke

SUBGRADE (LAYER 3)

Test Date

CBR

Type

Stabilised

Method (Agent)

Depth

NA

UNDERCUT (LAYER 4)

Location
Length
Width
Depth
Backfill Material

ASPHALTIC CONCRETE & BITUMEN MACADAM

Membrane Seal		
Road Name	Road 5	
ChainageStart	Description Start	·····
Date 1.13/2000	Material	Basalt
Width 4-6m		<i>A.S</i>
		(Company & Quarry)
Binder Type & Grade!	30/200 Dilum	<u>c</u>
Cutter Type	Quantity	pph.
Spray Temp / 60°C		rature
Residual Appl. Rate	0-7 /m²	
Sealing Notes		
Surfacing	•	
Date 15/3/2000	Material. TN2.	10 Azphablic Grante Bilumen
Binder Type & Grad	le 60/100	Bitumen
Binder Rate .b.*2.7-	·	
Aggregate Size < 10 w	ساتتا	
Aggregate Source	(Company & Quarry)	LEQ.
Contractor	Filler H	29a
Mix Temp in Material	<i>Jb.Q</i> °C	
Surfacing Notes		

Chip Sealing	
Chainage Start	Description Start
Chainage End	Description End
Date	Material
Width	Aggregate Grade
Area Sealed	Aggregate Source
Binder Type & Grade	
Cutter Quantity /	
Adhesion Quantity /	Adhesion Type
Additive Quantity / /	Additive Type
Flux Quantity \ \	·./
Spray Temp /°C Lij	res at spray temperature
Residual Appl. Rate /	//m²
Sealing Notes	·
······/	

- To Be Completed For Each Road

		•		
ROAD NO	<u> </u>	SUBDIVISION	SUTTON EAST	STAGE 1
		SP NO	6326	
Start Reference	ch10	End Reference	cL 220	
Length	210n	Width	5-4m	
BASECOURSE LA	YER (LAYER 1)			
	1 /			
Date Completed	151.51.2000 100n			
Depth Metal Grading	641 40			
	- Libebres LAC	Q	<i>t</i> .	
Metal Type	Basalt/Greywacke			
SUB-BASE LAYER	(LAYER 2)	•		
Date Completed	1/3/2000			
Depth	150m			
Metal Grading	044P 65	·		
Quarry	Windows LAG	<u>.</u>		
Metal Type	Basait/Greywacke			
SUBGRADE (LAYE	IR 3)	·		
Test Date	ماير			
CBR	NIA	•		
Туре .	MA		•	•
Stabilised	Yes/Mo	•		
Method (Agent)	Cone 14/6/m			-
Depth	250 m			
UNDERCUT (LAYE	R 4)			
Location				
Length				
Width				
Depth				
Backfill Material	<i></i>			

ASPHALTIC CONCRETE & BITUMEN MACADAM

Membrane Seal	_	
Road Name	Road B	· · · · · · · · · · · · · · · · · · ·
Chainage Start	Description Start	••••••
End 220	Description End	***************************************
Date 15/3/200	O Material	Basalt
		£5
	_	(Company & Quarry)
Binder Type & Grade	180/200 Bitu	mel
Cutter Type	Quantity	pph
Spray Temp 160°C	Litres at spray tempe	erature
Residual Appl. Rate		
Sealing Notes		**************************
• • • • • • • • • • • • • • • • • • • •		
<u>Surfacing</u>		
	MaterialTがえ	10 Azphaltic Concrete Bitumen
Binder Type & Grac	le <i>60 100</i>	Bitumen
Binder Rate .6:2 7.		
Aggregate Size		
Aggregate Source	رمهمائدیا (Company & Quarry)	L-A-Q.
Contractor	Fullen Lleg	<u> </u>
Mix Temp in Material	.160∘c	
Surfacing Notes		
•••••		

Chip Sealing	
Chainage Start	Description Start
Chainage End	Description End
Date	
Width	
Area Sealed	
Binder Type & Grad	6
Cutter Quantity	Cutter Type
Adhesion Quantity	Adhesion Type
Additive Quantity	Additive Type
Flux Quantity	
Spray Temp	C Litres at spray temperature
Residual Appl. Rate	/Vm²
Sealing Notes	/

Fax from : 64 9 5730677

28/02/08

MANUKAU CONSULTANTS → 64 9 5730677

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5 Newark Place East Tamaki

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Pg: NO.110

BENKELMAN BEAM PAVEMENT DEFLECTION TESTS

28/02/60

TEST STANDARD - NRB TI 1977

Report No: 21 1498 01 Page Number _2 of 4

odivision State:			201	2/00	_ S hi	eet Hame ar	No: <u>Rd </u>	
No:			•				i: 8.2	Tonnes
PROVISIONAL RESULT SURJECT TO CONFIRM		Tyre Pressure:					84 580	PSI
700000 10 0011110	(Bally Date						000	KP1
Distance Lone		All readings in mm x 10 ^x				Distance		
(w)	Start (s)	(n) (i)	Final (1)	pti)	X20	from Karty Courts	· Remark	ks
H20 : Right	194	150	150	56		3.0		-
40 9	70	132	134	64		1.0		
60	70	140	146	76		.3.0		
80!	94	174	178	84		1.0		
100	78	140	142	64		3.0		
120	70	140	142	72		1.0		-1.
140 :	82_	158	160	78	•	3.0	· · · · · · · · · · · · · · · · · · ·	
160	80	148	150	70!		60		
180:	62	172	172	10		3.0		
190 V	50	162	166	/06	:	1-0	· · · · · · · · · · · · · · · · · · ·	<u> </u>
190 Left.	78	228	232	154	· . [40	· · · · · · · · · · · · · · · · · · ·	
180	80	216	218	138	1	2.0		
160	80	130	132	52		4.0		
140	40	178	182	H2 !		1.0		
120	92	150	152	60	1	30		
100	78	150	154	76	;	1.9		
80	86	16151	160	74		580	· · · · · · · · · · · · · · · · · · ·	
60	98	152	160	62		1.0	Bow/	
40. V	94	<u> </u>	144	52!	,	3.0		
asuremeal starts:	£	- dma	10	<u>Koaa</u>		· ****		
e of surface:		eleaux	9 <u>e</u>					
nperature Correction (1882)	Taraperotore ()	,	fine &	Wil	dy		(
led by. 06/8	UT OH		Calculated by	γ	אַמ		Checked by:	

. .. Stort Time:

Fax from : 64 9 5730677

MANUKAU CONSULTANTS + 64 9 5738577

-U DUX 3/ 108

South Auckland Mail Centre 5 Newark Place

East Tamaki

28/92/99

New Zealand

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Mobile: (025) 275 5549 (Truck) Focsimile: (09) 272 3378

Approved Signatory; _____

16:41

NO.110

DØ4

BENKELMAN BEAM PAVEMENT DEFLECTION TESTS TEST STANDARD - NRB TI 1977

28/02/00

Raport No: 21 2498 01

3.00 pm.

... Start Time:

Page Number __ 3 of 4___ Job or Sub-Division name: Dawnsmora - Sutton __ Straet Nome or No; ___Rd | Subdivision State: _____ Axle Lood: _____ Tonnes Job No: ____ PROVISIONAL RESULT ONLY M Tyre Pressure: ___ SUBJECT TO CONFIRMATION 580 KPa 101 x mm ni apribost IA Distorke Distante lane X20 from Remarks Storr int Rnal (m) Habit/outer W. **(s)** (1) (1) 136 20 Left 90 46 10 . 1 & - Smales Measurement starts: _____ Type of surface: <u>KOOLOO WWO</u>Q Temperature Correction (time/tamparature "C) CHOK Calculated by: _ Checked by: _____ Date: _____

Date:

Fax from : 64 9 5730677

MANUKAU CONSULTANTS + 64 9 5738677

28/02/00 15:37

PO Box 97168

South Auckland Mail Centre 5 Newark Place

East Tamaki **New Zealand**

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BENKELMAN BEAM PAVEMENT DEFLECTION TESTS TEST STANDARD - NRB TI 1977

Report No: 21 2498 01 414

16:41

rg: NO.110

D05

division S	lole:			MANA		_ S IN	eet Kame or No	Read 5	
PROVISIONAL RESULT ONLY SUBJECT TO CONFIRMATION		. <u></u>	. Date al Ordor:				Axde Load: _	8.7	Tonnes
			Tyre Pressure:					84 580 .	PSI KP#
Niconna.			All roodings in 1	101 x 1101		· _	Distance		<u> </u>
Distance (m)	Lane	Start (s)	Int (1)	Penal (F)	tivn	X20	from R/L Ieft	Rema	orks
20	!	80	1/68	178	98		1.0	Bowl	
41)		62	180	182	120		3.0		
60		76	. 2/8:	ລະງ	146		1.0	4	
80		70	1/88	190	120		3.6		
100.		40	172	178	118		1.0		
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muremen!		Or UP	ROGO				conch witch-w-		
e of surfa			ouroe_	11				_indicates to the property of the control of the co	4
-	Correction (time)		17. //	fi.			101:00	<u>,</u>	
nmedis; _			eather	7-11	<u>u</u>	7	wind	7	***************************************
	12	1.01-1	DH		·· 	OH	/ .		
seed by <u>OB/SLT/</u> on: <u>28/</u> 2/				28/2/00 Oute		hacked by:	16		

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28/93/00 15:37

MANUKAU CONSULTANTS > 64 9 5730677

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East Tamaki New Zealand



Telephone: (09) 272 3375 (025) 275 5549 (Trock) Mobile: festimale: (09) 277 3378

Approved Standbary:

Report No: 21 2498 01

or Sub-Division name:				, , , -	_ Stre	eet Name or Ho	Rd 4	
odivisian State;	<u> </u>	Date of Order.		2/00		Axle Lood: .	8:2	Tonnes
PROVISIONAL RESULT	ONLY	Tyre Pressure:						KSI
SUBJECT TO CONFIRM	ATION							KPa .
	. 7	V readings in	mm x 101			Distance		
Oktance ! Lans (m)	Start (s)	lat (1)	Final (1)	सभा	X2 0	from Kerl/L Left	Resnort	ម
CH 20	98	240	260	162	1.	1.0	bowl	
1 460.	86	220	230	144		3.0	Bowl	
60 :	98	240	250	152		1.0	Bowl	
80	28	240	250	162		3.0	Bowl	
100	62	182	186	124		1.0		<u> </u>
120	146	166	174	128		3.0	boul	
140	48	220	226	178	<u> </u>	1.0		
160	54	136	140	84	<u> </u>	3.0		
180:	90	202	208	118	ļ	1.0		
200	36	210	210	174		3-0		
9 210	176	160	162	86	<u> </u>	1.0		
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•	1 1	load	' ,		1			
Measurement storts:	\$ 17	<u>KUMU</u>	10			,		
Type of surface:		ecounc	IJA		-			
Temperature Correction (for	Veathu		ine #	Wil	dy	· .		
	 					A. 1	-	
Tested by:	20/04	/	Colculated	l by:		AH 1 -	_ Chacked by:	

Dote:

Fax from : 64 9 5730677 28/02/00 16:41 Pg: 1 NO.110 **G**Ø1 MANUKAU CONSULTANTS > 64 9 5738677 28/92/98 15:37 Telephone: (64) (09) 262 \$999 facsimile: (64) (09) 262 5131 First floor, Merial Building, Putney Way. Manukou City, New Zealand PO Box 97168. South Auckland Mail Centre. Ward & Partners. fax No: 973 0677 28/2/00 Date: from: Pages (Incl): The information in this lax is confidential between Manukau Consultants Ud and the intended recipient. Any other person receiving this fax is required to respect that confidentiality and may not disclose, copy or make one of its contents, if you have received this message in error please notily Manukau Consultants (td Immediately and destroy this fax. Message:

There is no Limitation on Drainage Servicing

No Right of Entry was Required



Orion New Zealand Limited ← P O Box 2959 ← 20 Beaumont Street ← Auckland ← New Zealand

Telephone +64-9-359-6347 ← Facsimile +64-9-359-6008

FACSIMILE

To:

Clayton McKenzie

Date:

10 April 2000

Company:

Wood & Partners Consultants Ltd

Fax No:

(09) 379-3236

1

From:

Gina Hing

Pages:

SUBJECT:

Dannemora - Stage 1

Samles Rd/ East Tamaki Rd

Howick WO: 118150 File: Date: 11- 4-2000

MESSAGE

This is to confirm that the gas reticulation at the above site is now complete as per the attached site plan.

Regards

Gina Hing ,

Connections/Project Administrator

GASSED UP WHEN STREET LIGHTING STANDARDS HAVE BEEN ERECTED.

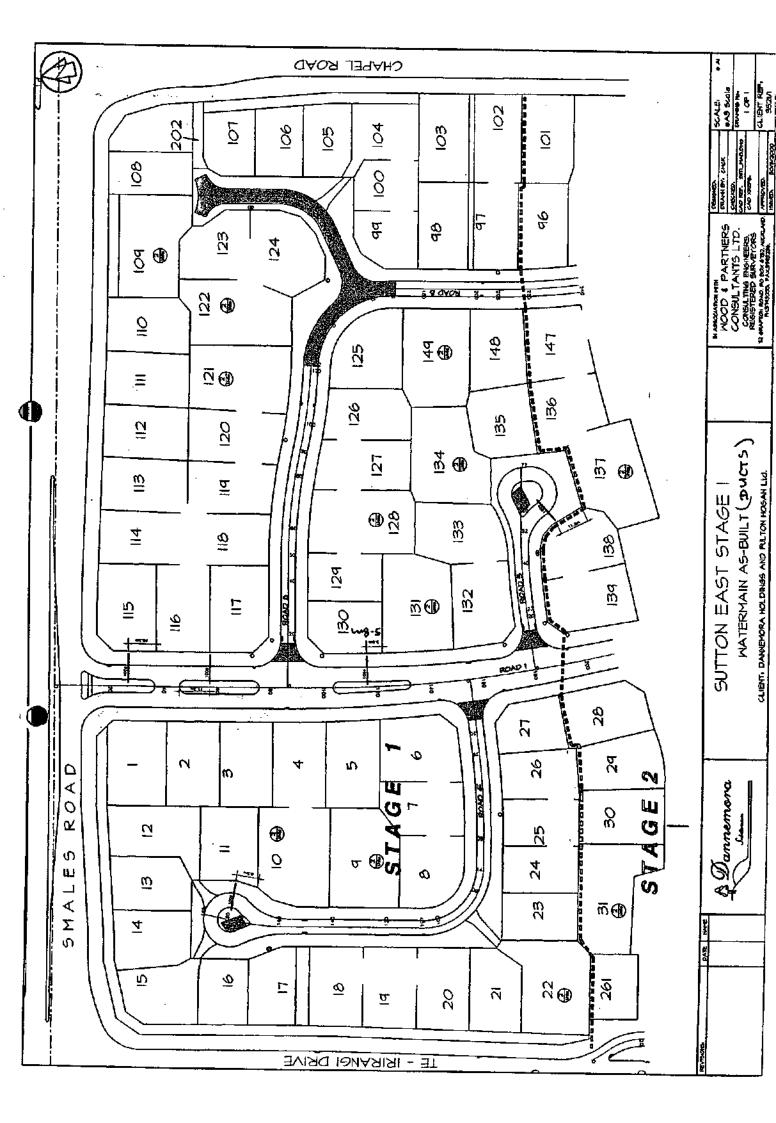
SERVICE RETICULATION CERTIFICATES TO BE FORWARDED UNDER SEPARATE COVER

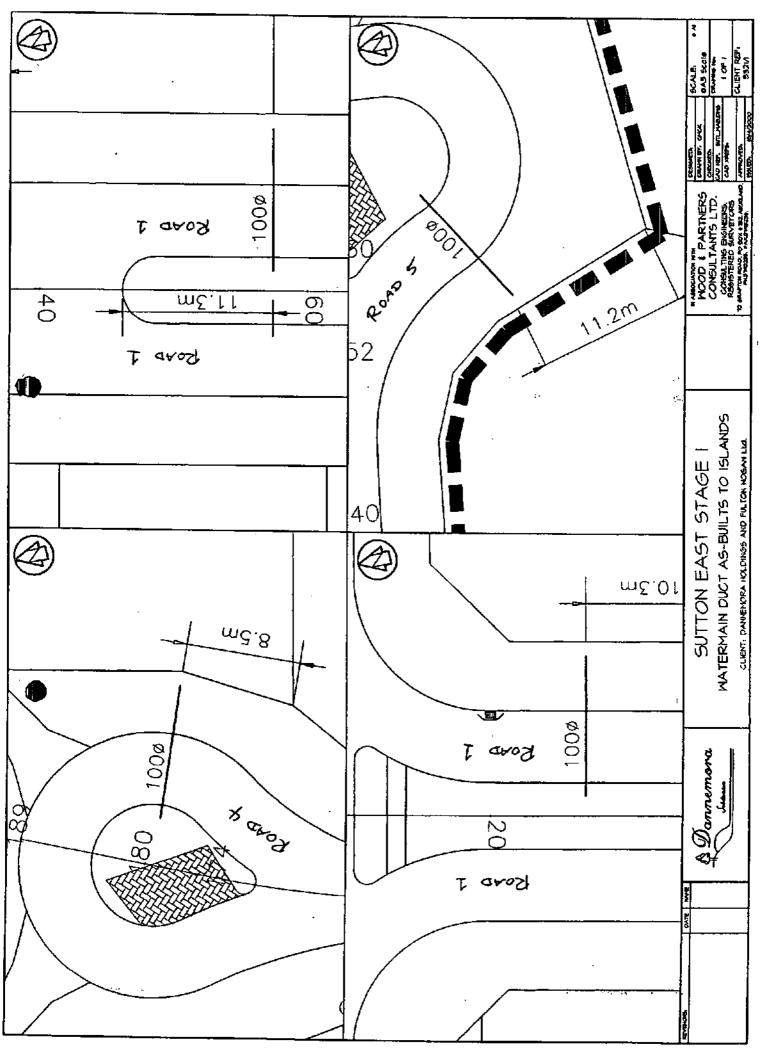
No Scalar Testing was carried out on the subgrade.

All roads are situated on engineered clay fill with Roads 3 and 8 being lime stabilised in addition.

Rainfall Simulation Tests to be Carried out and Approved by Manukau Water

Planting to be Bonded for in Short Term

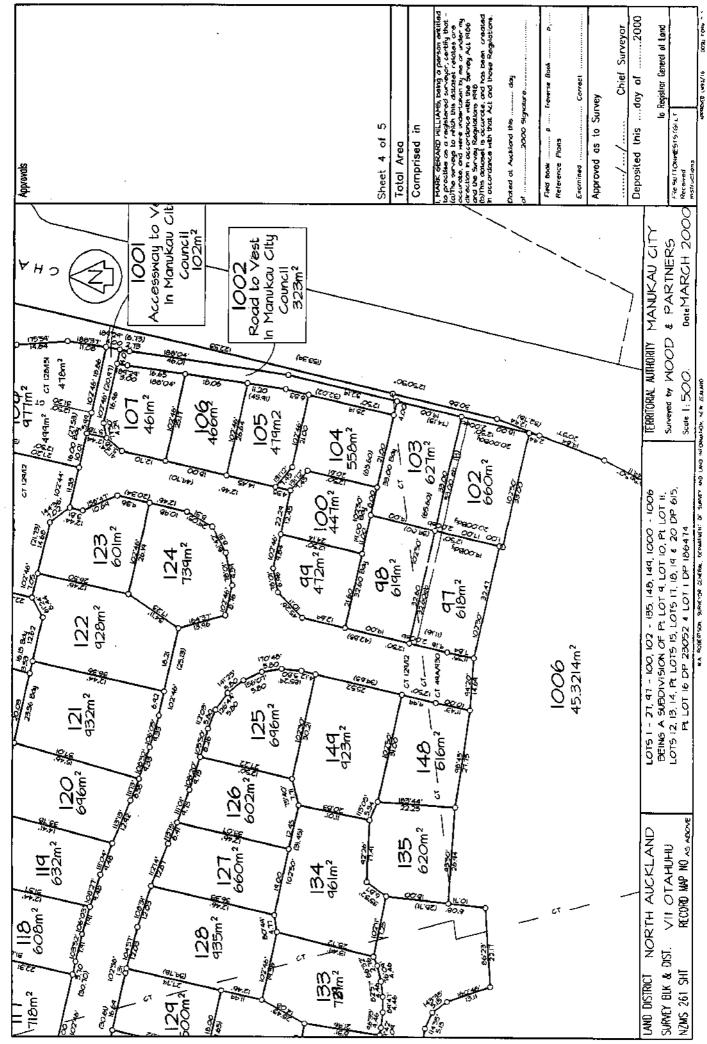




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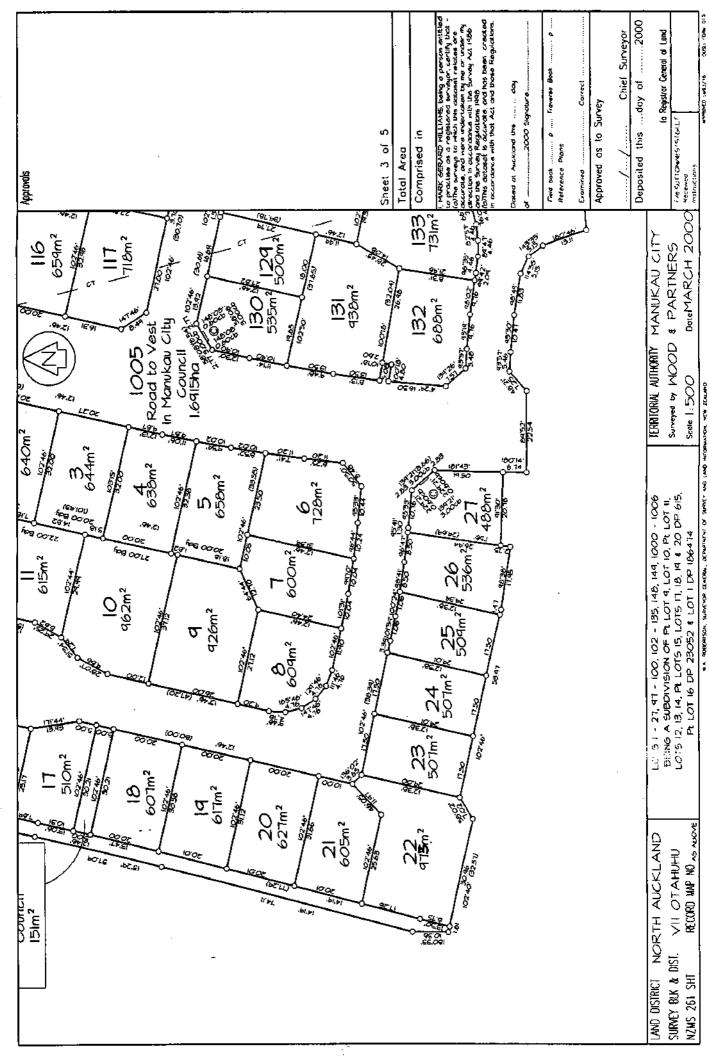
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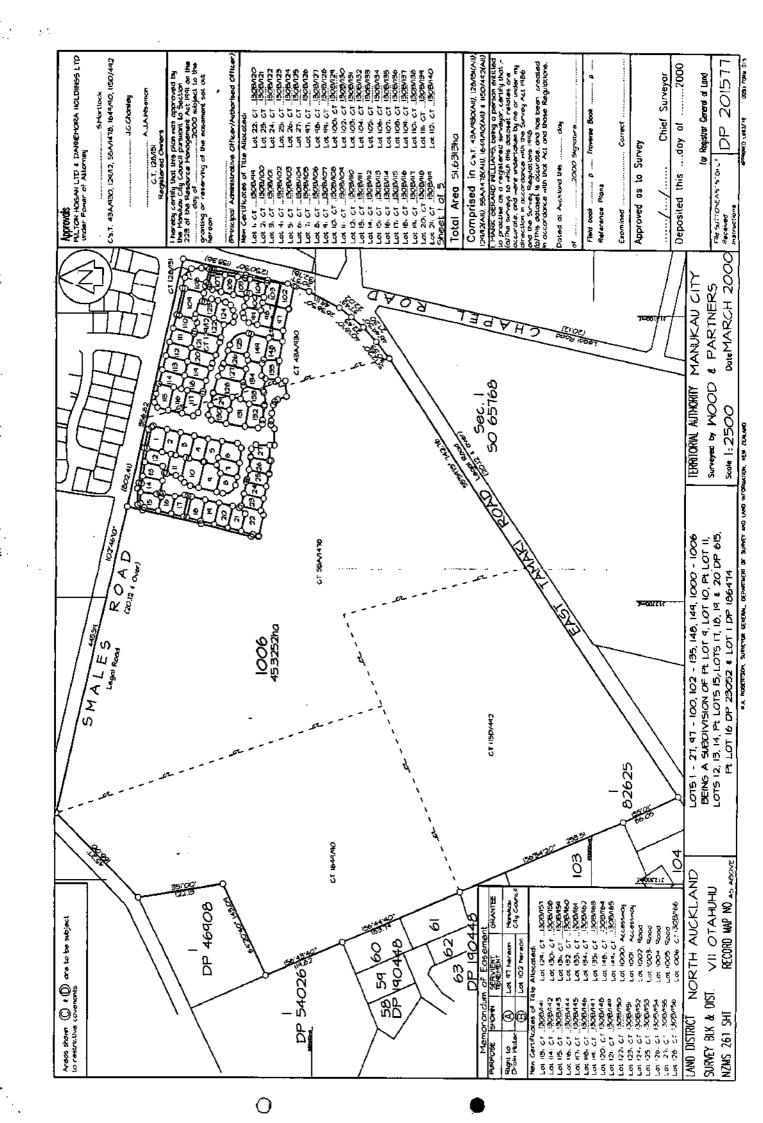
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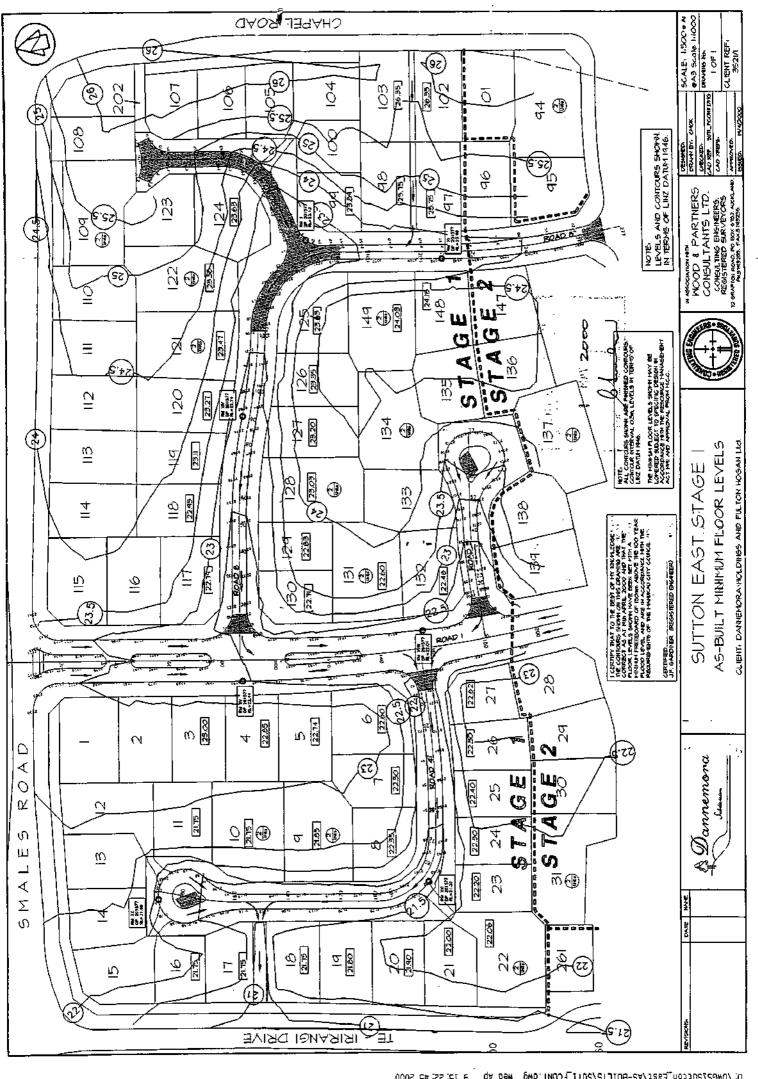
M.A. ROBERTSON, SURVEYOR GENERAL, DEPARTIVENT OF SURVEY AND LAND INFORMATION, NEW ZEALAND



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O: /OW65/Sutton_East/AS-BUILTS/SUT1_FCONT.dwg Wed Ap 9 15: 22: 45 2000

WOOD & PAIRTNERS CONSULTANTS LTD CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.

RECEIVE

3 1 JUL 2000

M.C.C. CENTRAL REGISTRY

Our Ref: Sutton/E/1/LA

28 July 2000

Manukau City Council Private Bag 76-917 MANUKAU CITY

ATTN: MR COLLIN SINCLAIR

Dear Collin

SP6326 P15173

RE: SUTTON EAST STAGE 1

Further to your meeting with Murray Cameron and Bill Jones earlier today we confirm that the remedial works on Sutton East Stage 1 are now complete and we seek the release of the bond.

We would appreciate your arranging for the release as soon as possible.

If you have any queries please call.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

JOHN GARDINER

Director

Appendix 6

MANUKAU CITY COUNCIL

Schedule of Works to be Bonded for prior to Release of 224 Certificate

Sutton East Stage 1 - Bond 2

No	Description	Amount
	Complete footpaths	500.00
1	,, -	500.00
2.	Clear and plaster	500.00
3.	Clean out cesspits and plaster Replace watermain surface box	200.00
4		300.00
5	Flomplete Smales Road berms	1,000.00
6	Complete planting reserve and planting	500.00
7.	Construct overland flowpath Road 8 and 4	500.00
8.	Topsoiling islands and ETCART bund	2,000.00
9.	Complete overland flowpath intakes	1,000.00
10.	√1500ø SW line remedial	·
	ΤΟΓΑL	7,000.00
	Plus GST	<u>875.00</u>
	Fig. 65 r	7,875.00
	Plus Bond Requirements of 25%	<u>1,968.75</u>
	Bond Amount	\$9,843.75
	SAY	\$9,800.00

Additional Bond Information:

a) Developers - Solicitor
Address
Attention

b) Developers - Bondsman (Bank or Insurance Company)
Address

Attention

Acknowledge that the Developer will pay Council's reasonable legal fees in the preparation of the Bond.

Developers Representative

Date:

all complète

Je Lune

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:
D. L. WOOD M.L.P.E.N.Z., F.N.Z.I.S., R.S. FIJI
T.), D. JAMES N.Z.C.I.S., B.SURV., M.N.Z.LS.
D. W. WILLIAMS B.SURV., M.N.Z.I.S.
J. F. GARDINER B.E., M.J.P.F.N.Z.
M. G. WILLIAMS B.SURV., M.N.Z.I.S.



FACSIMILE

Our Fax: 09 379 3236

FACSIMILE NO: 262 -5/63	DATE: 16/5/00		
NUMBER OF PAGES: 2- (including this one)	FILE NO: Sutt/E/224		
TO: MCC			
ATTENTION: Coller Sinclair			
FROM: J.G.			
RE: Sath East			

MESSAGE

Please advise by fax if any part of this transmission failed or was misdirected.

Copy of letter sent to Manuken Water Will alorse when they wapt. Thanks for your Lapl

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.LPE.N.Z., LN.Z.LS., R.S. FIJI T. J. O. IAMES N.Z.C.LS., B.SURV., M.N.Z.LS. D. W. WILLIAMS B.SURV., M.N.Z.LS. J. C. GARDINER B.C., M.I.P.E.N.Z M. G. WILLIAMS BISURV., M.N.Z.L.S.



Our Ref: Sutt/E/224

16 May 2000

Manukau City Council Private Bag 76-917 MANUKAU CITY

ATTENTION: MR GRAHAM PROCTOR/KEN GIFFNEY

Dear Graham/Ken

RE: DANNEMORA SUTTON EAST STAGE 1

At the drainage inspection for the above subdivision Manukau Water (Ken) noted that three pipe joints on the 1500mme (stormwater line 1) had settled.

Having reviewed the settled joints it is our opinion that the settlement is localised and due to problems with the bedding rather than unsuitable foundation material in the trench. This would have resulted in more wide spread settling rather than the isolated occurrences observed. You will be aware that the isolated settling at the three joints has also caused the collars on the flush joint pipes to crack at these locations.

Our proposal for remedying this situation is to drill a hole in the bottom of each settled pipe and to inject grout under the pipe to ensure that any voids which could lead to further settlement are removed. Having done this we will then epoxy mortar the three offending joints and on completion of this work do not anticipate any problems with the line in the long term. Hynds have provided a written statement to us confirming that the hair line cracks in the pipes are not of concern and that the cracked collars will not have any long term impact on the drainage. We can provide this certificate to you if necessary.

Can you consider our comments above and confirm that the methodology for remedying the pipe is acceptable as soon as possible.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

JOHN GARDINER

Director

Collin Sinclair CC:

DOCUMENT TRANSMITTAL NOTICE

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.I.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



File No.

To Glin Sinclair

Date 16/5/2000

Scheme Plan No.

Engineering Plan No.

Project Sutraw East STABE 1 - 2246

DOCUMENT TRANSMITTAL NOTICE

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Sent by: Cla	of Ny				
For your Approval	Information	Comment	As Requested	Records	Action
Please note:					
With Compliments			WOOD &	PARTNERS CONS	ULTANTS LTD.

Level 3, 72 Grafton Road, Auckland P.O. Box 6752, Wellesley Street, Auckland Ph; 09 379 3235 Fax; 09 379 3236 Email: wapco@xtra.co.nz

smales Kol

MANUKAU CITY COUNCIL



MANUKAU WATER

AUTHORITY TO CONNECT TO MANUKAU CITY COUNCIL LINES



WATER SUPPLY

NOTES:

1. Connections by Approved Licenced Contractors ("ALCs") Only:

This Authority to Connect form will be valid only if the Contractor signing it appears on the Council "Register of Approved Licenced Contractors". Only those Contractors whose names appear on this register may make connections to Council sanitary sewer, stormwater or water supply lines (and the ALC must use Authorised Persons to undertake the actual

connection work). The "Register of Approved Licenced Contractors" and the names of the Authorised Persons which each ALC may use is available to the public at Council's offices

2. Certification by Council Only:

The Works described in this form ("the Works") must be certified by Council.

3. Binding Agreement:

Once this form has been duly completed, signed, submitted to Council and then signed by Council, there will be a binding agreement for:

- The Applicant to pay to the Contractor directly the total amount quoted, for the performance of the Works. This amount:
- Is payable to the Contractor once Council has certified the Works. This amount must not be paid any sooner, and must be withheld by the Applicant, either partially or entirely, if Council requests the Applicant in writing to do so. Such a request will be made only if the Contractor fails to complete or to perform properly, the Works.
- Is in addition to any administration, inspection or certification fee or other amount payable to Council by the Applicant in relation to the Works.
- The Applicant to engage Council, and for Council to engage the ALC, to perform the Works. The terms of engagement of the Contractor are set out in the "Approved Licenced Contractor Agreement" currently in force between Council and the Contractor.
- The ALC to perform the Works for the total amount quoted on the basis of the terms of engagement referred to above.

4. Certification by Council - After Hours Inspection:

If Council is required to inspect the Works outside normal working hours, Monday to Friday, an after hours fee will be payable by the Applicant, in addition to Council's usual inspection fee.

5. Water Meter Connections:

This form should not be used for water meter connections. A separate form for that purpose is available at Council's offices.

6. Notification:

The Council connection officer must be notified of the intended commencement of the Works before the Works begin. The ALC must notify the Council Connections Office, telephone 2625752, at least 2 working days in advance for final inspection of the Works. This completed and signed Authority to Connect form must be held on site by the relevant Authorised person at all times while the Works are being performed.

APPLICANT DETAILS

Full name of Applicant: KERRY DICE LTO (if the Applicant is a company, state its full and correct legal name)

Postal Address: P.O. Box 12-140 PosuPose.

Street Address (if different): 22 Bouson to MT WELLINGTON.

Ph no: \$730672

Fax no: 573 0677

Mobile no: 025 730 194

APPROVED LICENSED CONTRACTOR (ALC) DETAILS

Full name of ALC: KERRY DIVER LOCO (if the ALC is a company, state its full and correct legal name)

Postal Address: P.O. Box 12-140 Pesulose

Street Address (if different): 22 Bousoen to MT WELLINGTON

Ph no: 5730672

Fax no: 5730677

Mobile no:025 730194

Authorised Person With Overall Responsibility for Works - Name:

COLON BURCHELL-ALC

DESCRIPTION OF WORKS

Site at Which Works to be Performed (insert brief description and attach plan):

Street Address: Smakes Road - OPPOSITE ARMOY DR.

Legal description: Lot no: 12 - 18 DP no: 615

CT no:

Description of Works (insert brief description and attach drawings, including Council Land Information Services Plan): - CONNECTION OF ZOOK WAIN TO EXISTING ZOOK

man outside hot 115.

including (delete where applicable) TSICE LOT!

- Full reinstatement of private property
- Full reinstatement of Council property
- Notification to Council
- Traffic control to Transit NZ standards
- Notification to OSH, Department of Labour
- -- Other (specify):

	QUOTE OF WORKS/PAY	MENT DETAILS		
Amount of Quote:	<u> 2800</u>	» ·	7	
plus GST	§ <u>350</u>			124 4
Total:	\$ 3150			
This quote will remain val	id until 31 MAY 200	<u> </u>		(date)

AUTHORITY TO ENTER PRIVATE LAND

If the Works are to be performed on land owned by:

- The Applicant, the Applicant, by signing this form, authorises:
 - The Council to go onto the Applicant's land to inspect the Works.
 - The ALC to go onto the Applicant's land to perform the Works.
- To enter land owned by anyone other than the Applicant, the ALC must obtain the written consent of the landowner before going onto the owner's land (and this form is not an authority by the Council for the entry by the ALC or the Applicant onto any such land). A copy of the landowner's letter of consent must be submitted with this application.

		AC	REEMENT				
The Applicant, the the notes to this form	n)	J		•	11 0	in this form (i	including
SIGNED by or on b	ehalf of: Person	el encry A britan	sel 200				
Applicant:	William -	Σ	ate: 3	MAY	2000		
(if signing on behalf of Approved Licensed (if signing on behalf of	Contractor.		S SECTION OF THE PARTY OF THE P	TENUIT Date:	signing)	5)2000	
Council:	Cook	Date:	5-5-00		5 3 ′		
·							- ,
IMPORTANT NOTE:		pplicant nor the	•			ngie	

7 Springs Road, Level 1, Goodman Fielder House Attention: Council Connections Officer, Fax: 26252	G Procter - Team Leader 204 Ph: 2625750, 025 909544
·	G Stodart - General Enquiries Ph: 2625752 (for notifications to Council - see note 6)
	J Austin - Customer Services Officer Ph: 2625751
	B King Papatoetoe, Manurewa, Mangere Ph: 2625753, 025 980820
	T Crook Howick, Pakuranga, Otara Ph: 2625208, 025 951891
	K Giffney Rural, City Wide Ph: 2625205, 025 2209626
	ALC Acc # 54241159
FOR MANUK	AU WATER USE ONLY
Date Received \$ \frac{5}{5} \sqrt{5} \text{C} \text	<u>/c</u>
CONNECTION APPLICATION FEES GST #: 51-963-660 Administration \$ /45 \cdot \infty	- PART ENGRES - MIRIELLAGE S CONSOUR DE DARME DE CHESKE Tax Involve/Receipt 951 Aati
Inspection \$ Certification \$	
As-builts \$ Other \$	
TOTAL \$	
Confirmation of Testing and Approval of up-line network	fficer's Name Signature Date
Initial connection Observation/Inspection/ Certification/Rainfall simulation test (delete as required)	Coy .
3. Connection As-builts and Certificates received	11111111100
4. Final approval for connection of works to public line	(10/51
5. Copy of this completed form given to	

MANUKAU WATER CONTACT DETAILS

Telephone Numbers: Connections Team

Manukau Water, Private Bag 76917, Manukau City

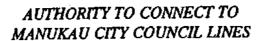
Car Smeless Ti Rete

Authority Number:



MANUKAU CITY COUNCIL

MANUKAU WATER





SANITARY SEWER

NOTES:

1. Connections by Approved Licenced Contractors ("ALCs") Only:

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connection work). The "Register of Approved Licenced Contractors" and the names of the Authorised Persons which each ALC may use is available to the public at Council's offices

2. Certification by Council Only:

The Works described in this form ("the Works") must be certified by Council.

3. Binding Agreement:

Once this form has been duly completed, signed, submitted to Council and then signed by Council, there will be a binding agreement for:

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- The Applicant to engage Council, and for Council to engage the ALC, to perform the Works. The terms of engagement of the Contractor are set out in the "Approved Licenced Contractor Agreement" currently in force between Council and the Contractor.
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4. Certification by Council - After Hours Inspection:

If Council is required to inspect the Works outside normal working hours, Monday to Friday, an after hours fee will be payable by the Applicant, in addition to Council's usual inspection fee.

5. Water Meter Connections:

This form should not be used for water meter connections. A separate form for that purpose is available at Council's offices.

6. Notification:

The Council connection officer must be notified of the intended commencement of the Works before the Works begin. The ALC must notify the Council Connections Office, telephone 2625752, at least 2 working days in advance for final inspection of the Works. This completed and signed Authority to Connect form must be held on site by the relevant Authorised person at all times while the Works are being performed.

APPLICANT DETAILS				
Full name of Applicant: KERN DINES 1500 (if the Applicant is a company, state its full and correct legal name)				
Postal Address: P.O. Box 12-140 Pen Rose				
Street Address (if different): 22 Bourden 20 MT NEHLINGTON 025730194				
Ph no: 513 0672 Fax no: 513 0671 Mobile no: 553				
APPROVED LICENCED CONTRACTOR (ALC) DETAILS				
Full name of ALC: KERY DINES LTO (if the ALC is a company, state its full and correct legal name)				
Postal Address: P.O. Box 12 - 140 PEORE				
Street Address (If different): 22 Bowson Ro M7 WERLINGTON				
Ph no: 5730672 Fax no: 5730677 Mobile no: 025730194 Bu Dues - Superculsor				
Authorised Person With Overall Responsibility For Works Name: John Tolemaki -ALC.				
DESCRIPTION OF WORKS				
Site at which works to be performed (insert brief description and attach plan)				
Street Address: Croz Smartes Ro 200 Ti Idianaca DR.				
Legal description: Lot No: 12-18 DP no: 615 CT no:				
Description of works (insert brief description and attach drawings, including Council Land Information Services Plan):				
Item 1: A.L.C. REMOVALL OF PLUG FROM MONHOLE - EXIST. S.S. LOT IS.				
Item 2:				
Item 3: Tes				
Item 3: 5 CS				
Including				
> Full-reinstatement of private property > Full-reinstatement of Council property				
Notification to Council				
Traffic control to Transit New Zealand standards Notification to OSH, Department of Labour				
Other (specify)				

QUOTE OF WORKS/PAYMENT DETAILS			
Amount of Quote:	s 100	en en en en en en en en en en en en en e	
plus GST	\$ 12.50		
Total:	\$ 112.50	2013	
This quote will remain	valid until 31 may 2000	(date)	

AUTHORITY TO ENTER PRIVATE LAND

If the Works are to be performed on land owned by:

- The Applicant, the Applicant, by signing this form, authorises:
 - The Council to go onto the Applicant's land to inspect the Works.
 - The ALC to go onto the Applicant's land to perform the Works.
- To enter land owned by anyone other than the Applicant, the ALC must obtain the written consent of
 the landowner before going onto the owner's land (and this form is not an authority by the Council for
 the entry by the ALC or the Applicant onto any such land). A copy of the landowner's letter of consent
 must be submitted with this application.

AGREEMENT
The Applicant, the ALC and the Council agree to be bound by the terms appearing in this form (including the notes to this form) SIGNED by or on behalf of: SIGNED by or on behalf of: TROJECT ENGINEER Applicant: Date: Date: Date:
Applicant:
Council: Ty Cook Date: 5-5-00
1MPORTANT NOTE: Neither the Applicant nor the Approved Licensed Contractor should sign this "Agreement" section unless all preceding sections have been completed in full.

position of the second	Connections Team
7 Springs Road, Level 1, Goodman Fielder House Attention: Council Connections Officer, Fax: 26252	G Procter - Team Leader 04 Ph: 2625750, 025 909544
	G Stodart - General Enquiries Ph: 2625752 (for notifications to Council - see note 6)
	J Austin - Customer Services Officer Ph: 2625751
	B King Papatoetoe, Manurewa, Mangere Ph: 2625753, 025 980820
<i>,</i> ·	T Crook Howick, Pakuranga, Otara Ph: 2625208, 025 951891
	K Giffney Rural, City Wide Ph: 2625205, 025 2209626
	ALC Acc # 54241159
FOR MANUK	AU WATER USE ONLY
Date Received \$ 5/5/60 Ref. To \$	E.
Connection Certified \$	
CONNECTION APPLICATION FEES	of All Response All Children
GST #: 51-963-660	Fax: swatcaffective Still Atom
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Inspection \$	_
As-builts \$	- j
Other \$	
TOTAL \$	
	
I. Confirmation of Testing and Approval of up-line network	fficer's Name Signature Date
Initial connection Observation/Inspection/ Certification/Rainfall simulation test (delete as required)	
3. Connection As-builts and Certificates received	150
4. Final approval for connection of works to public line	
5. Copy of this completed form given to Building Control	

MANUKAU WATER CONTACT DETAILS

Telephone Numbers:

Manusau Water, Private Bag 76917, Manukau City

WOOD & PAIRTNERS CONSULTANTS LTD CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.L.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.L.S. D. W. WILLIAMS B.SURV., M.N.Z.L.S. J. F. GARDINER B.E., M.J.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.

MAC (Collin 5) 23/5/00

Scheme Plan No.

Engineering Plan No.

Project

DOCUMENT TRANSMITTAL NOTICE

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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:
D. L. WOOD M.I.P.E.N.Z., E.N.Z.I.S., R.S. FIJI
T, J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S.
D. W. WILLIAMS B.SURV., M.N.Z.I.S.

D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER H.E., M.LP.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



FACSIMILE

Our Fax: 09 379 3236

FACSIMILE NO: 262-5/63	DATE: /7/5/00
NUMBER OF PAGES: # 4 (Including this one)	FILE NO: Sept 1 / 224
TO: MEC	
ATTENTION: Collin Sindair	
FROM: J.G.	
RE: Sultan East 184	

MESSAGE

Please advise by far: if any part of this transmission falled or was misdirected.

Copy of Marukau Water acceptance
of 1500 of proposal Amended bond form
covering remedial work also Telecom
cert Inclosed. Only ordstanding matter
is now Vector I think.

File: Date: \ \ \ \ \ \ \ Action To Note Telecom New Zealand Limited

Telecom New Zealanc Ltd Work Management Group Level 14, Telecom House 8 Hereford St Private Bag 92028 Auckland

Telephone: 09 358 6547

Facsimile:

09-377 0493

File:

ias00053/9/etm

Customer Ref: 3521/e1/ut

16 May 2000

TELEPHONE NETWORK PROVISIONING **CLEARANCE CERTIFICATE**

SUBDIVISION TITLE:

Sutton Block East Stage 1.

For Dannemora Holdings

Being Lots 1-26, 97-135, &148-149. Part of blocks 14 & 15 DP 615

Telecom New Zealand Limited will be able to provide telephone reticulation through the existing network to the above subdivision.

Service lead-ins to individual lots are not covered by this Certificate. Service leads can be provisioned by phoning 123, Telecom Residential Sales and Services.

Graeme Norton for Mike Schwalger Regional Manager, North





Fax sent by : 64 9 <u>379 3</u>236

.

Fax from

WOOD AND PARTNERS

17/05/00

Pq: 1 ₽g:

14:26 17/05/00 19:28



892625284

Manukau Water

Quality . Service . Reliability 1st Floor 7 Springs Road Private Bag 76-917 Manukau City, New Zealand Ph (09) 263-7100 Operator response Fax (09) 262-5204



City Council

To:

John Gardiner

Of:

Wood & Partners

Fax No:

3793236

Sender: Ken Giffney

Operations Engineer

Direct dial : (09) 262-5205 Mobile: (025) 220-9626 Email: kgiffney@manukau.govt.nz

Date:

17 May, 2000

No of pages (includes this one); 1

All the material in this message is confidential to the addresses. If the reader is not the intended recipient you may not use any material in this message for any purpose. Please notify the sender that you have received this message and destroy it. Thank you.

Re: Dannemora Sutton East Stage 1

To your letter of 16 May 2000 regarding the joint settlement if the 1500 dia. pipe, please be advised that we accept your proposed method of repair.

Special mention of this work should be included in your Completion Certificate.

Regards

Ken Giffney

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

L, WOOD MEMENIZ, ENIZES. R.S. DII J. D. JAMES N.Z.C.E.S., H.SURV., M.N.Z.E. W. WILLIAMS B.SURV., M.N.Z.ES. F. GARDINER BLE, MILPENIZ. A. C. WILLIAMS B.SURV., M.N.Z 1.5.



FACSIMILE

Our Fax: 09 379 3236

FACSIMILE NO: 276-3697	DATE: 16/5/2500
NUMBER OF PAGES: 3 (including this one)	FILE NO: 3521/21/224
TO: Collin Sinclail (Finser-	Thomas
ATTENTION:	
FROM: Clay Lupla vil	
RE: Sulla East Stage 1 -	Bean Tests

MESSAGE

Please advise by fax if any part of this transmission failed or was misdirected.

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Ryandy Chipt LLKgs

3521/21/224

16/85/88

10:48



MANAGEMENT ENGINEERING ENVIRONMENT

Report 21 2498 02 Fage 1 of 2 Clients Order No. -

29 April, 2000

Wood and Partners P O Box 6752 Wellesley Street

ATTENTION: John Gardner

Dear Sir

SUTTON BLOCK EAST

Thank you for your requisition for testing dated 8 March 2000 requesting Benkelman Beam deflection tests at the above location

Laboratory staff carried out Benkelman Beam measurements on 10 March 2000. Testing was carried out in accordance with NRB T1 1977 standard using an 8.2 tonne axle load. Results are detailed on page 2 of this report.

Deflections ranged from 0.12mm to 1.37mm.

If you wish to discuss this test report or the results included, or if you require any further testing please do not hesitate to contact the writer.

Yours faithfully
GHO LIMITED

Ed Cull

Laboratory Manager

21 2496 02;0jc

IF CALLING PLEASE QUOTE : Report No. 21 2498 02 Mr E Cult

This report must not be aftered of reproduced except in full.

This report relates only to the positions tested

GHD Limited 7 Namam Place, East Tambhi, 9 C Box 58877, Greenmont, non-20atans Teo 64 9 272 3378 Fax: 64 9 212 3378, Email Tambalifighassa oz Wen Hinn grocks oz



Ail these reported horden have been performed in eccardates with the laboratory's areas of eccardinates



.: +649 2723378

16/05/00

LPS OFF Revision I



BENKELMAN BEAM PAVEMENT DEFLECTION

YEST STANDARD - NAB TT 1977

JOB OR SUB-DIVISION NAME.

SUTTON BLOCK

WOOD AND PARTNERS LTD

SUB-DIVISION STAGE: JOB No.

STREET NAME OR NO

Road 8

TYRE PRESSURE

58CkPa 84 ps

REPORT

21 2498 02

TYRE SIZE mm

1000x200 AXUELOAD

8 2 tonnes

2 of 2 PAĞE

DATE OF ORDER.

8.3.00

TYPE OF SURFACE: Basecourse FEMPERATURE CORRECTION: N/A START TIME. 1.00pm	Chainaye Lone Start (m) S 20 Left 98 40 Right 98 60 Lon 98 80 Right 90 100 Left 98 140 Left 98 20 Right 98 20 Right 98 20 Right 98 220 Left 98 230 Left 98 230 Left 98 240 Right 98 250 Left 98 250 Left 98 250 Left 98 250 Left 98		Final F 160 167 128 142 140 140 150 152 185 162 185 160 150 160 160 160 160 160 160 160 160 160 16	0.52 0.54 0.30 0.49 0.42 0.50 0.42 0.50 0.40 0.54 0.82 0.52 0.64 0.88	Kerbline 3.0 1.0 1.0 1.0 1.5 1.5 1.5 1.5 1	CL of Road &	
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TESTED BY:

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CHECKED BY:

DATÉ:

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APPROVED SIGNATORY.

DATE:

9.5.00

14/10 CC alan P

Recd 14/10

Consent granted RODNET

13 December 1999

1/11/99.

RoadNet Services New Zealand

First Floor, Parkview Tower.

Cnr Davies Avenue/Putney Way, Manukau City

PO Box 76-561, Manukau City

The Manager

14 Telephone: 0-9 263 3600

The Manager
Building and Resource Services
Manukau City Council
Private Bag 76917
MANUKAU CITY 1730

ATTENTION ALAN PAYNE/MIKE PRITCHARD

Dear Alan and Mike

RESOURCE CONSENT: SUTTON BLOCK EAST - STAGES 1 & 2

PROPOSAL NUMBER: 15173

RoadNet Services New Zealand have been engaged by Manukau City Council as Road Network Managers for this area.

Thank you for the documentation and plans received 8 December 1999 relating to Sutton Block East Stage 1 and 2 Subdivision.

Generally we are satisfied with these plans.

There are however a number of minor points that need attending to:

- Some of the traffic islands will need RG-17 'Keep Left' signs and AW-5 'Diverge' signs.
- 2 Both Te Irirangi Drive and Chapel Road are designates with a higher speed than the subdivision road. All subdivision roads that join the main roads will need RG-1 '50km/hr' speed restriction signs and the appropriate speed on the reverse side. The speed of both main roads is not determined as yet.
- 3 Faux brick is not an acceptable alternative to cobblestone paving as described in the MANARC Standards. Please replace these ones with cobblestone pours.
- 4 Traffic Management for the project will be very important where subdivision roads join both Te Irirangi Drive and Chapel Road. Please have Traffic Management Plans submitted to RoadNet before construction commences.

Yours sincerely

JOHN NEILL

Manager Traffic Engineering

g:\otara-manurewa\road\easttamaki_6081\474brs_dec99.doc



Environmental Services

1 December 1999

Wood and Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

DECISION ON AN APPLICATION FOR A SUBDIVISION RESOURCE CONSENT

Applicant: Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1

and 2)

Application: Resource Consent for Subdivision of the existing three parcels comprised

in Certificates of Title 55A/1478, 43A/930 and 129/12 into 117 fee simple

lots in 2 stages (Controlled Activity)

Location: 474 East Tamaki Road, East Tamaki

MCC Reference: SP6326 (Proposal No. 15173)

Legal Description: Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Zone: Future Development Stage 1 (Operative Manukau District Plan)

Main Residential (Proposed Manukau District Plan)

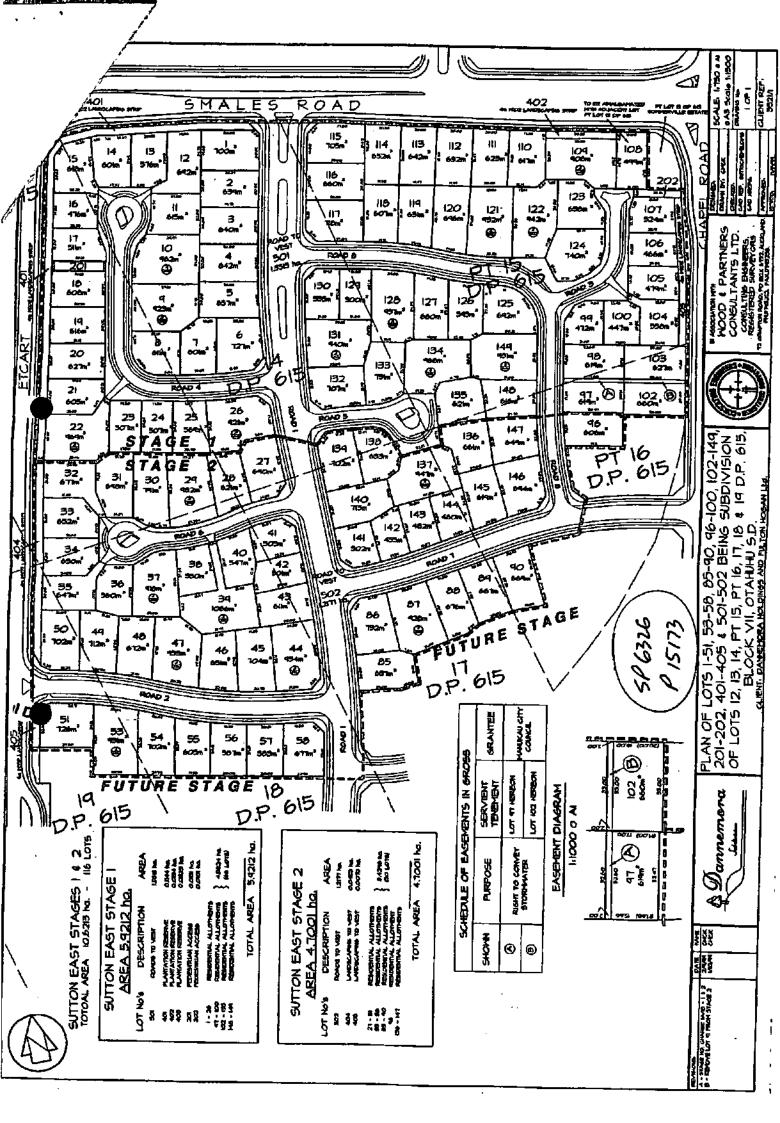
I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non-complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Controlled Activity pursuant to the provision of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

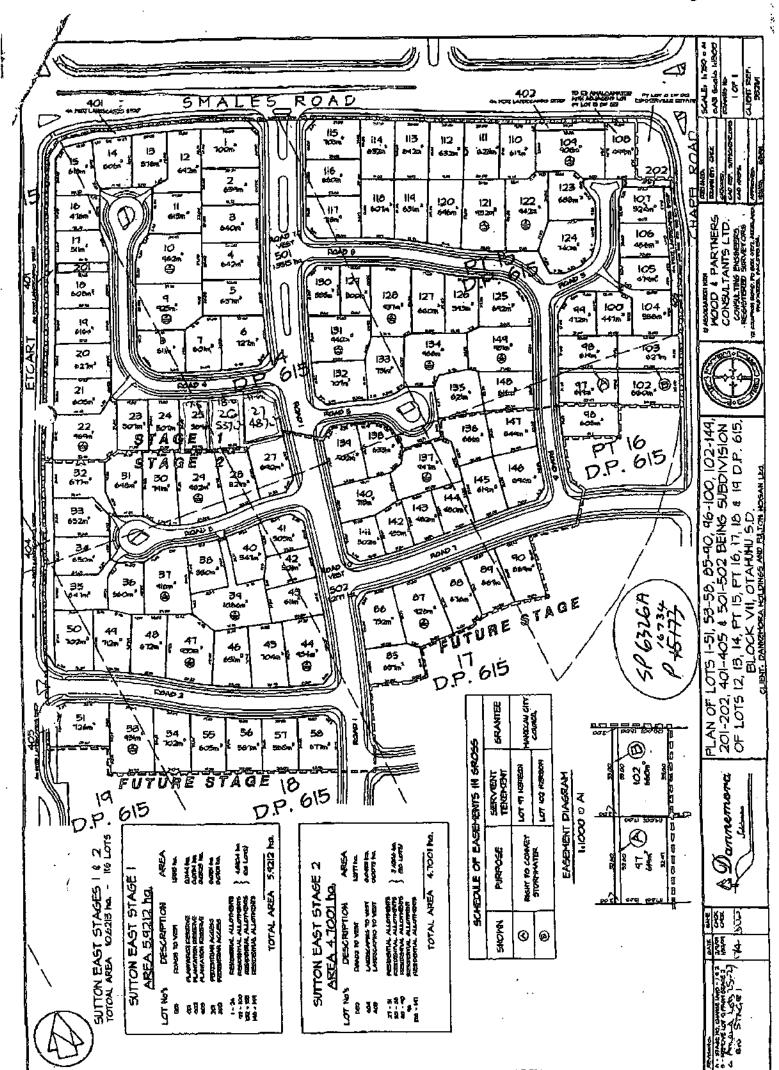
1. That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.

STAGE 1 - Residential Lots 1-26, 97-100, 102-135, 148 and 149 (66 Residential lots)

2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326, Proposal 15173 Enquiries to: Mike Pritchard
Direct Dial: 262-8900, extn 5874 Direct Facsimile: 262-5168





596376A P 16734 A PLAN

Friday 3. want Consent Nes Cor. also cheek & alter res con



Environmental Services

		Private Bag 76917
To:	M. D Wood.	Manukau City
	01	New Zealand
Company:	Wood & Ptns	DX EP75557
	3793236	Fax (09) 262-5168
Fax No:	3/73 4) 6	(09) 262-5109
From:	Mike Pilchard.	Email:@manukau.govt.nz
Date:	6/11/99. No of Pages: 3.	
Subject:	Dannemora. Suffor East	474 ET Rd.
	SP6326 P15173	

Don.

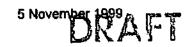
I refer to attached sheets re yesterdays fax please substitute P14. (a/n 10 was incorrect)

- P

FAXED

8/1/99

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.



- 8. Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rates specified in conditions 7 (stage 1) and 6 (stage 2) then these rates will be amended accordingly, if this occurs prior to the Section 224 release.
- Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.
- 10. The engineering plans for the upgrading of Chapel Road have not been required before granting this resource consent application because the applicant has indicated that arrangements have been made to have this work done as part of the subdivision works for the property on the eastern side of Chapel Road (Howick Parklands).

Whatever arrangements are made by the applicant for the execution of this work, it must be completed before issue of the 224 certificate.

REASONS FOR DECISION

correct vertica

- 1. The proposal is generally in accordance with the Land Use approval for Concept Subdivision dated 14 September 1999.
- No submissions have been identified against the proposed zoning of the land to Main Residential in the Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- 3. The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau City Transitional District Plan and sections 104, 105 and 405 of the Resource Management Act 1991.
- 4. The proposed subdivision was considered as a controlled activity, as the proposed allotments comply with all relevant requirements of the Transitional and Proposed District Plans.
- All identifiable adverse effects resulting from the development will be avoided, remedied, or mitigated by the provisions in the District Plans and the above conditions of consent.

COSTS

- The deposit of \$562.50 already paid will be deducted from the total costs.
- 2. That in addition to the consent charge for the above subdivision, and further pursuant to Section 36(1)(c) of the Resource Management Act, an engineering administration, compliance and supervision charge, relating to the engineering conditions of the Resource Consent will be applicable together with administration charges relating to the release of the subdivision as fixed by determining all reasonable and actual costs incurred by the Council. The actual charges incurred in the Council's field monitoring of the engineering works will be determined at the completion of works and will be payable prior to release/completion. The applicant will be advised of the charges as they fall due.



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- 9. Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

10. ... Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the loss to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

REASONS FOR DECISION

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ENVIRONMENTAL SERVICE

18fft -See en explous. Compare LU.

TO

Mike Pritchard

FRŐM

Alan Payne

DATE : 29 October 1999

The following engineering conditions relating to the above Resource Consent application are to be carried out to the satisfaction of and at no cost to the Council. (filed G:\data\wpdata\Alan Payne\15173 memo to CC.doc)

Applicant:

Dannemora Holdings Ltd

Application:

RESOURCE CONSENT FOR SUBDIVISION

Location:

474 East Tamaki Road

Sutton Block East Stages 1 & 2

MCC Proposal No: 15173

CONDITIONS FOR STAGE 1

Public Utility Services

Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance

Network Utility Services

An adequate natural gas supply retigulation system shall be installed to provide a suitably located service to each lot within the subdivision.

- (a) Underground power and telephone, services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
- (b) Satisfáctory arrangements shall be put in place tó confirm a continued electrical supply.
- Suitable easements or road boundary alignments set back from the projected (c) road boundaries shall be provided for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.

Street lighting facilities shall be supplied and installed on all new roads, Smales Road and Chapel Road in accordance with Chapters 7 and 9 of the District Plan and the MANARC Standards.

Minimum Floor Levels

The following lots have been identified as being susceptible to flooding from secondary flow paths located in the road or the adjoining public accessway.

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in order to protect buildings on these lots from the effects of flooding the following minimum floor levels, identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
3	23.00	
4	22.85	
5	22.74	· · ·
6	22.60	-
7	22.50	
8	22.35	····
9	21.85	
10	21.75	
11	21.75	
16	21.75	
17	21.75	
18	21.75	
19	21.80	
20	21.90	
21	22.00	
22	22.06	
23	22.20	-
24	22,30	
25	22,40	· "
26	22.50	Unit facing Road 4
26	22.62	Unit facing Road 1
97	25.75	
98	25.75	
, 99	23.89 //	
(102)	26.35 QUW	<i>(</i>
103	26.35	
117	22.79	
118	22.95	
119	23.11	
120	23.27	
121	23.47	
122	23.58	_
124	23.63	· · · · · · · · · · · · · · · · · · ·
125	23.63	
126	23.35	
127	23.20	
128	23.03	
129	22.83	
130	22.71	
131	22.60	
132	22.48	
148	24.18	
149	24.03	

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All levels are in terms of the Lands & Survey Auckland Datum, 1946.

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The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

The minimum floor levels may be varied subject to the applicants engineer demonstrating and certifying that:

12 c/v

- i) The amended levels are in general accordance with the original design proposed and meet the requirements of the Proposed District Plan and the associated engineering performance standards and
- ii) Approval of Council's Manager Resource Consents & Compliance.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice in accordance with Section 221 of the Resource Management Act 1991 on the certificate of titles of the respective lots (and recorded on Council's Land Information Register) both at no cost to Council.

Foundation Completion Report

- 6 (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

This information shall also be recorded on Council's Land Information Record.

Roads And Accessways

- The applicant shall construct at no cost to the Council all works required to intersect Road 1 with Smales Road, including construction of footpaths and berms.
- The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road.
- All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
- Road upgrading works will be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for these works shall be submitted for approval by the Manager – Resource Consents & Compliance.

All roads are to be fully constructed with stormwater control, including the provision of street landscaping.



12 Allandscaping plan shall be provided to the requirements of the Manager – Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years)/from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

The landscaping strips shown as Lots 401, 402 and 403 will be maintained by Council.

13 \ The pedestrian accessways Lots 201 and 202 shall be constructed and fenced both sides in accordance with the approved drawings referenced E7/15173 by Council.

Road crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the road crossing has been predetermined.

Financial Contributions

A Comprehensive Stormwater Discharge Levy of \$2,731.15 including GST shall be paid to Manukau City Council.

The applicant is advised that this levy (FC45) has been calculated at \$410.00 plus GST per hectare for the total area of this development of 5.9212 hectares.

16 A Stormwater Quality contribution of \$52,358.21 including GST shall be paid to Manukau City Council.

The applicant is advised that this contribution (Tamaki/Point View Stormwater quality pond FC3) has been calculated at \$7,860.00 plus GST per hectare for the total area of this development of 5.9212 hectares.

17 A Wastewater contribution of \$6,861.19 including GST shall be paid to Manukau City Council.

The applicant is advised that this contribution (Smales Road Sewer FC139) has been assessed at \$1,030.00 plus GST per hectare for the total area of this development of 5,9212 hectares.

18 A Roading Upgrade contribution shall be paid to Manukau City Council for:

The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 22, including the length of frontage to ETCART of lots 15, 16, 17, 201, 18, 19, 20, 21, and 22.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

(f) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of Pt. Lot 15 DP 615 including the length of frontage

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to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and Rt. LONES

This contribution has been assessed at \$440.00 plus GST per metre of road frontage. This contribution has been adjusted for the work required in condition

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Engineering Plans

- The works applicable to this stage detailed on the approved plans referenced E7/15173 (sheets 1-37) by Council shall be constructed to the satisfaction of and at no cost to the Council and are subject to the following requirements:
 - (i) All materials, workmanship and testing shall be in accordance with the current Manukau City Council Engineering Quality and MANARC Standards.
 - (ii) All construction work, shown on the attached plans, shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards).
 - (iii) On completion of the work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to Council's appointed field officer.
 - /(iv) A 'pre-construction' meeting is to be arranged 48 hours prior to commencement of the works. Please contact Jackie Wilkie (phone 262-8900 extension 5877).
 - (v) All works on existing public wastewater, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
 - (vi) The works shall be completed within six months of the commencement of the works and prior to the issue of the Section 224 certificate.

A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two week prior to the works commencing. An application form is enclosed.

Advice Notes For Stage 1

The requirements pursuant to Conditions 5 and 6(b) will be recorded on Council's Land Information Register.

The specified minimum floor levels in this consent may be varied by the approval of Council's Manager - Resource Consents & Compliance. Any variation required must be requested at the time of the site variation intended (not retrospective) and should include a detailed specific engineering design in accordance with the provisions of the District Plan.

Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

- 4 A Health and Safety Control Programme is required to be submitted to Council's Manager Resource Consents & Compliance prior to:
 - (a) Prior to the works commencing involving places of work controlled by the Council.

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- (b) release of subdivision resource consent under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- Clause 6.8.6.1 of Council's Engineering Quality Standards manual (carriageway acceptance) in respect to Council carrying out Benklemann Beam tests at no cost to the developer has been amended to the extent that the cost of this work shall now be borne by the applicant.
- 6 Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rate specified in condition 4(b) then this rate will be amended accordingly, if this occurs prior to the Section 224 release.

The engineering plans for the upgrading of Chapel Road have not been required before granting this resource consent application because the applicant has indicated that arrangements have been made to have this work done as part of the subdivision works for the property on the eastern side of Chapel Road (Howick Parklands).

Whatever arrangements are made by the applicant for the execution of this work, it must be completed before issue of the 224 certificate.

CONDITIONS FOR STAGE 2

Public Utility Services

Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance

Network Utility Services

- An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
 - - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
 - (d) The existing overhead services along the Chapel Road frontage shall be relocated underground unless advice has been received from the utility operators confirming that either:

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- (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
- (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- 4 Street lighting facilities shall be supplied and installed on all new roads in accordance with Chapters 7 and 9 of the District Plan and the MANARC Standards.

Minimum Floor Levels

The following lots have been identified as being susceptible to flooding from secondary flow paths located in the road or the adjoining public accessway.

In order to protect buildings on these lots from the effects of flooding the following minimum floor levels, identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
27	22.75	
41	22.97	
42	23.05	
43	23.20	
44	23.30	Unit facing Road 1
44	23.38	Unit facing Road 8
58	23.68	
85	23.40	
86	23.30	
139	22.78	
140	22.92	
141	23.00	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

The minimum/ floor levels may be varied subject to the applicants engineer demonstrating and certifying that:

- i) The amended levels are in general accordance with the original design proposed and meet the requirements of the Proposed District Plan and the associated / engineering performance standards and
- ii) Approval of Council's Manager Resource Consents & Compliance.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice in accordance with Section 221 of the Resource Management Act 1991 on the certificate of titles of the respective lots (and recorded on Council's Land Information Register) both at no cost to Council.

Foundation Completion Report

(a) A satisfactory foundation completion report shall be submitted for all lots.

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(b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

This information shall also be recorded on Council's Land Information Record.

Roads And Accessways

Cond 3(b) X

The applicant shall construct at no cost to the Council all works required to intersect Road 2 with ETCART, including construction of footpaths and berms.

- 9 \ All activities undertaken in relation to ETCART shall be in accordance with the Construction Agreement between the applicant and the Council.
- All roads are to be fully constructed with stormwater control, including the provision of street landscaping.
- 12 A landscaping plan shall be provided to the requirements of the Manager Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

The landscaping strips shown as Lots 404 and 405 will be maintained by Council.

14 Road crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the road crossing has been predetermined.

Financial Contributions

A Comprehensive **Stormwater Discharge** Levy of \$2,211.69 including GST shall be paid to Manukau City Council.

The applicant is advised that this levy (FC45) has been calculated at \$410.00 plus GST per hectare for the total area of this development of 4.7950 hectares.

16 A **Stormwater Quality** contribution of \$42,399.79 including GST shall be paid to Manukau City Council.

The applicant is advised that this contribution (Tamaki/Point View Stormwater quality pond FC3) has been calculated at \$7,860.00 plus GST per hectare for the total area of this development of 4.7950 hectares.

17 A Wastewater contribution of \$5,556.21 including GST shall be paid to Manukau City Council.



The applicant is advised that this contribution (Smales Road Sewer FC139) has been assessed at \$1,030.00 plus GST per hectare for the total area of this development of 4.7950 hectares.

A Roading Upgrade contribution shall be paid to Manukau City Council for.

a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 32, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of lots 32, 33, 34, 35 and 50. From the projected northern boundary of lot 51 south to the projected southern boundary of lot 51.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

Engineering Plans

- The works applicable to this stage detailed on the approved plans referenced E7/15173 (sheets 1-37) by Council shall be constructed to the satisfaction of and at no cost to the Council and are subject to the following requirements:
 - (i) All materials, workmanship and testing shall be in accordance with the current Manukau City Council Engineering Quality and MANARC Standards.
 - (ii) All construction work, shown on the attached plans, shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards).
 - (iii) On completion of the work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to Council's appointed field officer.
 - (iv) A 'pre-construction' meeting is to be arranged 48 hours prior to commencement of the works. Please contact Jackie Wilkie (phone 262-8900 extension 5877).
 - (vi) All works on existing public wastewater, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.

(vi) The works shall be completed within six months of the commencement of the works and prior to the issue of the Section 224 certificate.

A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two week prior to the works commencing. An application form is enclosed.

Advice Notes For Stage 2

- The requirements pursuant to conditions 5 and 6(b) will be recorded on Council's Land Information Register.
- The specified minimum floor levels in this consent may be varied by the approval of Council's Manager Resource Consents & Compliance. Any variation required must be requested at the time of the site variation intended (not retrospective) and should include a detailed specific engineering design in accordance with the provisions of the District Plan.

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- 3 Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.
- 4 A Health and Safety Control Programme is required to be submitted to Council's Manager Resource Consents & Compliance prior to:
 - (a) Prior to the works commencing involving places of work controlled by the Council.
 - (b) release of subdivision resource consent under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- Clause 6.B.6.1 of Council's Engineering Quality Standards manual (carriageway acceptance) in respect to Council carrying out Benklemann Beam tests at no cost to the developer has been amended to the extent that the cost of this work shall now be borne by the applicant.
- Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rate specified in condition 4(b) then this rate will be amended accordingly, if this occurs prior to the Section 224 release.

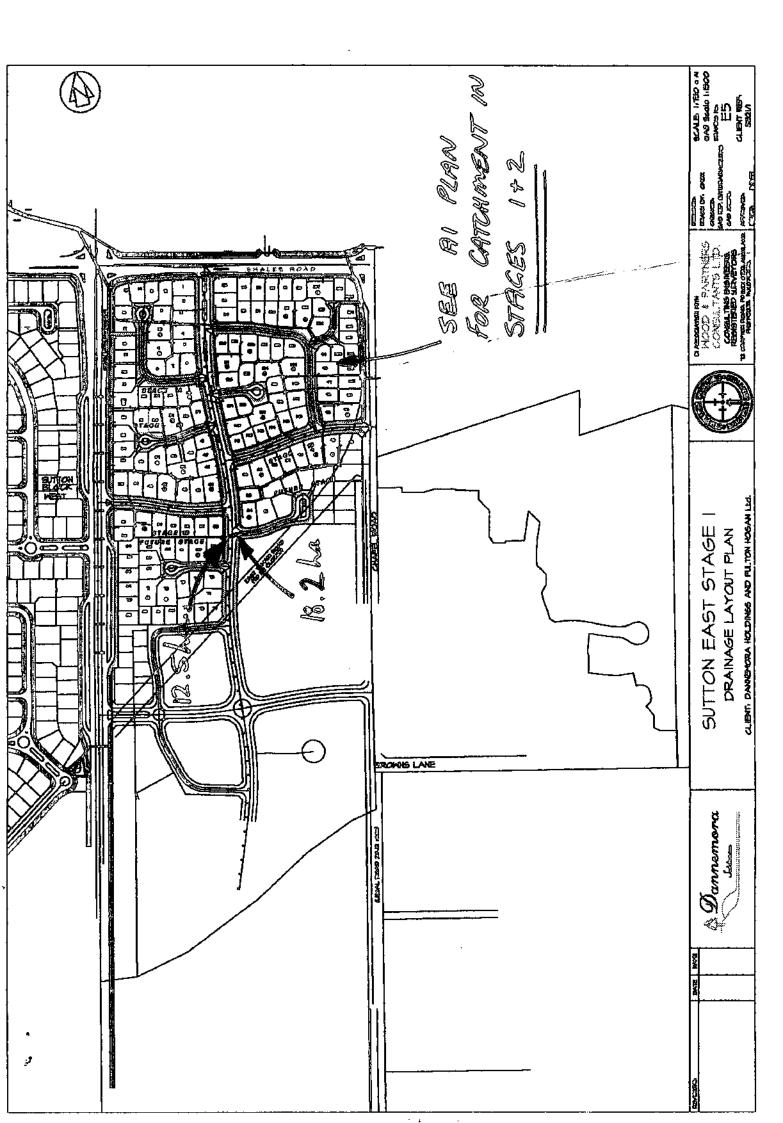
Costs

In addition to the consent charge for this consent, and pursuant to Section 36(1)(c) of the Resource Management Act 1991; an engineering administration and inspection charge, relating to the engineering conditions of the Resource Consent will be applicable (together with administration charges relating to the release of the subdivision as fixed) by determining all reasonable and actual costs incurred by Council. The actual charges incurred in the Council's field monitoring of the engineering works will be determined at the completion of works and will be payable prior to release. The applicant will be advised of the charges as they fall due.

Réasons For Decision

The proposed development and engineering works are in accordance with Council's engineering standards and should not result in any adverse effect on the environment.





SUTTON EAST STAGES 1 & 2

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FOR

WOOD & PARTNERS CONSULTANTS LTD.
REGISTERED SURVEYORS CONSULTING ENGINEERS

CONSULTING ENGINEERS
72 GRAFTON ROAD. PO BOX 6752.
PH. 3743235 AUCKLAND FAX. 3743236
CLIENT REF. SUTTON EAST

SUTTON EAST STAGE 182

Earthworks & Civil Works and Stage 1 Civil Works INDEX

SHEET NO TITLE

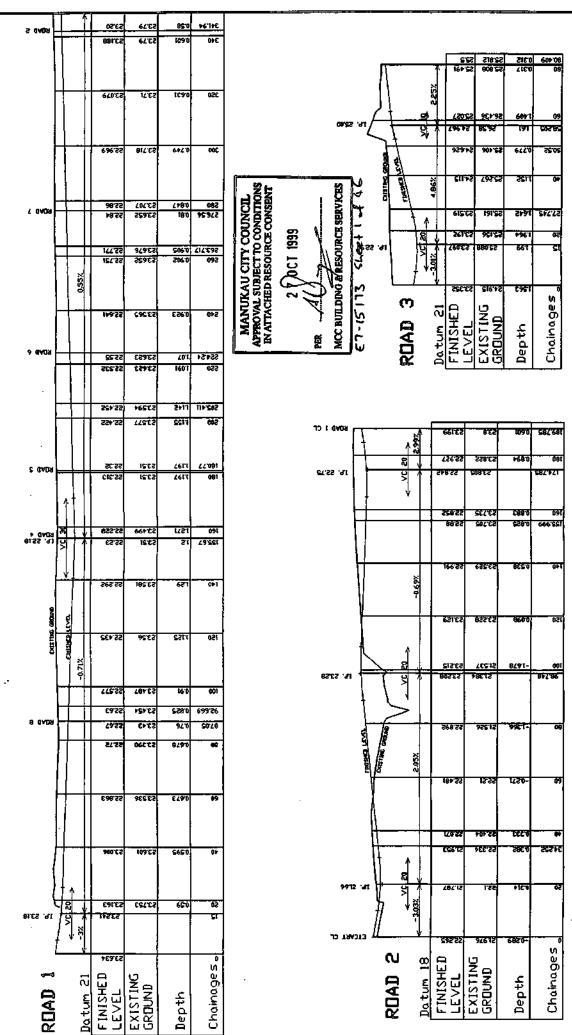
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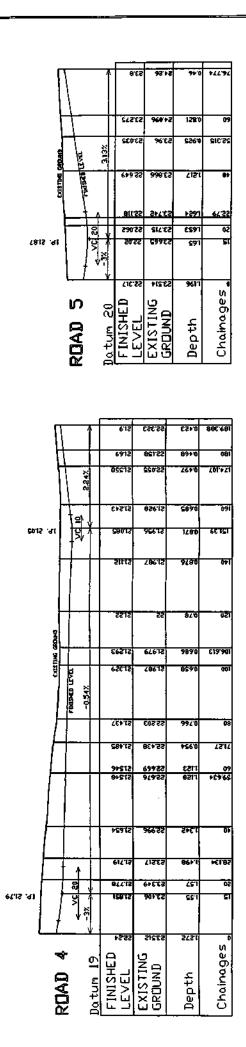
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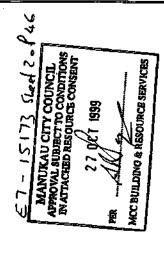
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SUTTON EAST STAGE ROAD LONGSECTIONS

CLIENT, DANNEHORA HOLDINGS AND PULTON HOGAN LLA.

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CLIENT, DANNEHORA HOLDINGS AND FULTON HOSAN LLG.

SUTTON EAST STAGE ROAD LONGSECTIONS

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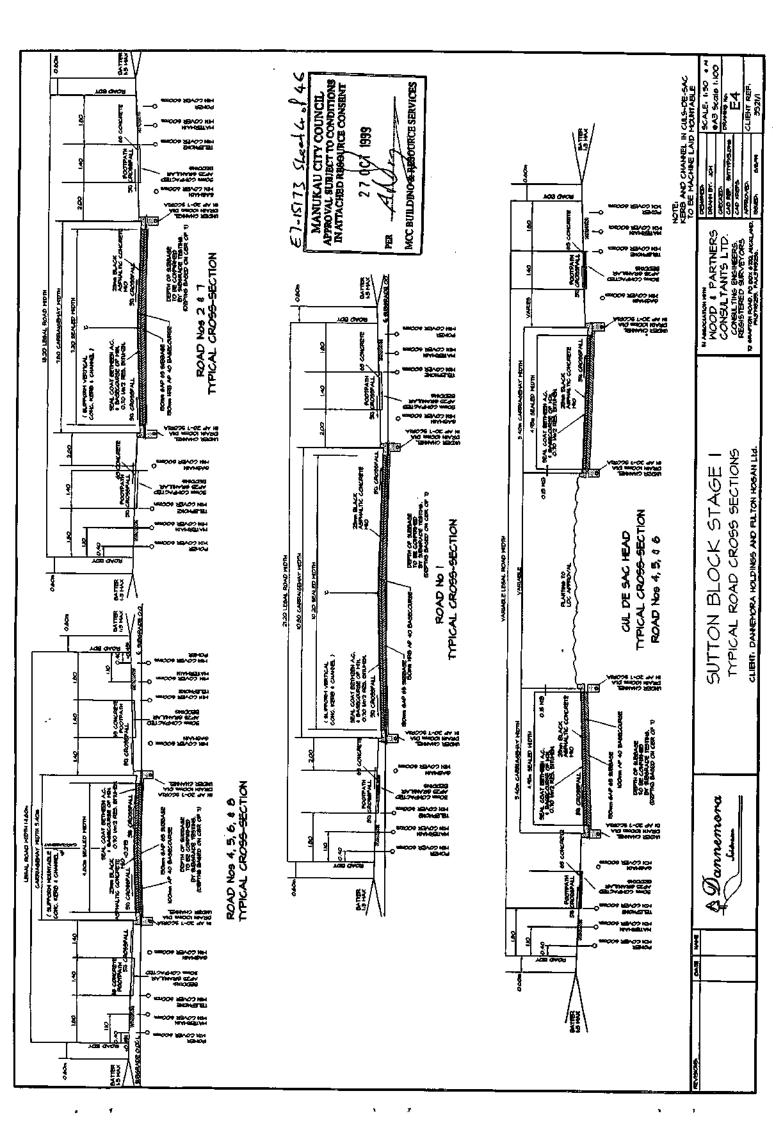
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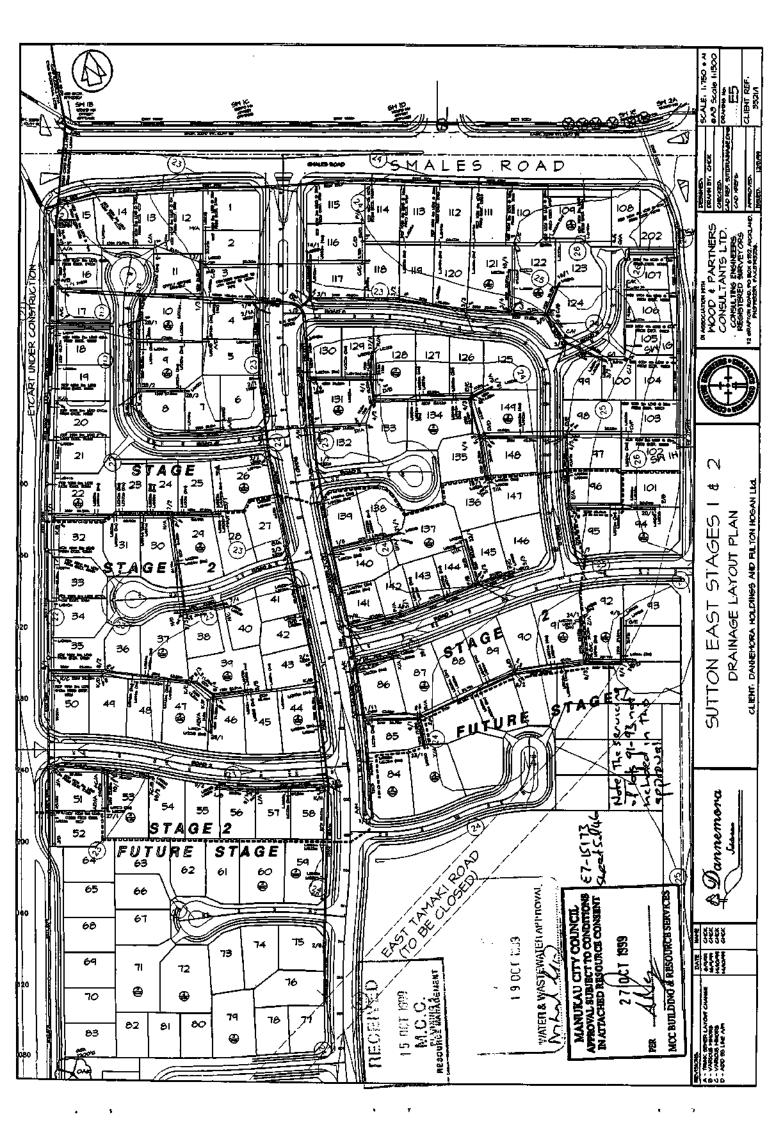
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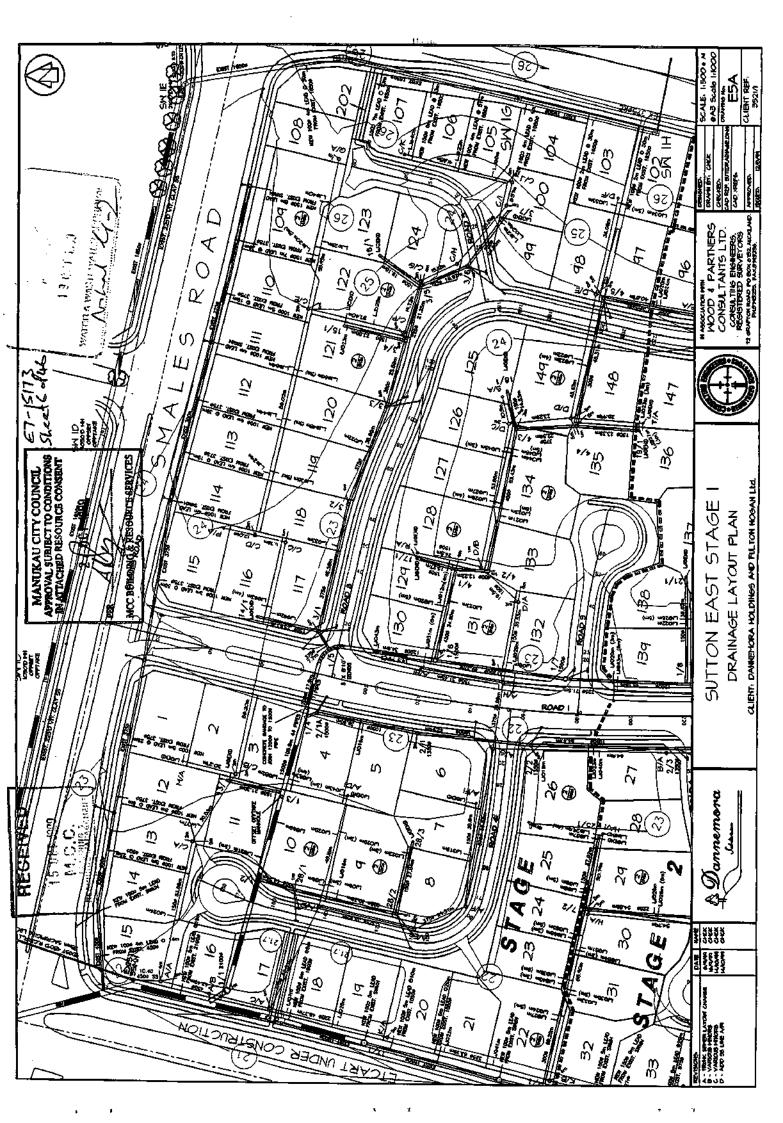
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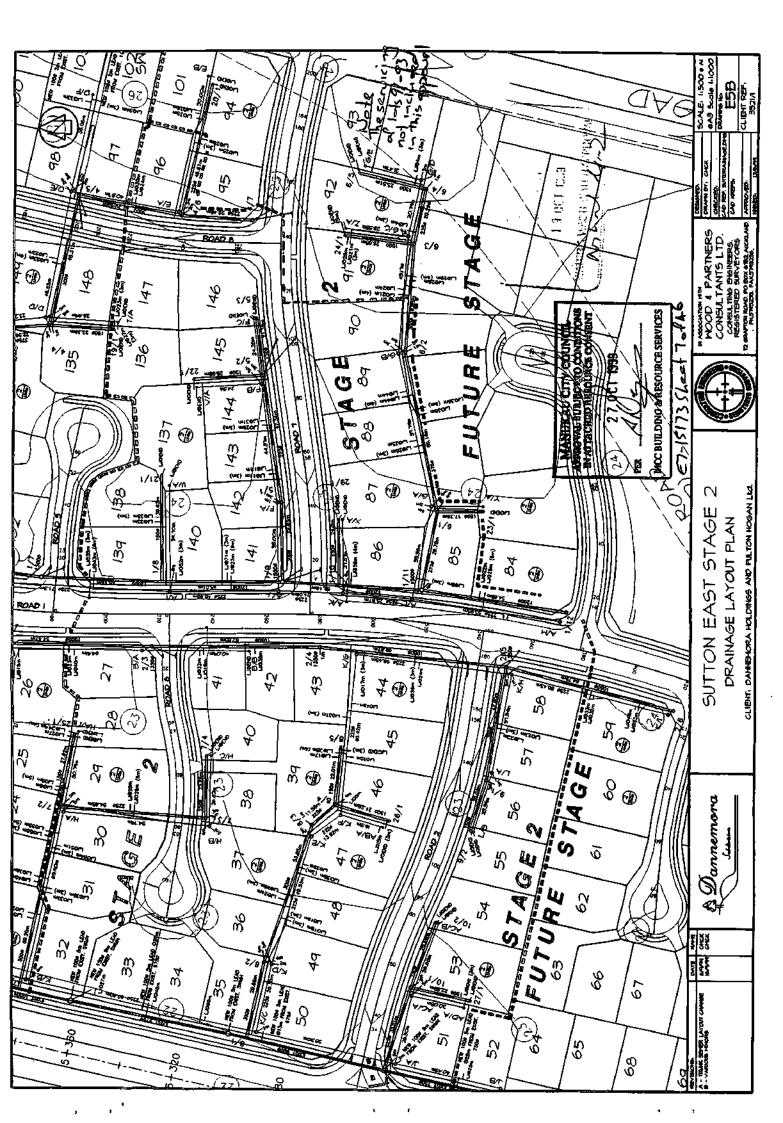
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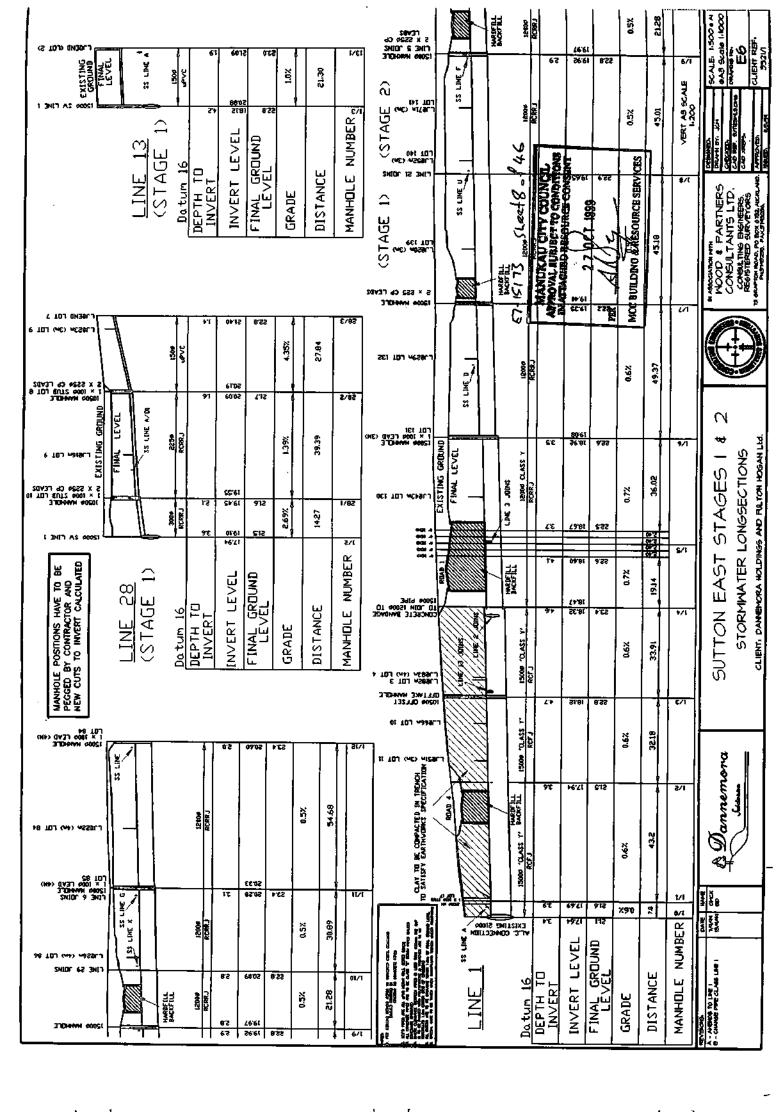
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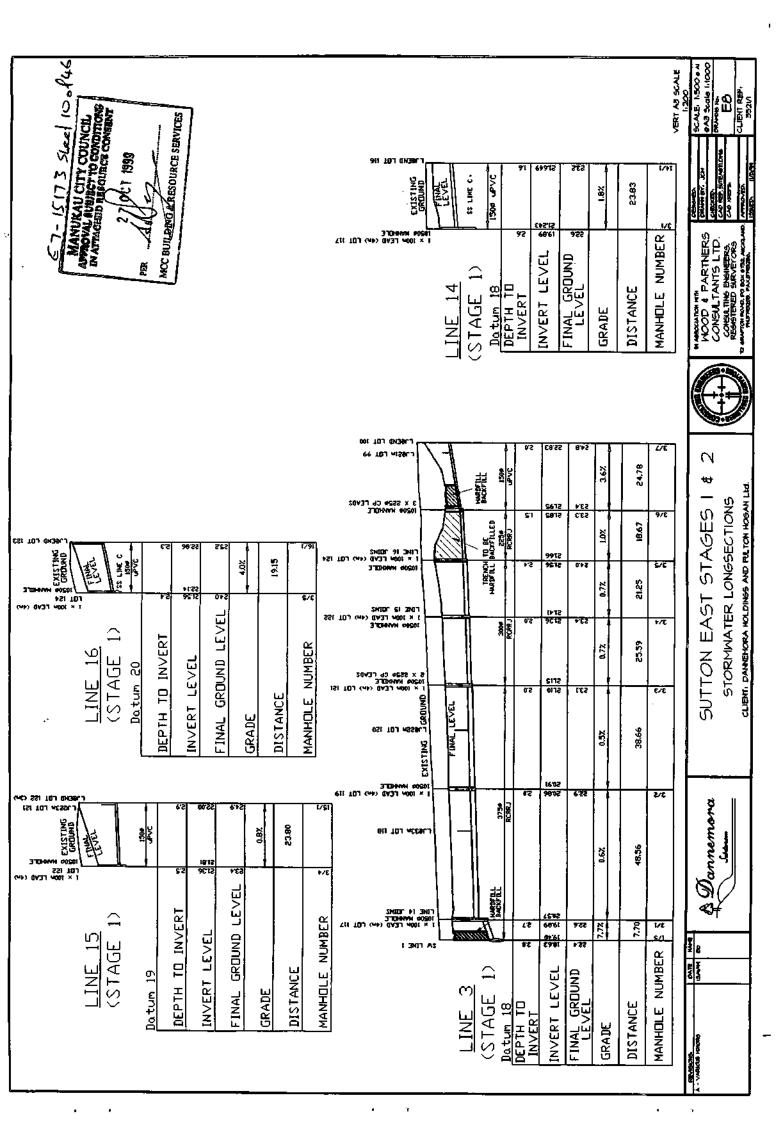


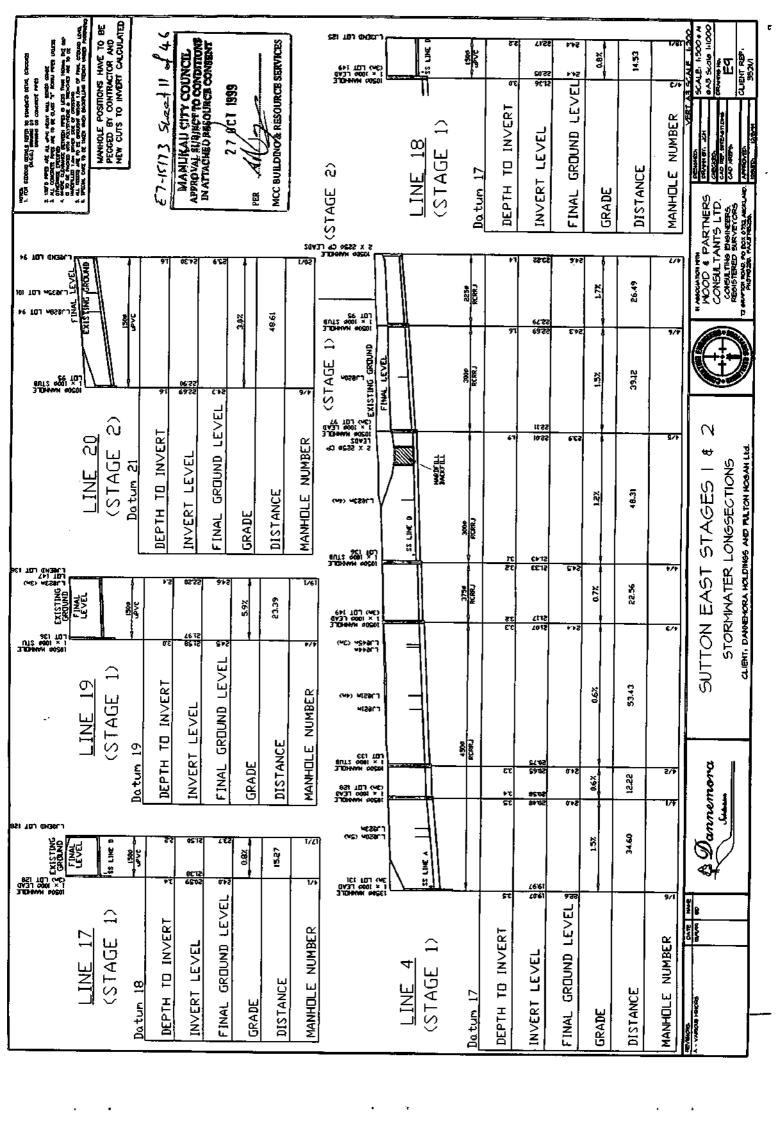


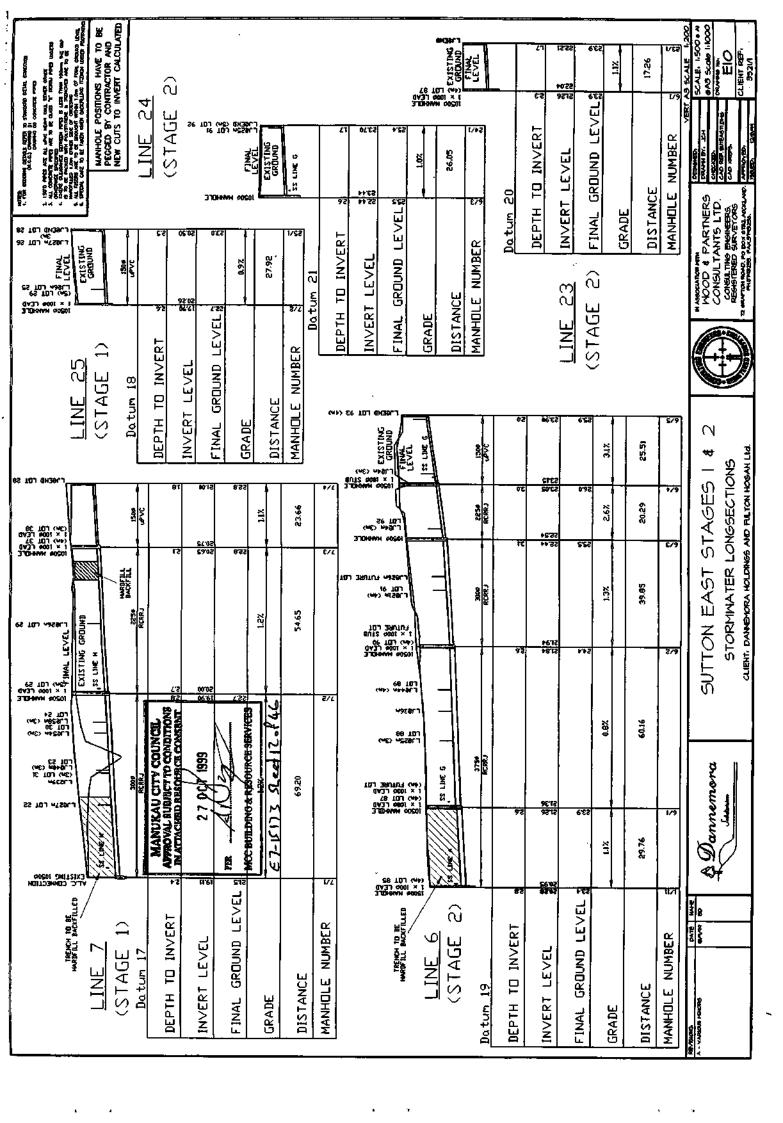
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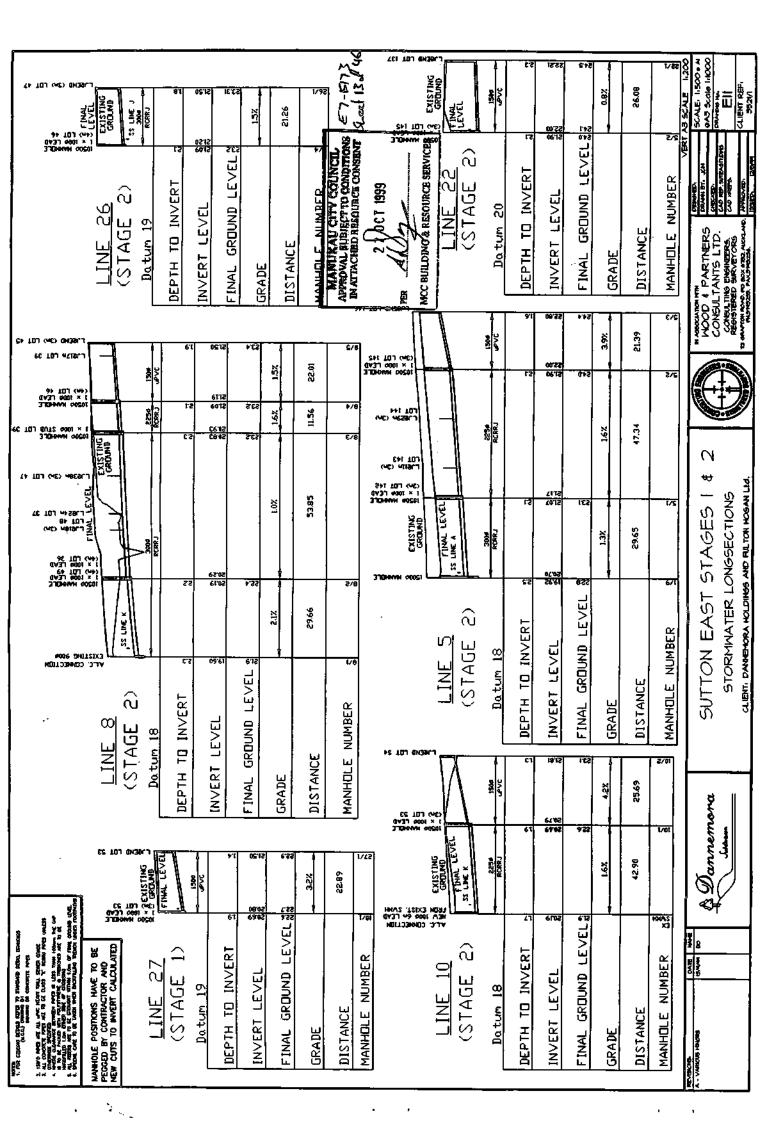
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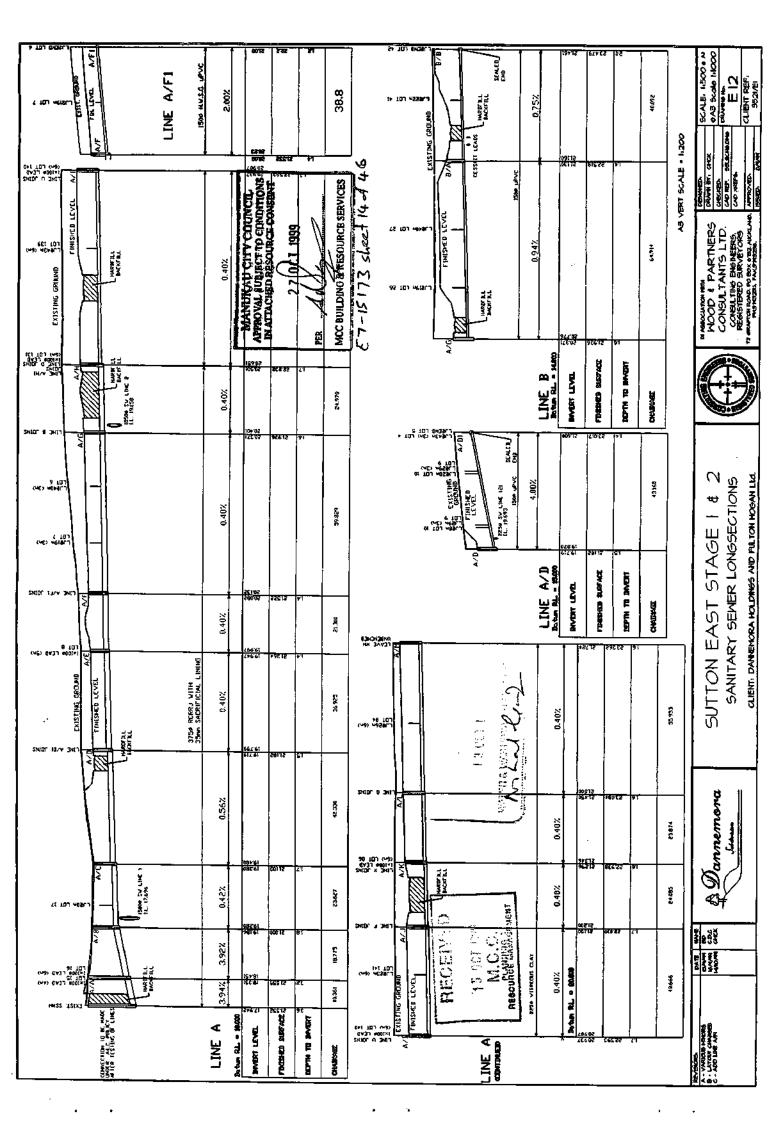
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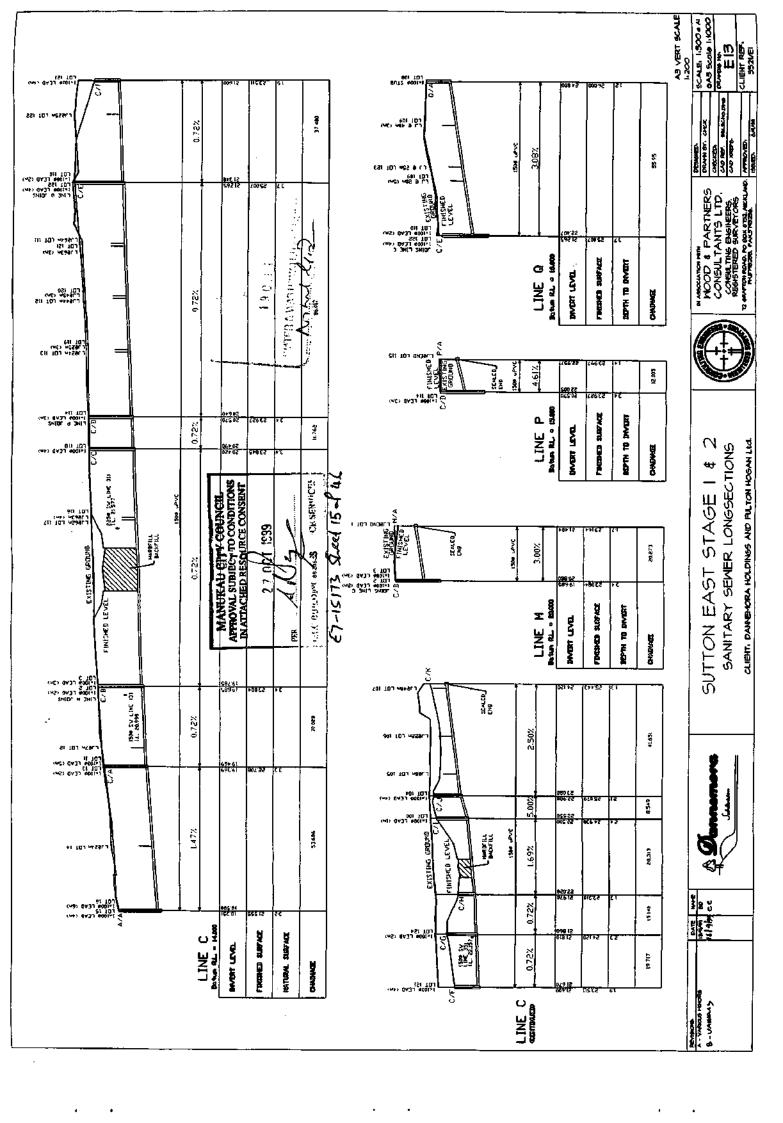


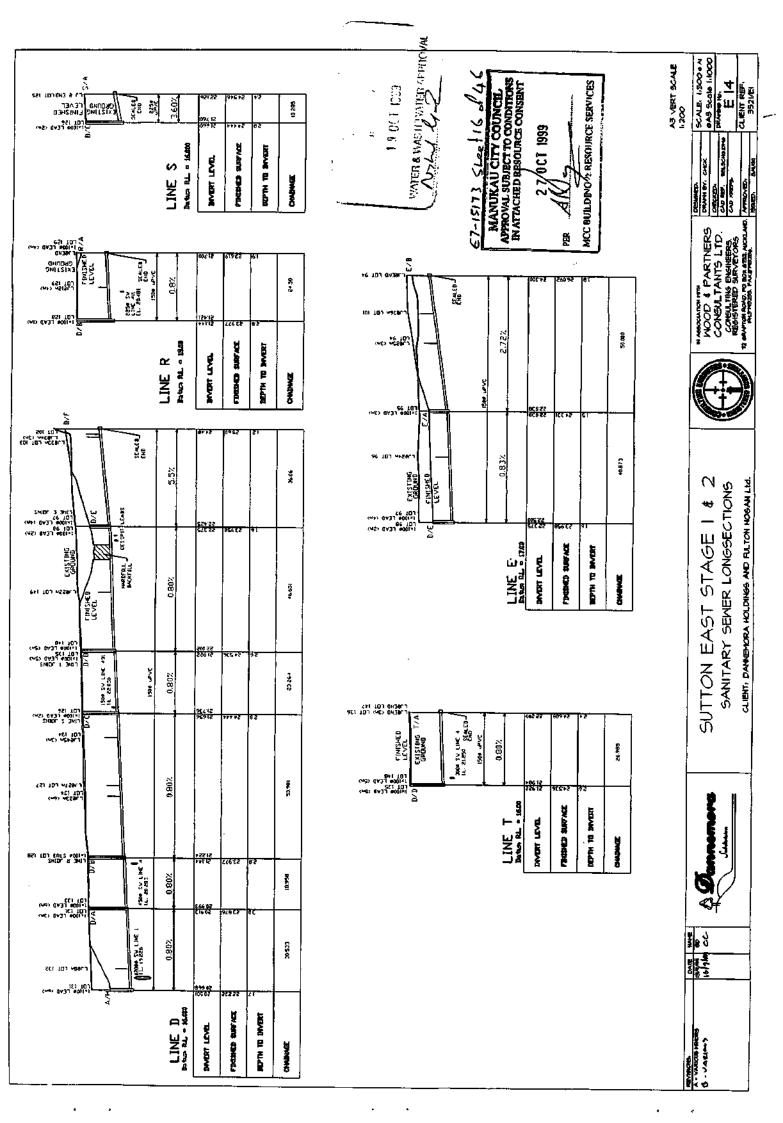


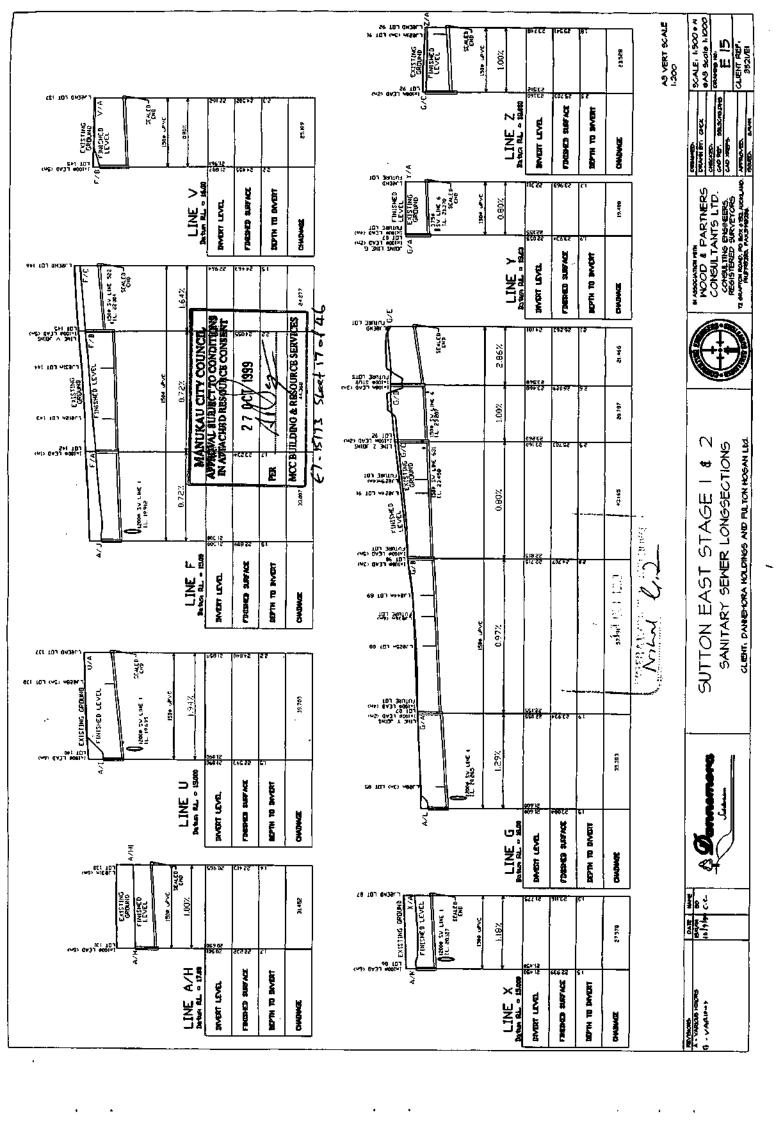


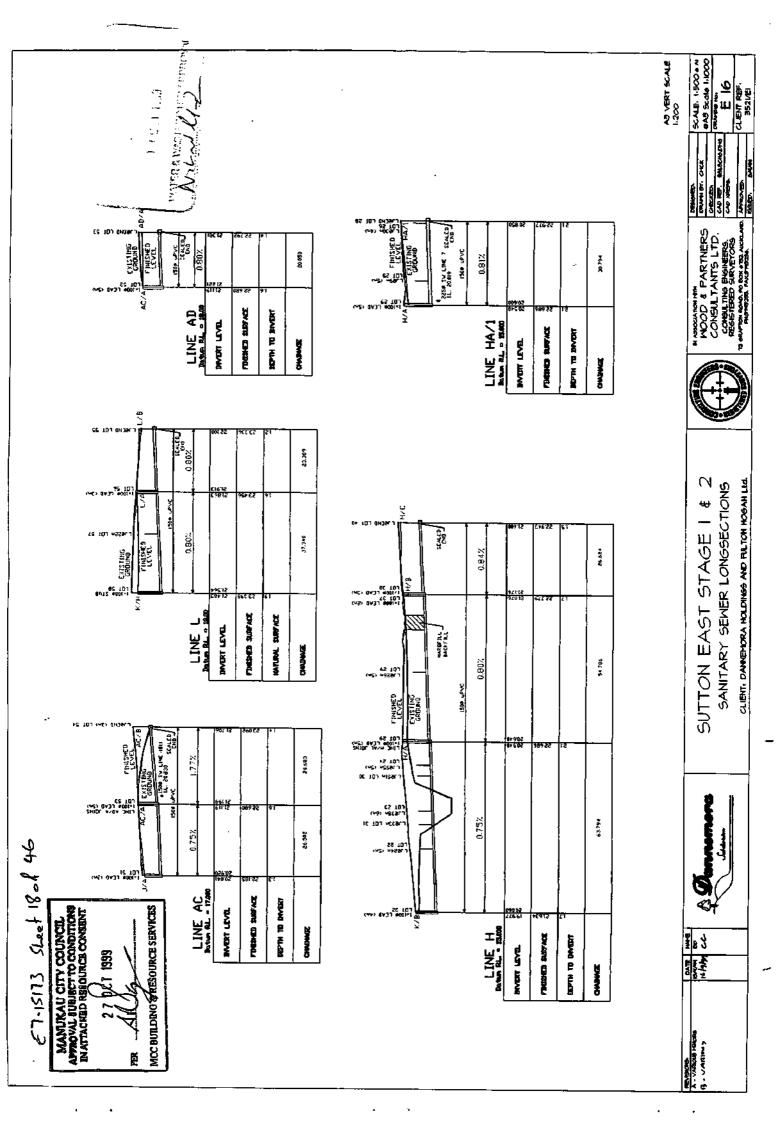


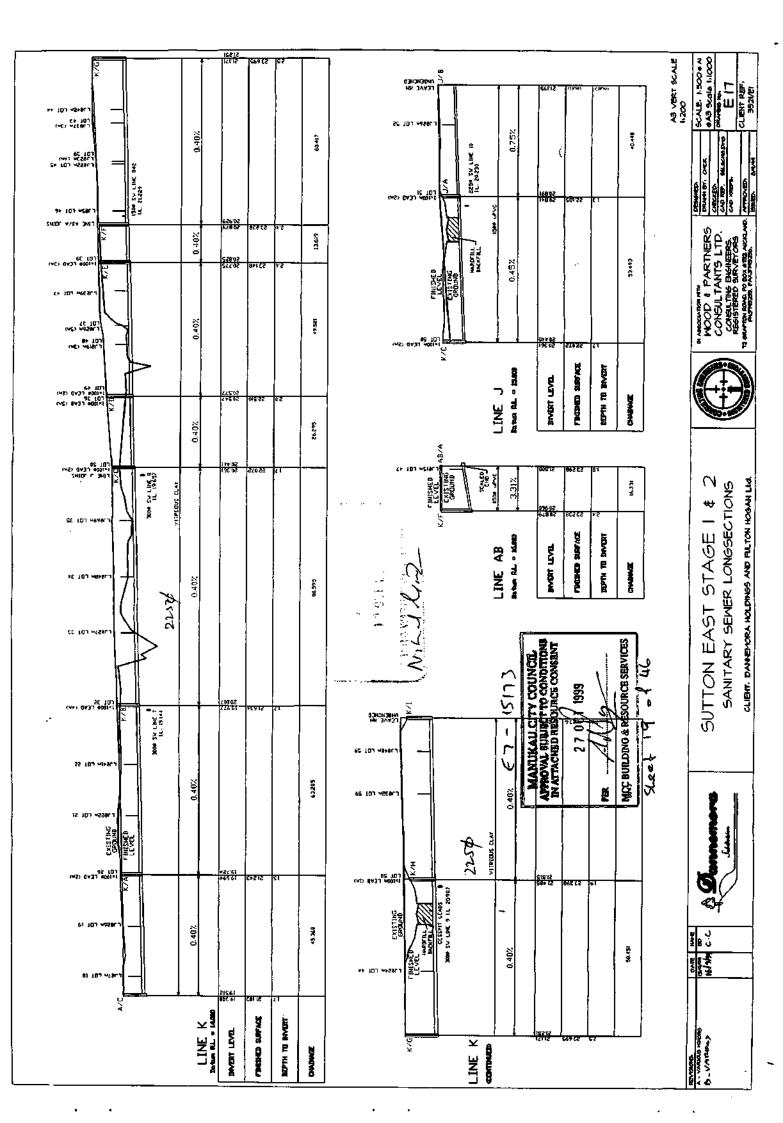


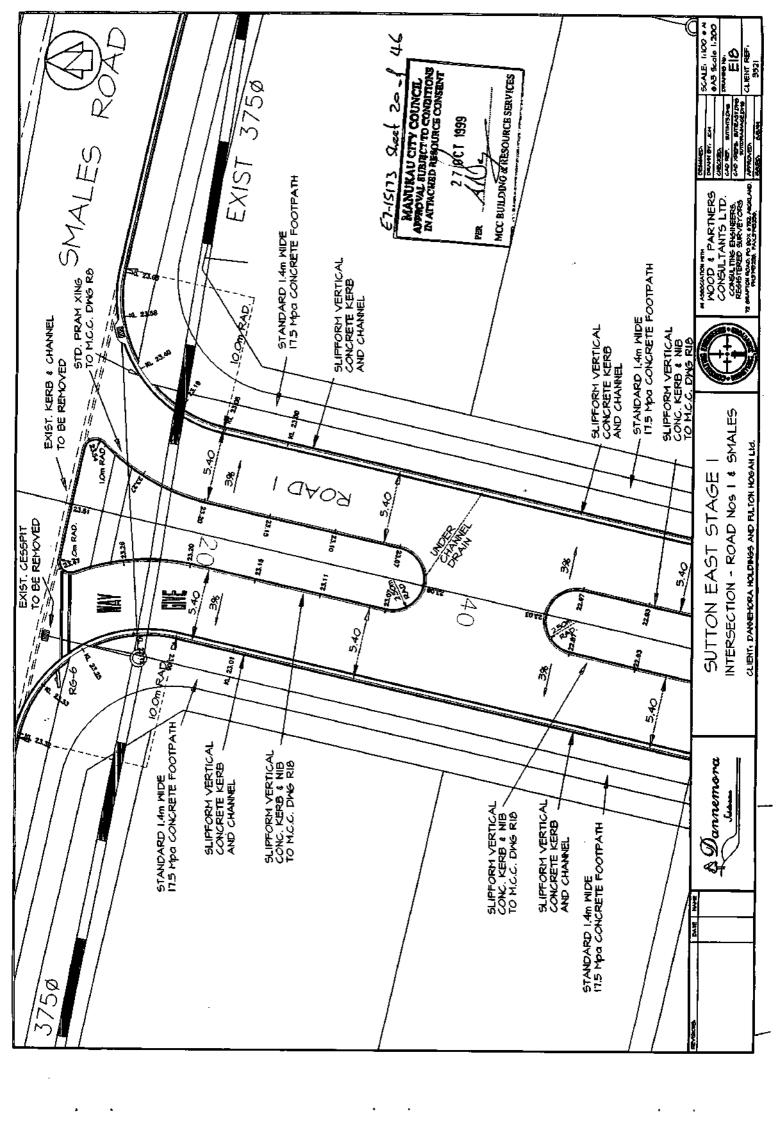


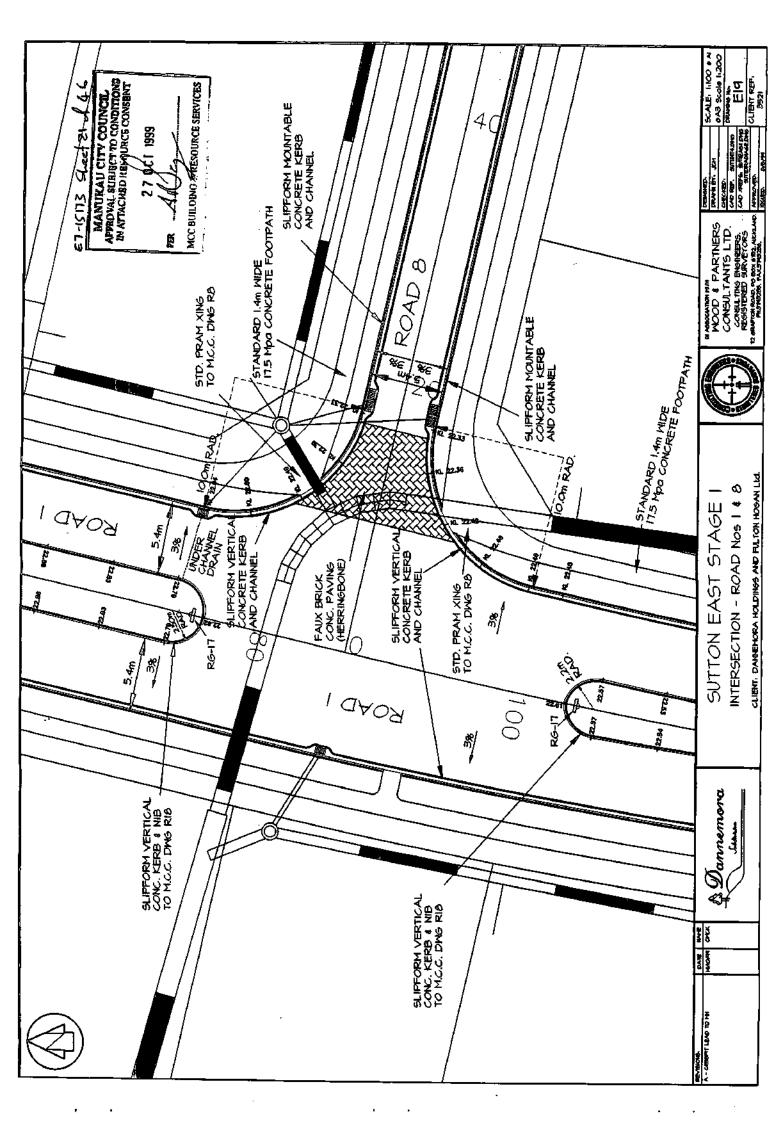


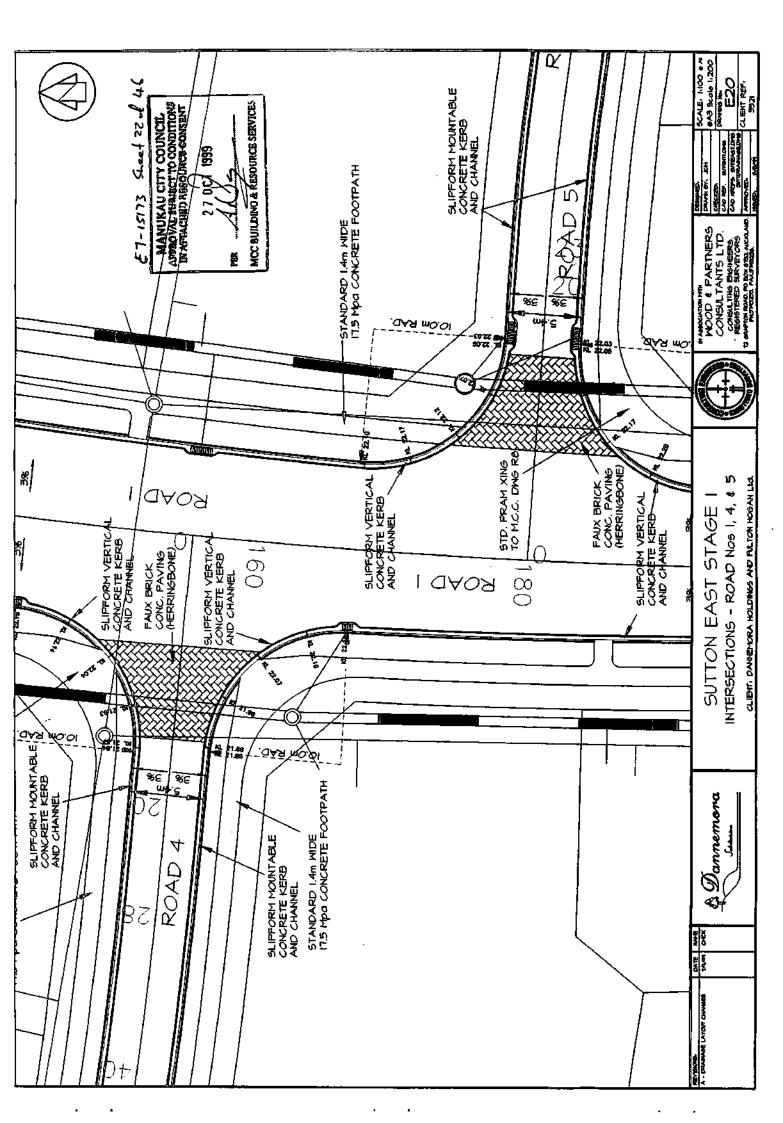


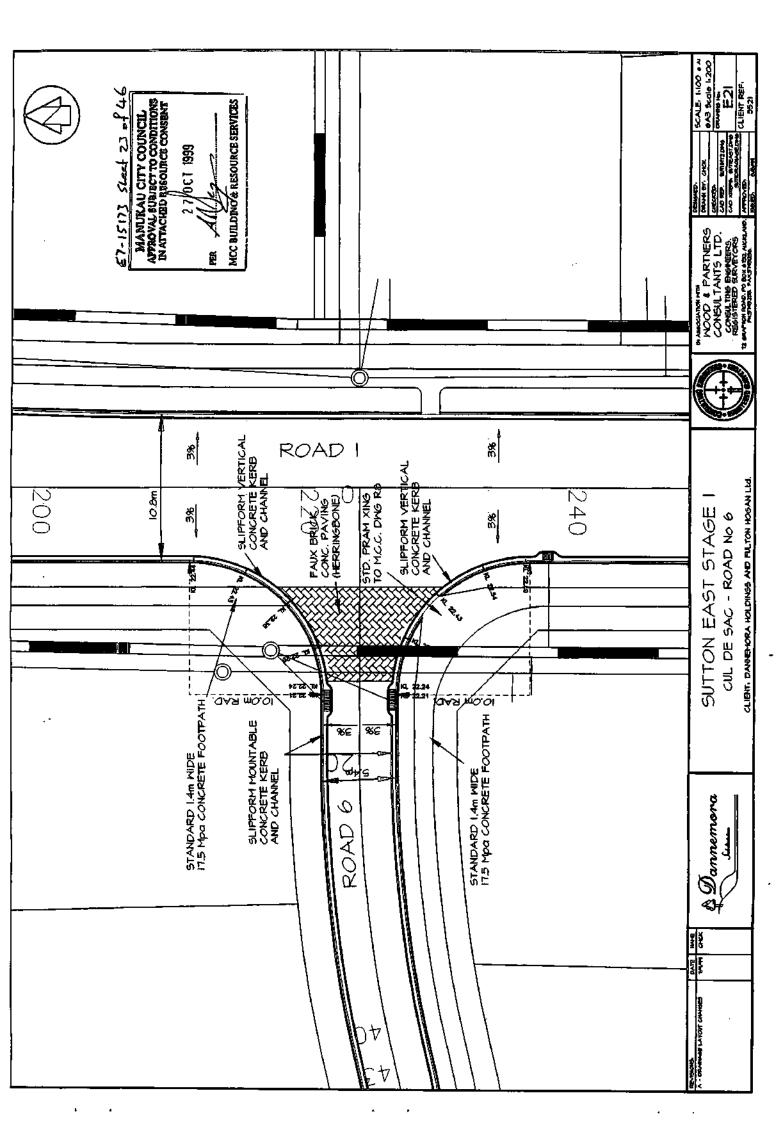


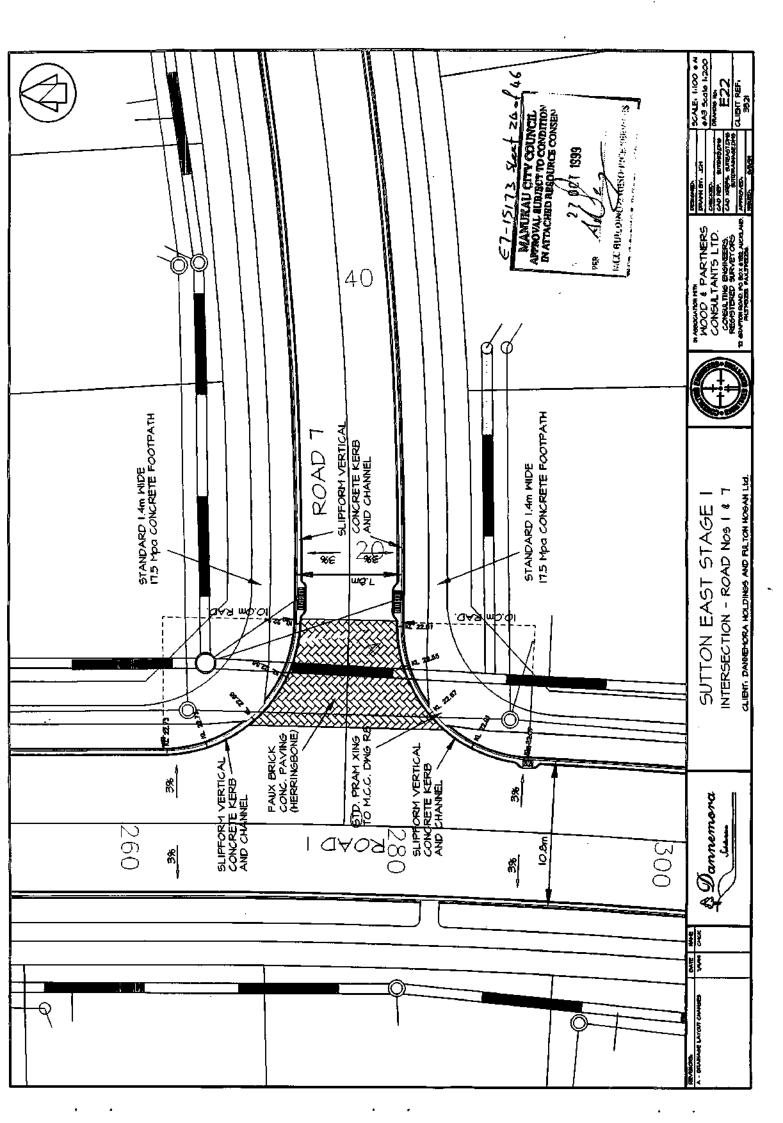


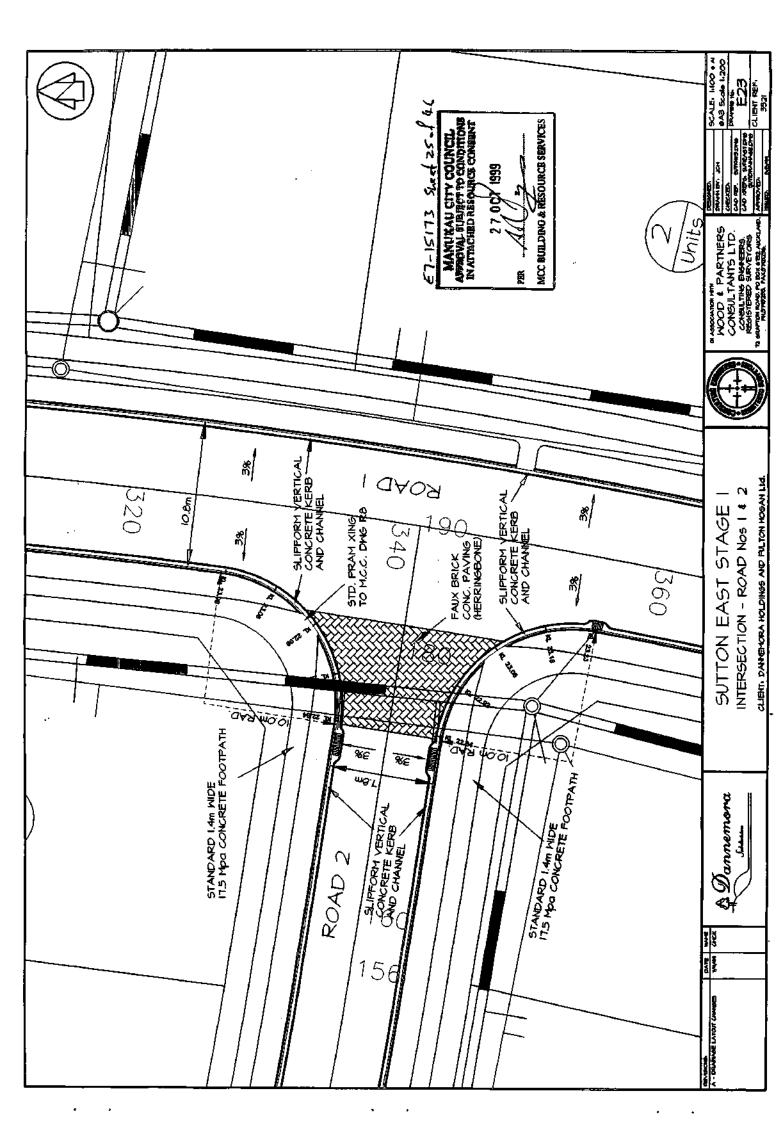


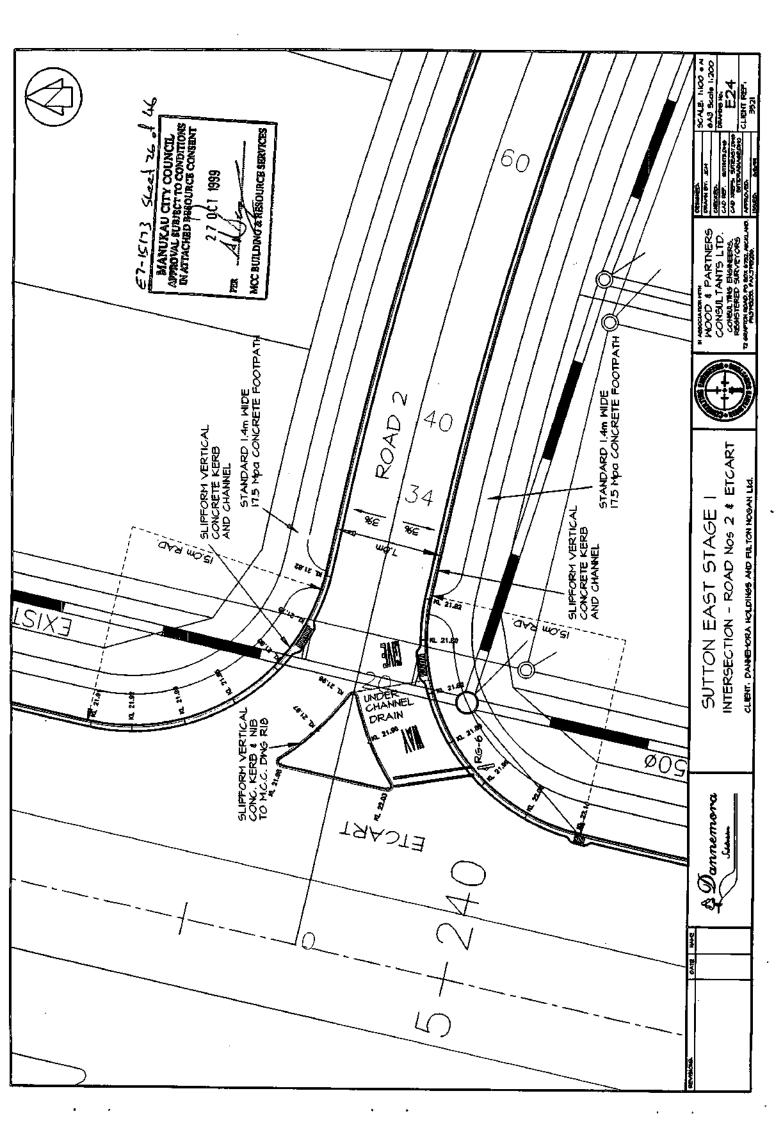


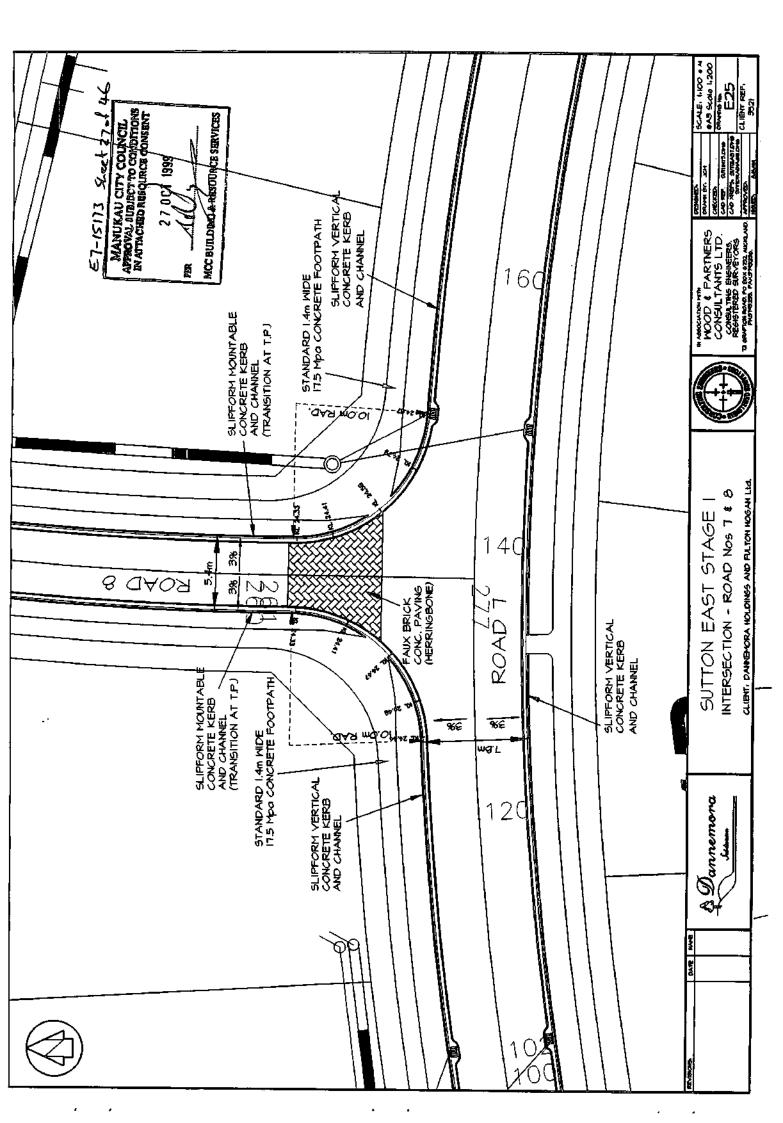


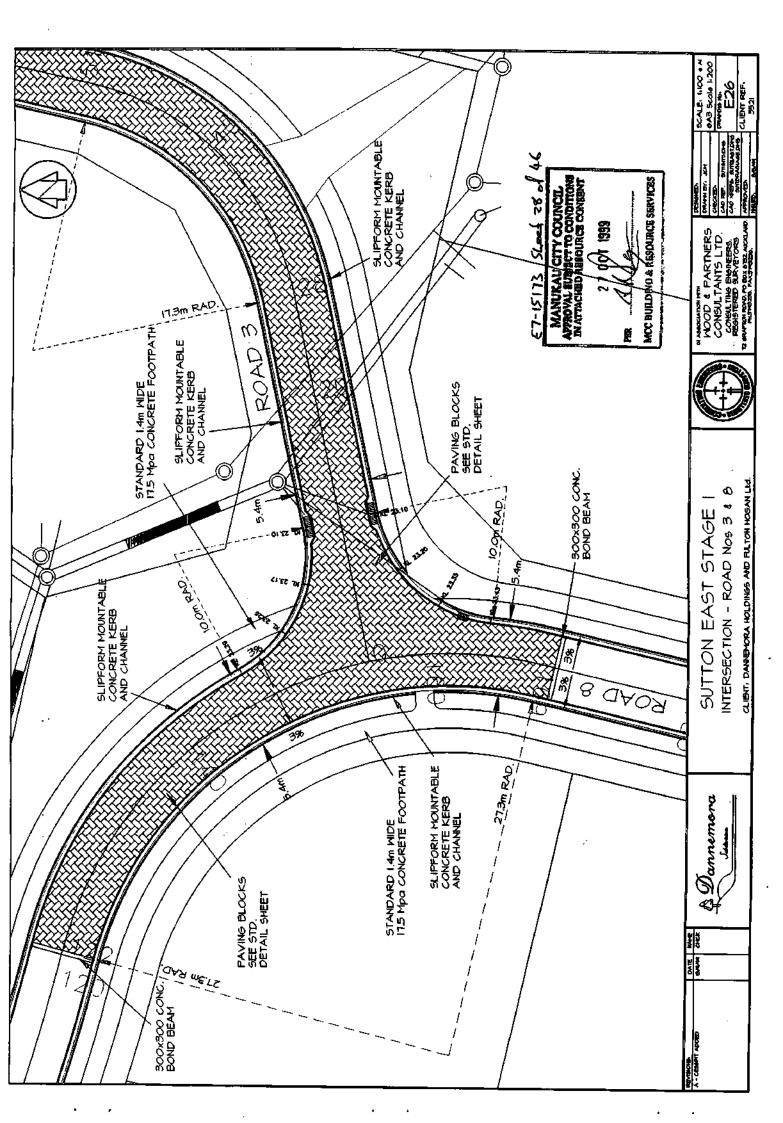


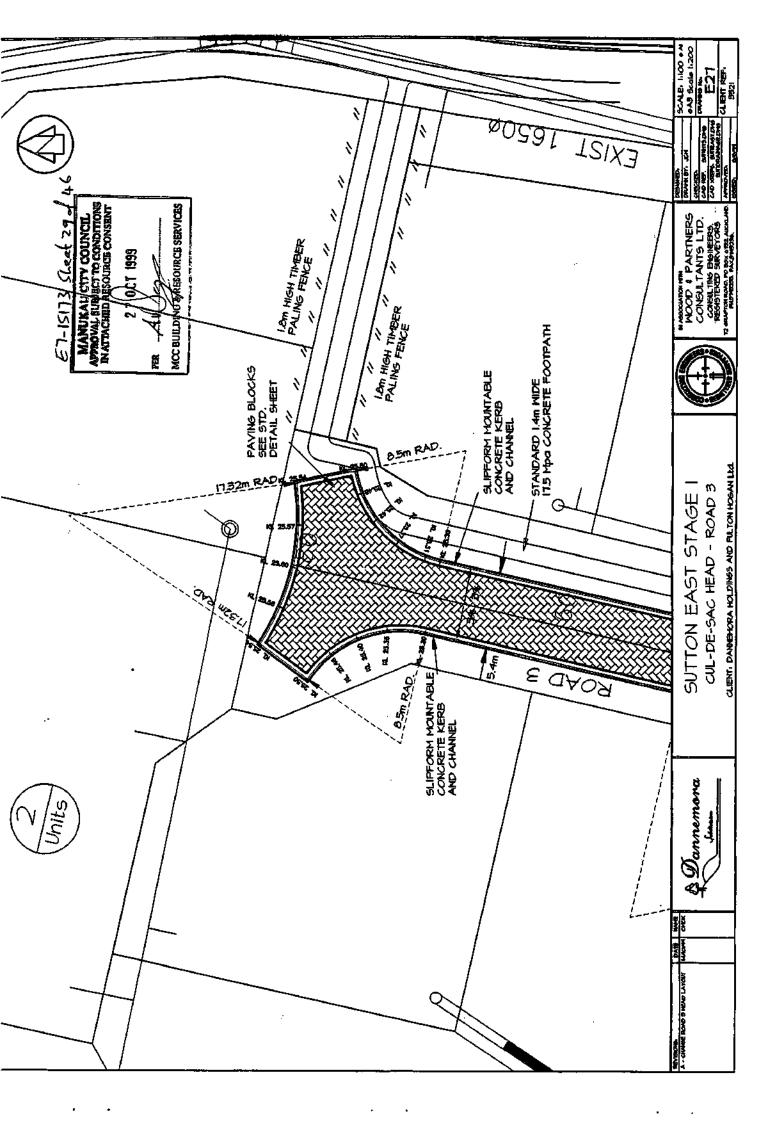


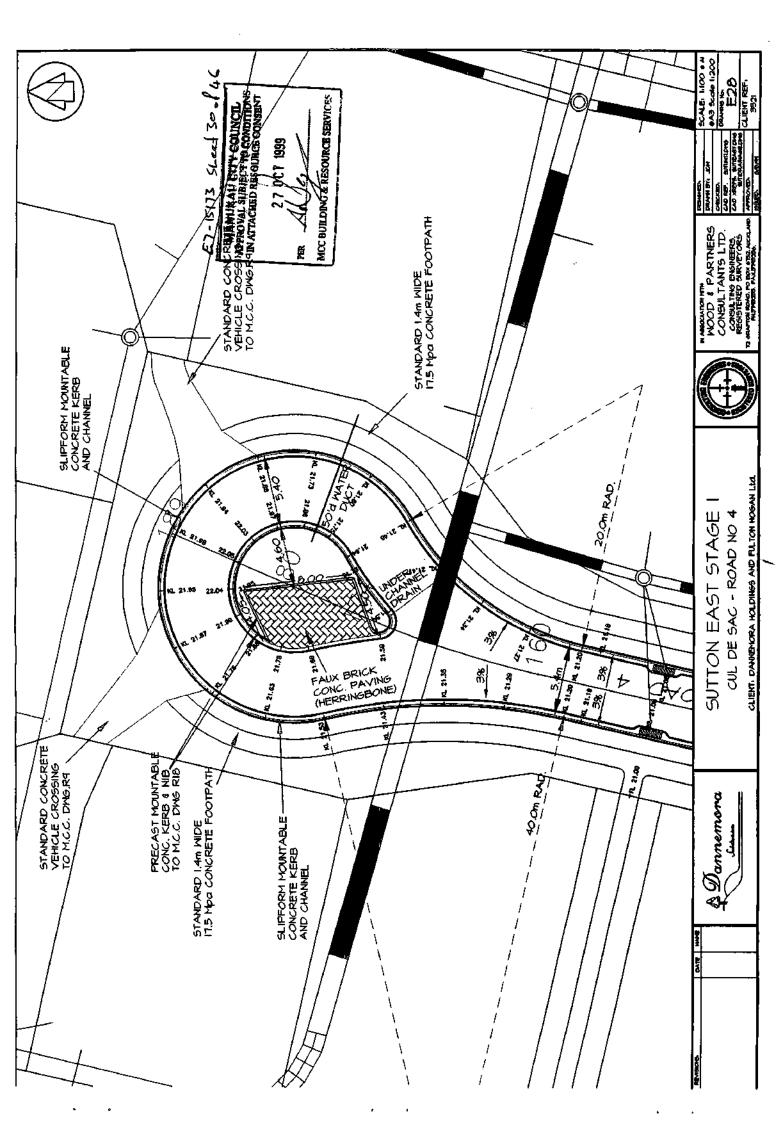


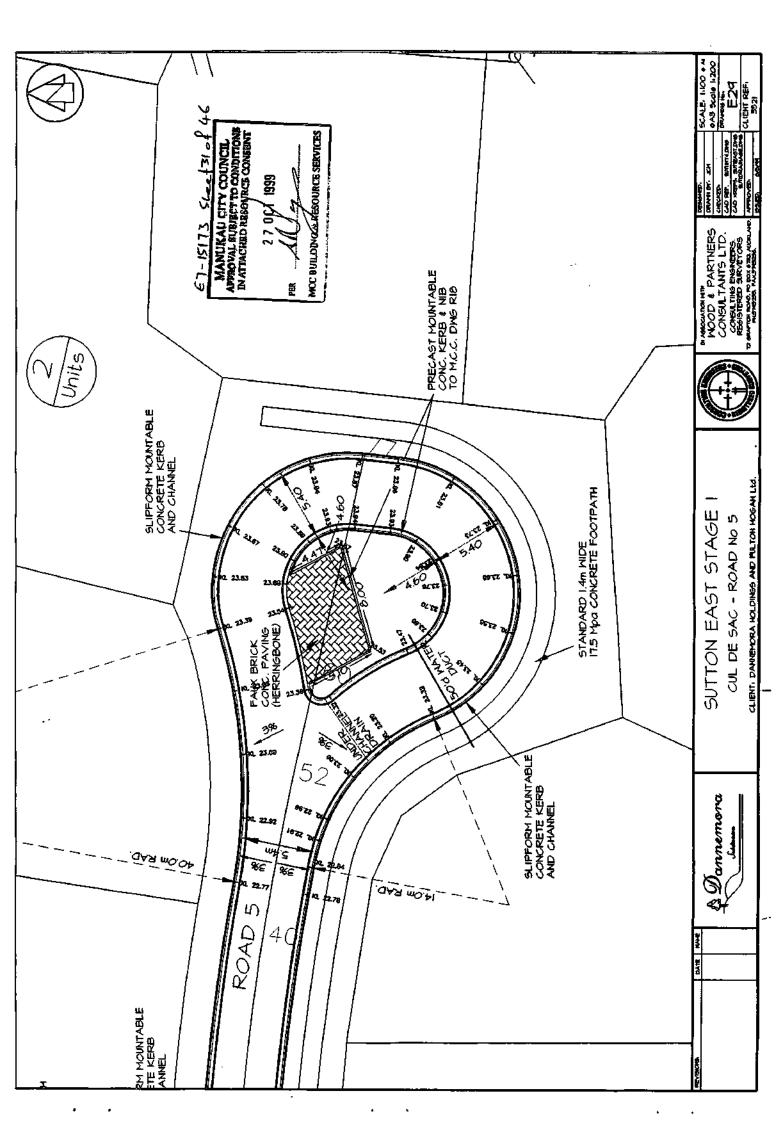


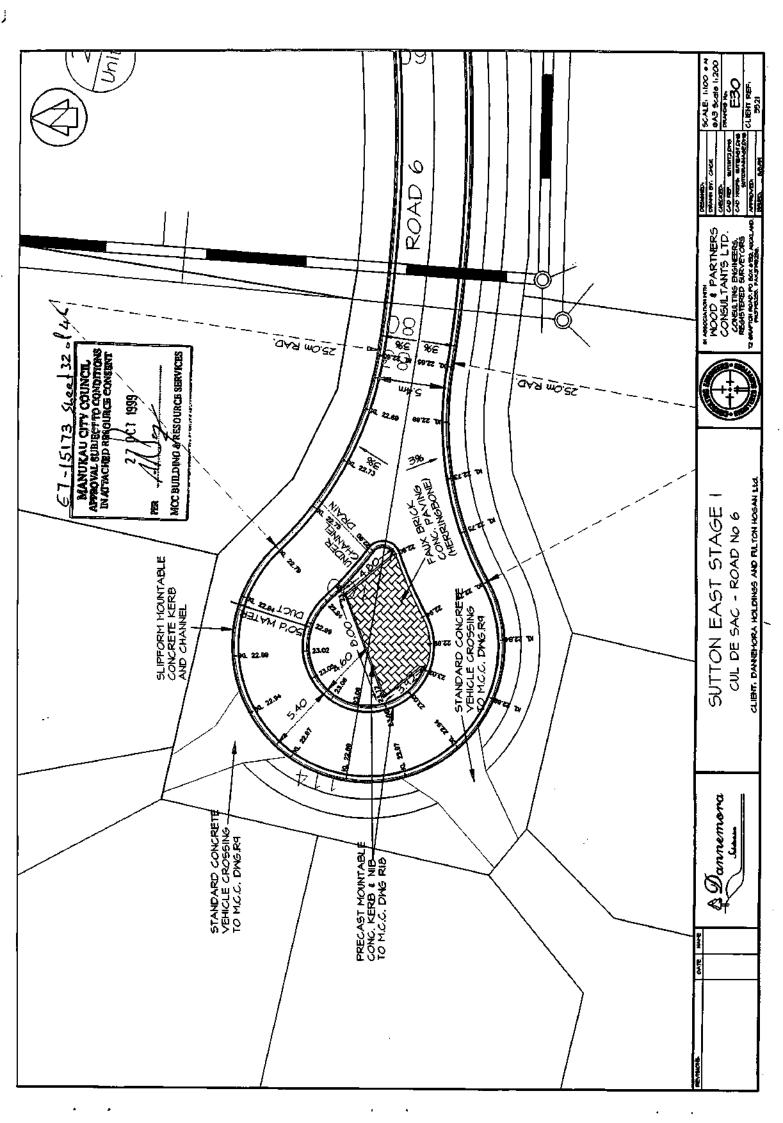


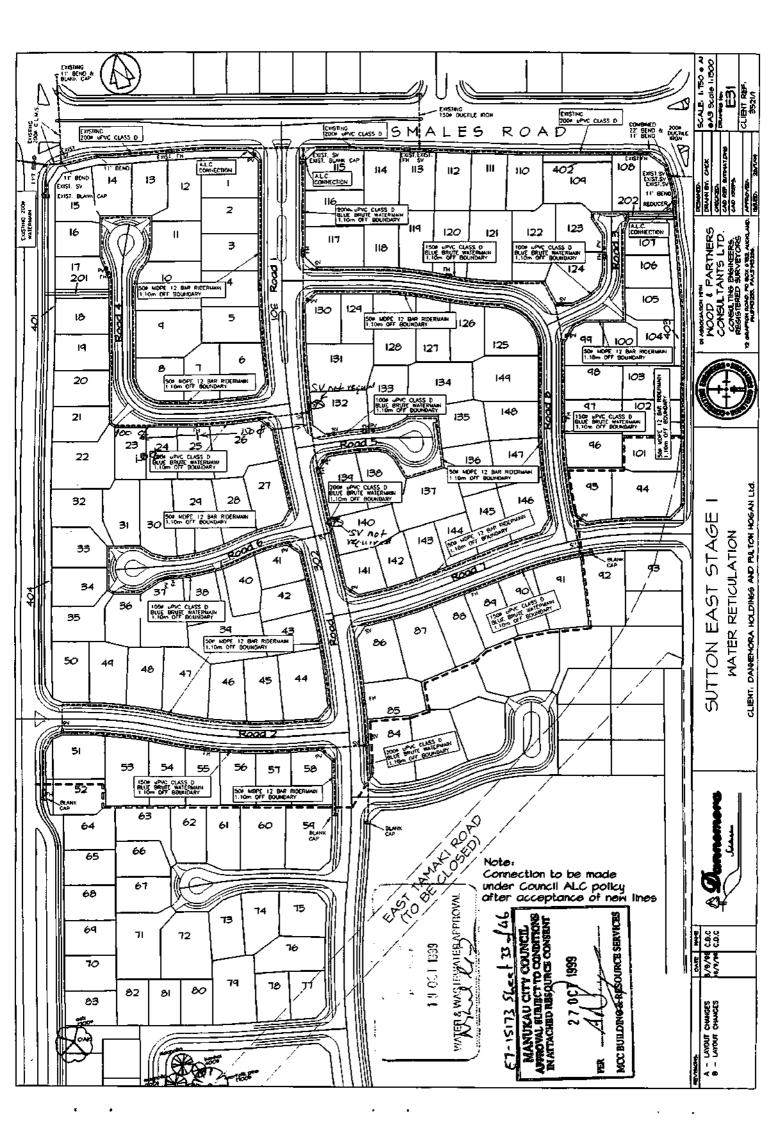


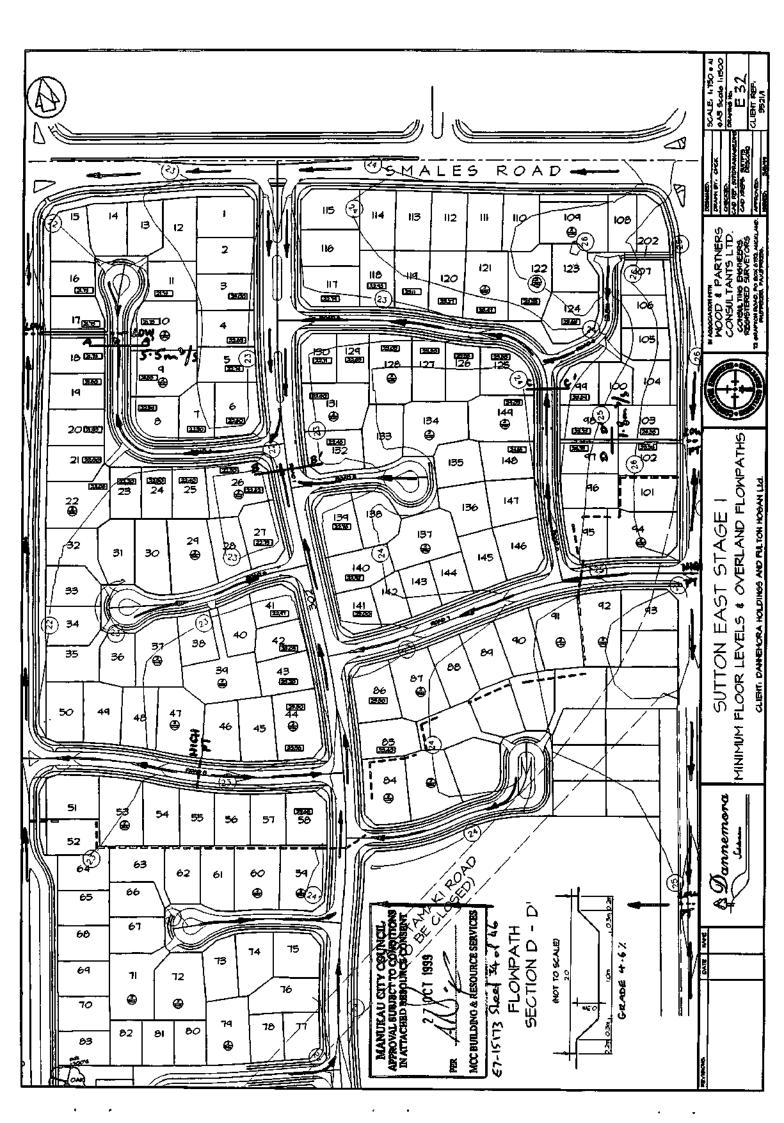


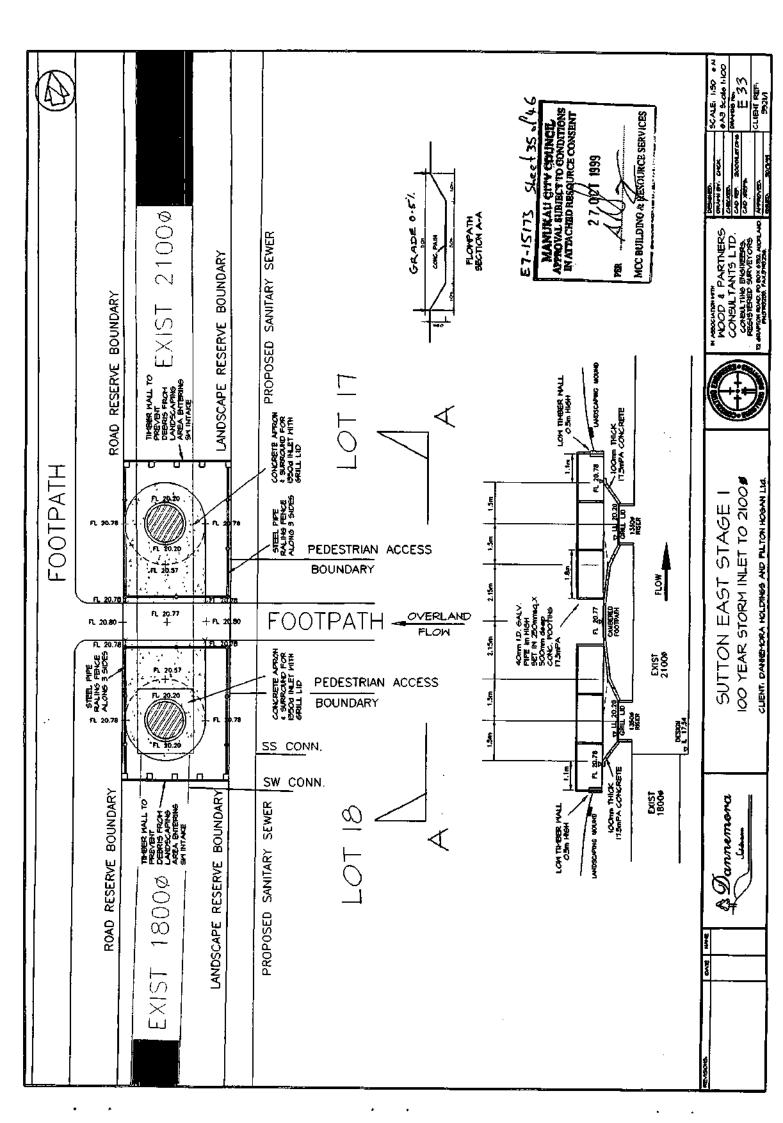


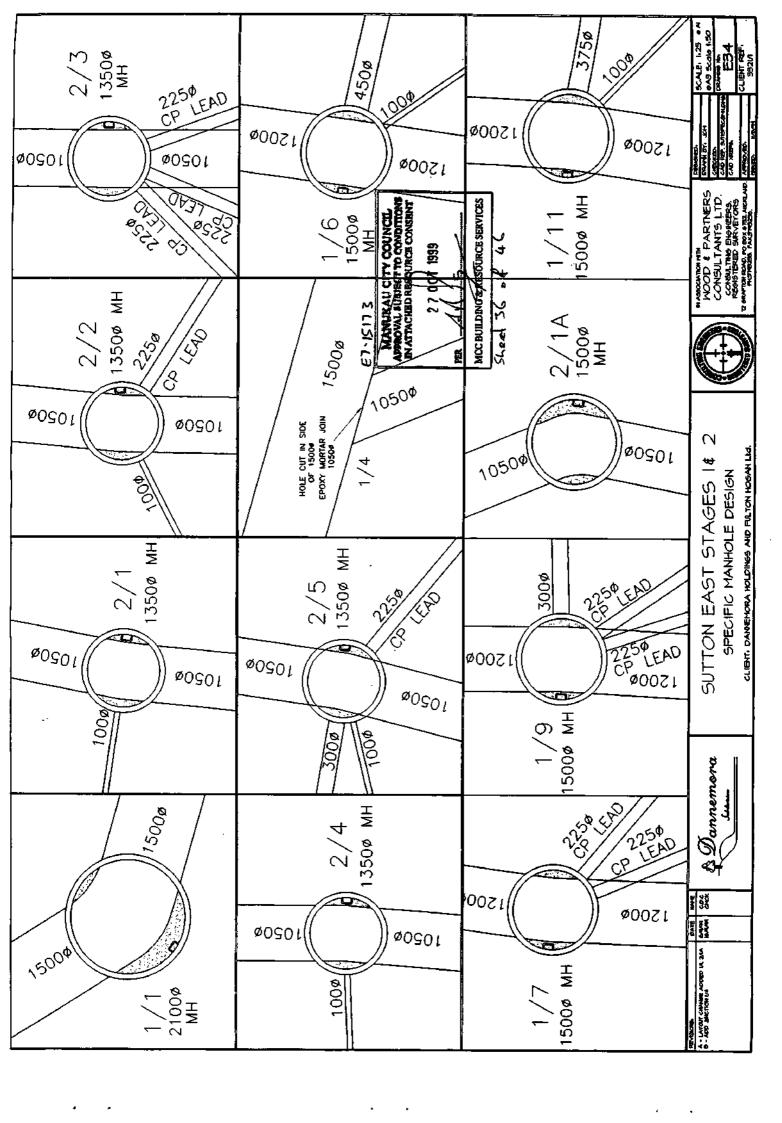


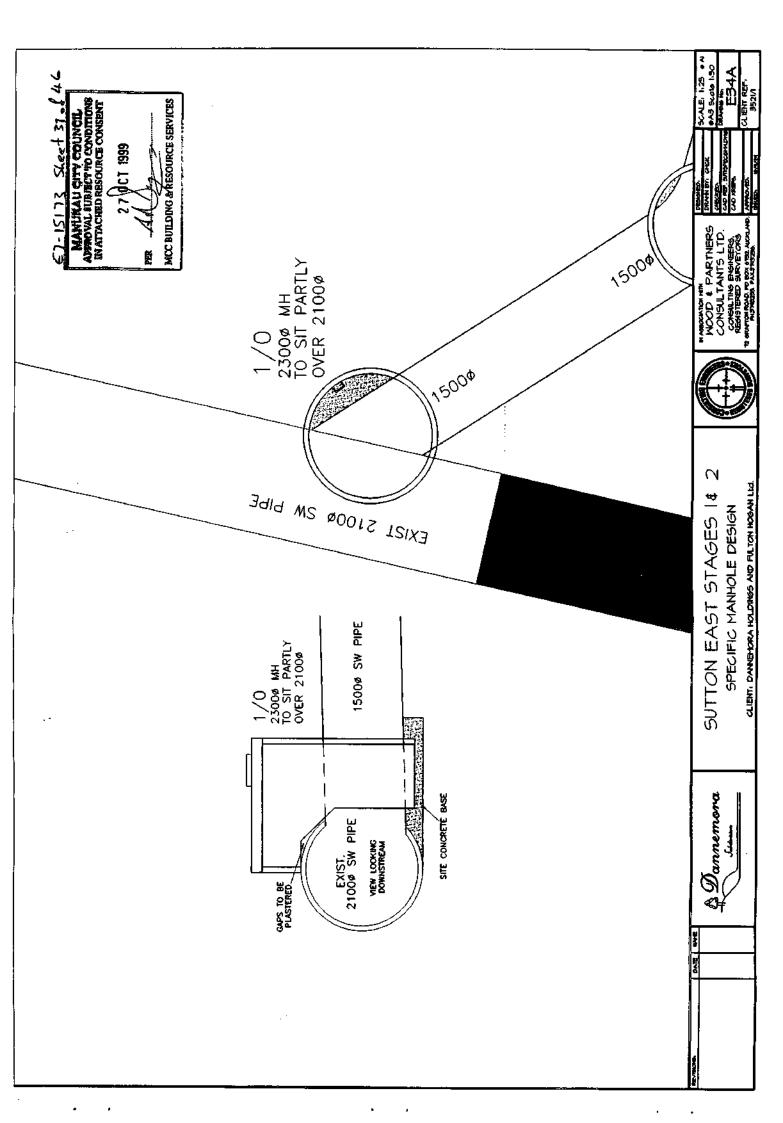


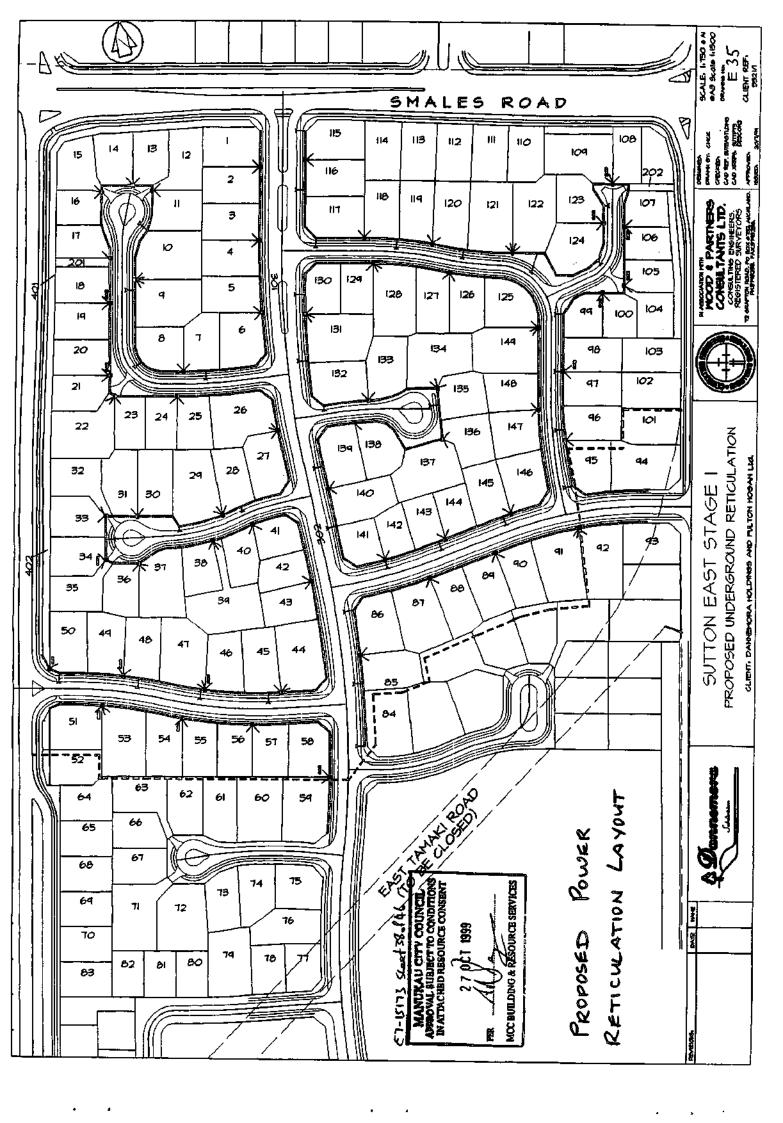


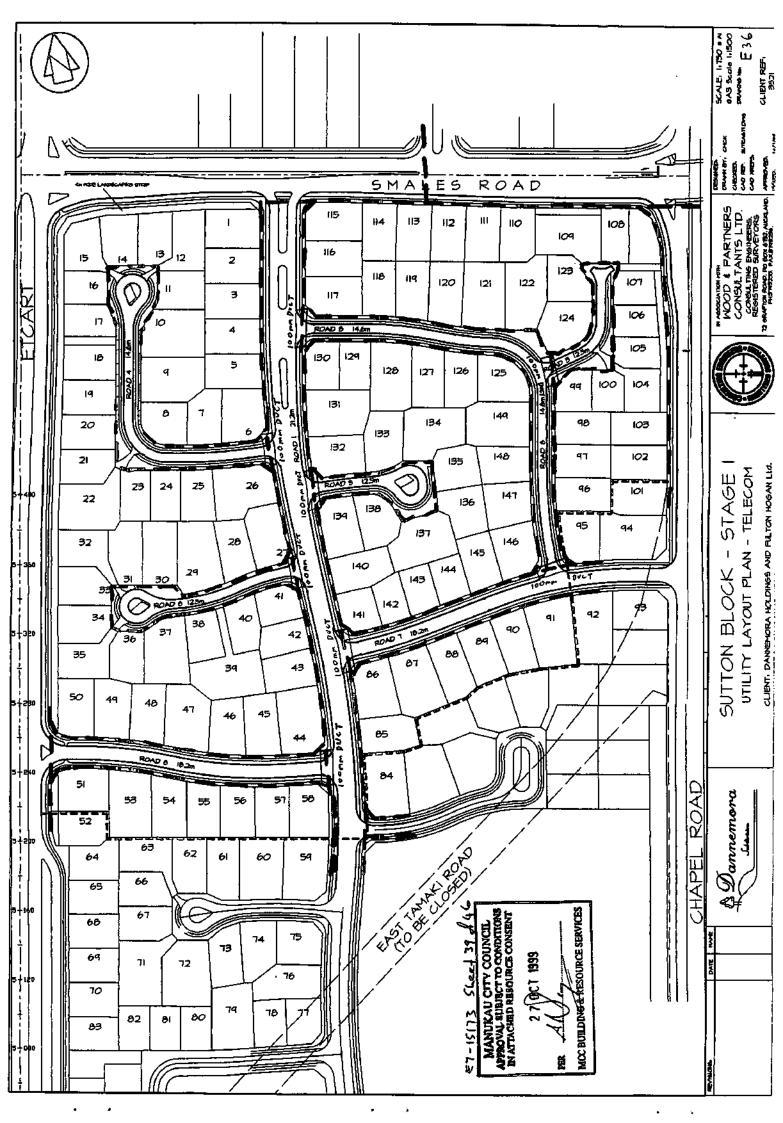


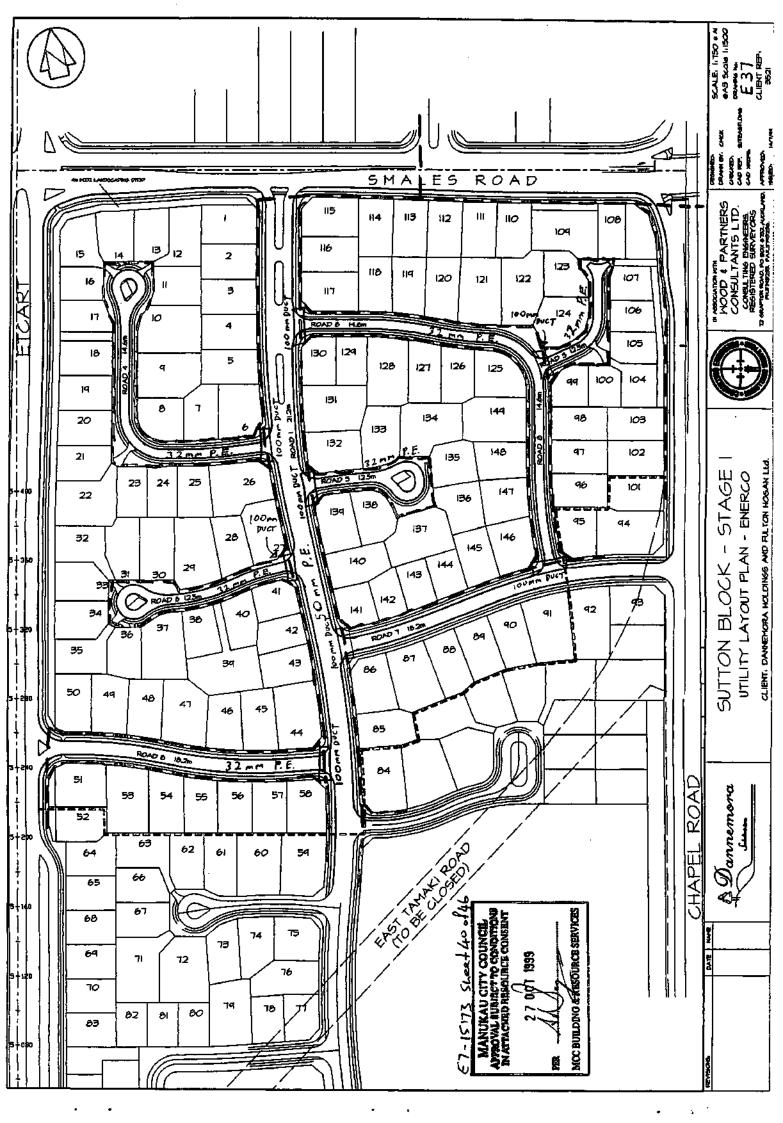


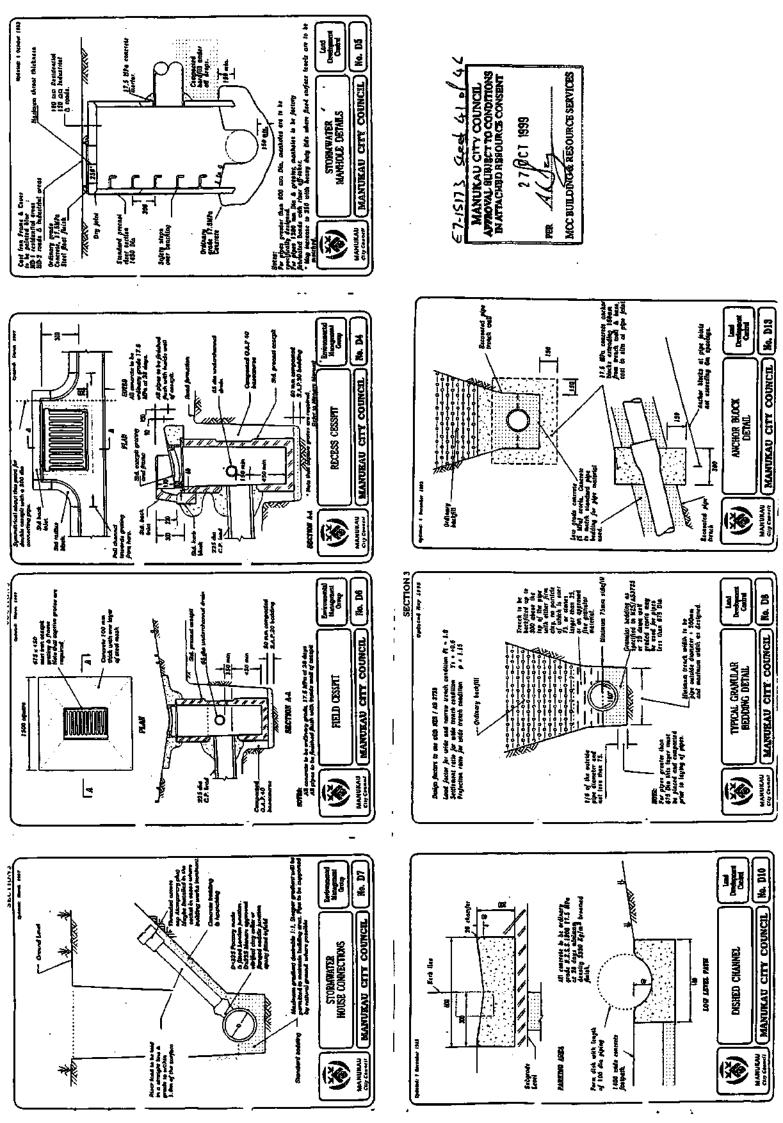


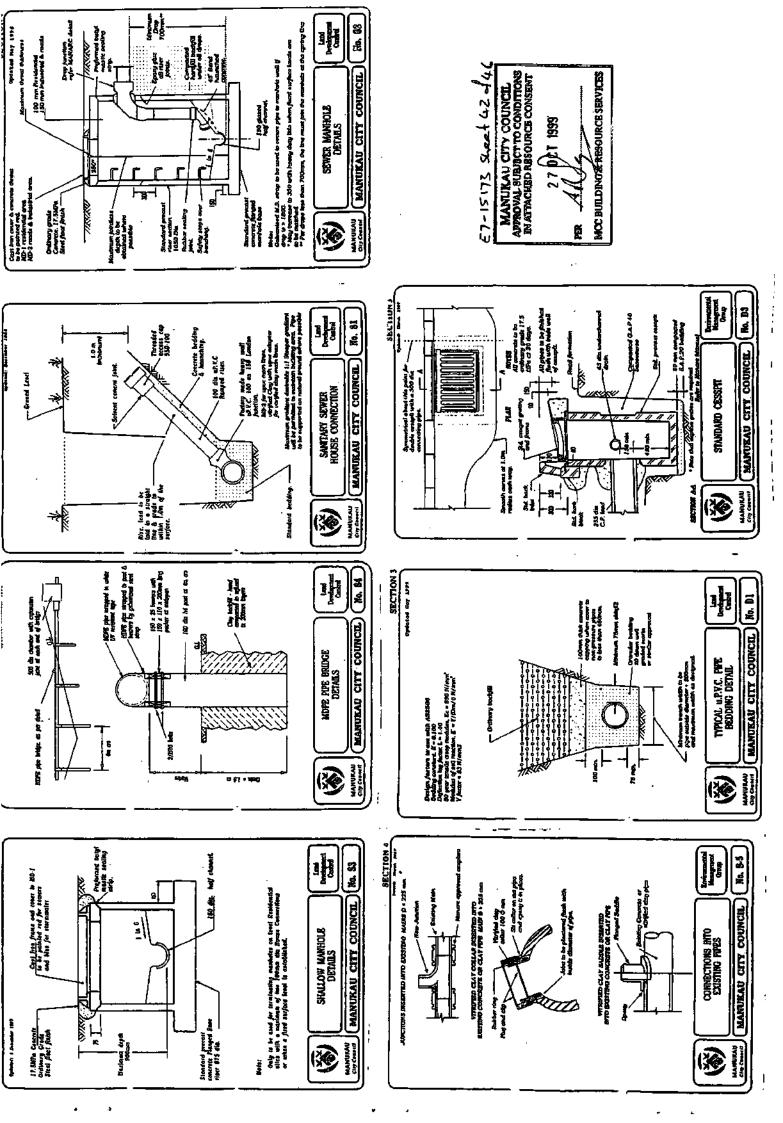


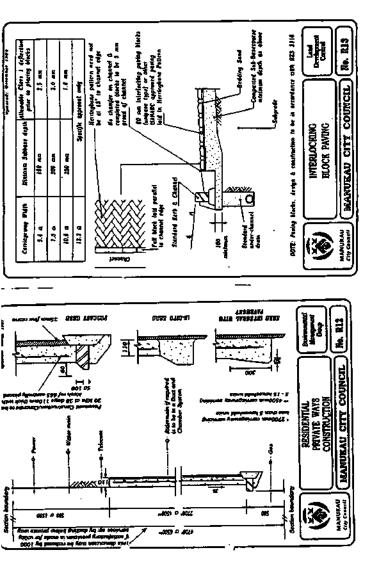










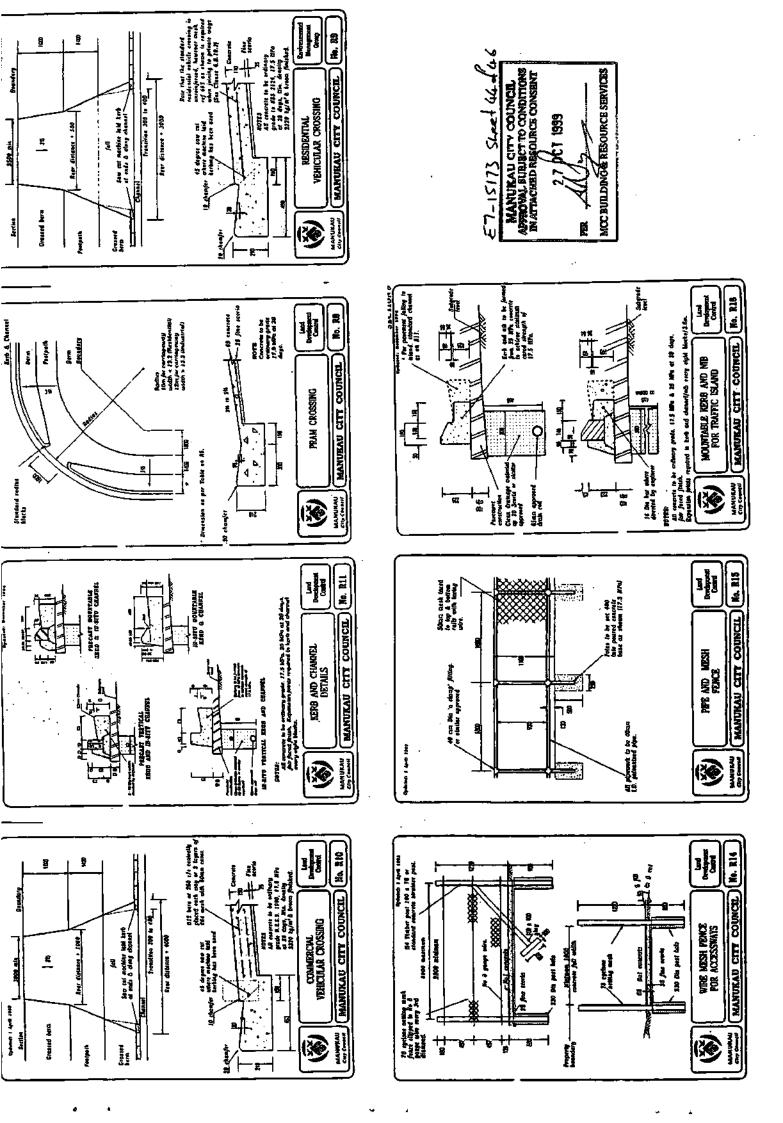


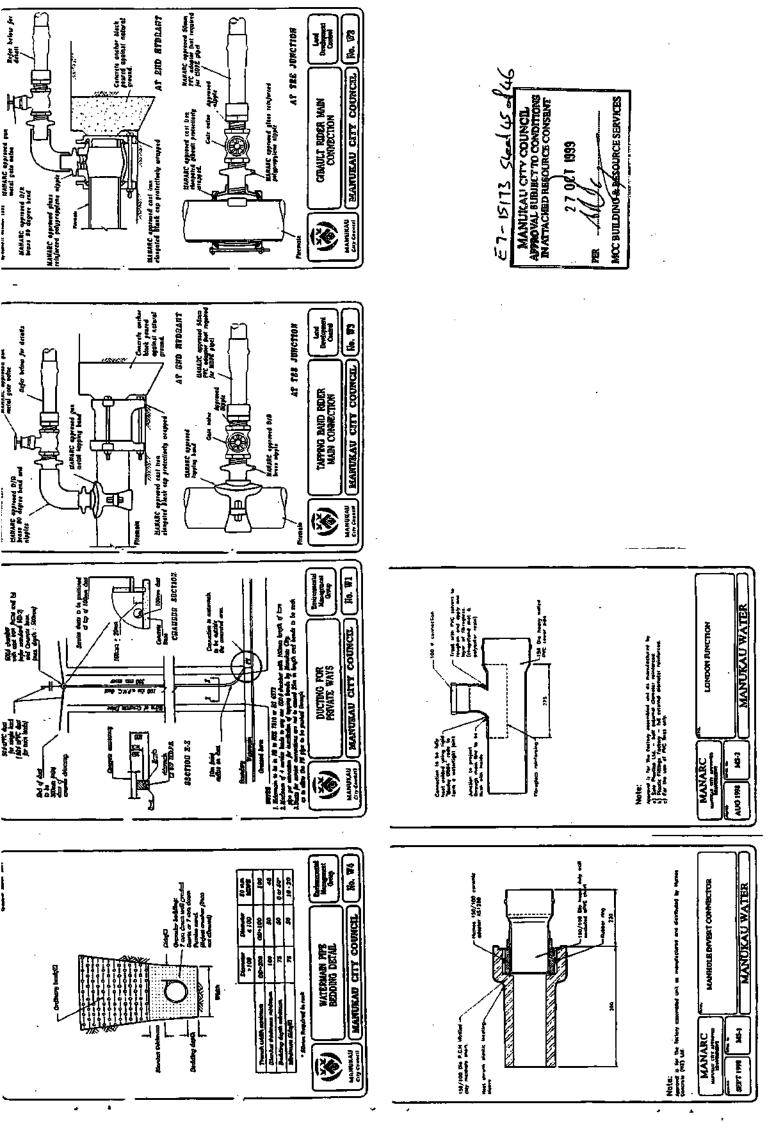
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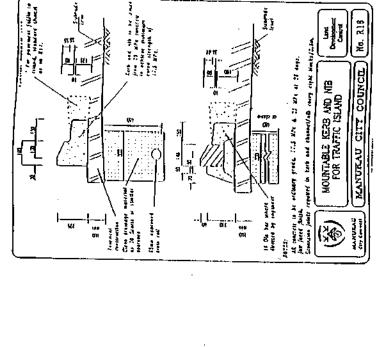
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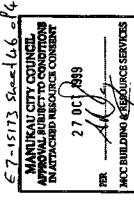
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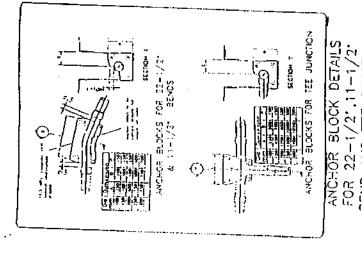
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ANCHOR BLOCKS FOR BOY BENCE

* 40:03

ANCHOR BLOCK DETAILS FOR 90' & 45' BENDS

SECTION 1

ANCHOR BLOCKS 45" BEND

BEND AND THE JUNCTION

MANUKAU CITY STANDARD DETAILS FOR LAND DEVELOPMENT TO GRANTON NOAD, NO BOX 6712.

MOOD & PARTNERS CONSULTANTS LTD.

REGISTERED SURVEYORS COMPLINE ENGINEERS.

MGC. STANDARD DETAILS . S

1

PROJECT CHECKLIST

P6326A 17/04/00	L 1&2 GAN NTIAL	5	Date: Date: Expires	Discharged
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FILE SHEET 1



Partners: Simon George Mortlock LLB. B.Com. Anthony Robert Herring LLB. (Hons), B.A.

27 May 2002

Manukau City Council Private Bag 76 917 Manukau City

Contact: Sally Mountfort

E-mail: sally@smpartners.co.nz

FOR: Louise Shields

Sutton East Stage 1 Lot 505

Further to recent telephone discussions and correspondence, we now enclose Certificate of Title 132A/939, partial discharge of mortgage D621971.11 and executed transfer of lot 505 to the Manukau City Council.

You will see that we have left the consideration blank for you to complete in accordance withthe wording of the Resource Consent. Would you please acknowledge receipt by return on the duplicate of this letter enclosed to this office as soon as possible.

We will leave it to you to complete the notice of change of ownership and forward a copy to Quotable Values as well as your rates division.

Yours faithfully

Sally Mountfort ASSOCIATE

Registered Legal Executive

DDI: 9632867

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(PARTIAL) DISCHARGE OF MORTGAGE

IN THE MATTER of Memorandum of Mortgage

No. D.621971.11

(North Auckland Registry).

FROM DANNEMORA PROPERTY TRUSTEE LIMITED

Mortgagor.

TO

WESTPAC BANKING CORPORATION

Mortgagee

WESTPAC BANKING CORPORATION hereby discharges -

PARTIAL

DISCHARGE

(i) all those lands described in the Schedule hereto from the moneys secured by the abovementioned Mortgage BUT without prejudice to the rights powers and remedies of WESTPAC BANKING CORPORATION otherwise under or in respect of the abovementioned Mortgage AND without prejudice to the liability of the Mortgagor or the Debtor named in the abovementioned Mortgage or any other person to WESTPAC BANKING CORPORATION or to any other security or securities held by WESTPAC BANKING CORPORATION for the payment of the moneys thereby secured or any part thereof

SCHEDULE

All that land described in Certificate of Title 132A/939

DATED at Auckland on 23rd May 2002

SIGNED by WESTPAC BANKING		
CORPORATION		//
by its attorney:	11 / Complete	//-
TIMOTHY URQUHART-HAY	Attorney Signature	
in the presence of:	Timothy Urquhart-Hay	
Abickney		
Witness Signature		
Ob white a Dialogali		
Christine Bicknell		
Legal Executive Auckland		
Aucklanu		

CERTIFICATE OF NON-REVOCATION OF POWER OF ATTORNEY BONDS, FACILITY AGREEMENTS AND POWERS OF ATTORNEY

I, TIMOTHY JULIAN URQUHART-HAY of Auckland in New Zealand, Bank Officer

HEREBY CERTIFY -

1. THAT by Deed dated the 10th of July 1996 copies of which are deposited in the Land Registry Offices at -

AUCKLAND (North Auckland Registry) and there numbered D.043055.1 BLENHEIM (Marlborough Registry) and there numbered 187102 CHRISTCHURCH (Canterbury Registry) and there numbered A.257595/1 DUNEDIN (Otago Registry) and there numbered 915888 GISBORNE (Poverty Bay Registry) and there numbered G.212187.1 HAMILTON (South Auckland Registry) and there numbered B.367046 HOKITIKA (Westland Registry) and there numbered 105721 INVERCARGILL (Southland Registry) and there numbered 244294.1 NAPIER (Hawkes Bay Registry) and there numbered 646199.1 NELSON (Nelson Registry) and there numbered 361557.1 NEW PLYMOUTH (Taranaki Registry) and there numbered 435551 WELLINGTON (Wellington Registry) and there numbered B.533510.1

WESTPAC BANKING CORPORATION ABN 33 007 457 141 incorporated in New South Wales, Australia ("Westpac") appointed me its attorney on the terms and subject to the conditions set out in that Deed and the attached document is executed by me under the powers conferred by that Deed.

- 2. THAT, at the date of this certificate I am a Legal Counsel for Westpac.
- THAT, at the date of this certificate, I have not received any notice or information of the revocation of that appointment by the winding up or dissolution of Westpac or otherwise.

SIGNED at Auckland this 24th day of May 2002

- They last they

(PARTIAL) DISCHARGE OF MORTGAGE

Correct for the purposes of the

Land Transfer Act

Solicitor for the Mortgagor

DANNEMORA PROPERTY TRUSTEE LIMITED Mortgagor

WESTPAC BANKING CORPORATION Mortgagee

Particulars entered in the Register as shown in the Schedule of land herein on the date and at the time stamped below

North Auckland District Land Registrar Assistant

of the district of North Auckland

TRANSFER Land Transfer Act 1952



If there is not enough space in any of the panels below, the two page form incorporating the Annexure Schedule should be used: no other format will be received.

and Registration District			٦	
NORTH AUCKLAND				
Certificate of Title No.	All or Part? Area	and legal descr	iption – <i>Insert</i> c	only when part or Stratum, CT
132A/939	Ail			
Transferor Sumames must be und	erlined or in CAPI	ITALS		
DANNEMORA PROPERT	Y TRUSTEE	LIMITED		
Transferee Sumames must be <u>unc</u>	lertined or in CAP	ITALS	. <u>-</u>	
MANUKAU CITY COUNC	CIL .			
Estate or Interest or Easement to	be created: Inse	rt e.g. Fee simp	ole; Leasehold ii	n Lease No; Right of way etc.
Fee Simple				
Consideration				
Operative Clause				
For the above consideration (re transferor's estate and interest above such is granted or created	described above i	acknowledged) in the land in th	the TRANSFEF re above Certifi	ROR TRANSFERS to the TRANSFEREE all the icate(s) of Title and if an easement is described
Dated this 28th day of	Mne	1. 2002		
Attestation DANNEMORA PROPERTY TRUSTEE LIMITED by its Attorney SIMON GEORGE MORTLOCK Signature, or common seal of Transfe	Witness to confuse stypes Witness name Occupation Address	complete in BL written or legibly	OCK letters y stamped) TFORT legal Executive lock Partners	
Combined connect for the connect	e of the Land Ter	anofor Act 1051		
Certified correct for the purpose	5 of the Land Tra	msier ACC 1952	i	Solicitor for the Transfere

CERTIFICATE OF NON-REVOCATION OF POWER OF ATTORNEY

I, SIMON GEORGE MORTLOCK of Christchurch, Solicitor HEREBY CERTIFY:

- THAT by Deed dated the 4th July 2001 a copy of which has been deposited in
 the Land Registry Office at North Auckland and there numbered D621971.12
 DANNEMORA PROPERTY TRUSTEE LIMITED at Auckland appointed
 me their Attorney on the terms and subject to the conditions set out in the said
 Deed.
- 2. THAT at the date hereof I have not received any notice or information of the revocation of that appointment by the winding up or dissolution of the said DANNEMORA PROPERTY TRUSTEE LIMITED...

SIGNED at Christchurch
28th day of May

2002

TRANSFER

Land Transfer Act 1952



Law Firm Acting

SIMON MORTLOCK PARTNERS PO BOX 13 474 CHRISTCHURCH

Auckland District Law Society

Reference:

Prior CT:

131C/214

Document No.: D557318.5



CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT 1952

This Certificate dated the 30th day of November Two Thousand under the seal of the Registrar-General of Land, New Zealand, for the Land Registration District of NORTH AUCKLAND.

WITNESSETH that FULTON HOGAN LIMITED and DANNE MORA HOLDINGS LIMITED in equal shares are seised of an estate in fee simple (subject to such reservations, restrictions, encumbrances and interests as are notified by memorial endorsed hereon) in the land hereinafter described, delineated on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 3374 square metres, more or less being LOT 505

DEPOSITED PLAN 203573

Subject to a right of way over part herein marked E & I on DP 203573 appurtenant to Lot 1 DP 103253 CT 56D/1171 created by Transfer B506045.2

The above easements are subject to Section 243(a) Resource Management Act 1991

B245127.1 Pipeline Certificate under Section 71 of the Petroleum Act 1937 over the part herein marked F & I on DP 203573 – 9.12.19983 at 9.41

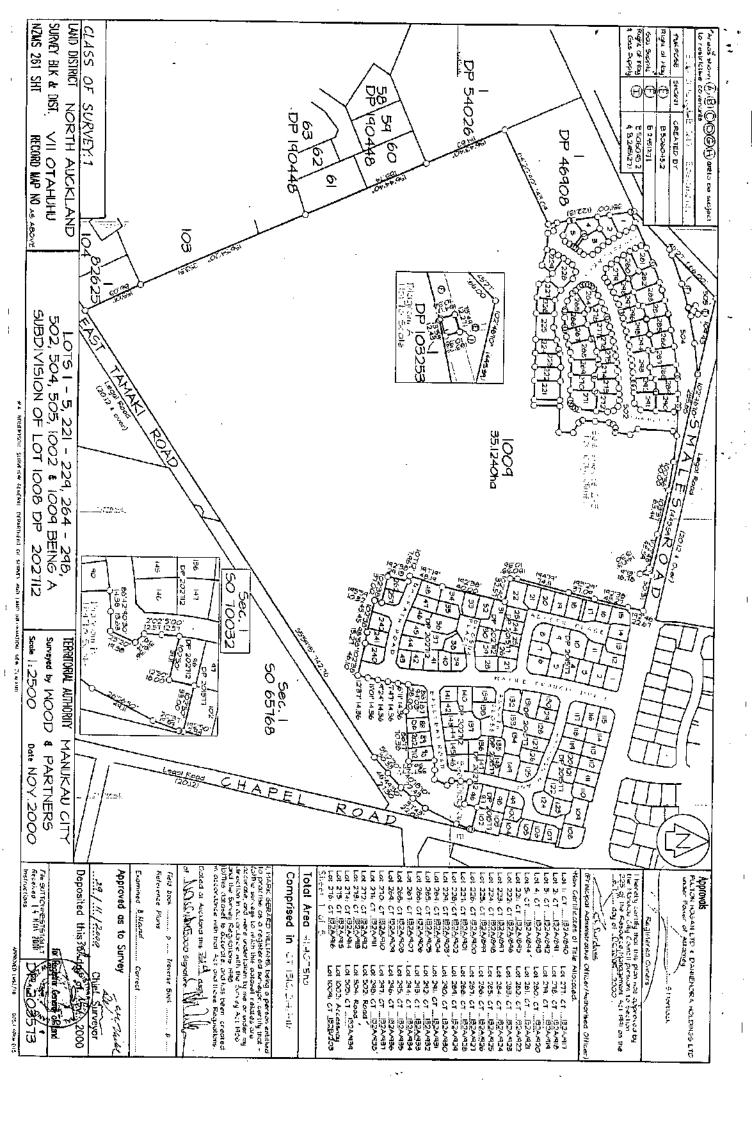
D251574.1 Mortgage to Westral Banking Corporation 12.03.1998 at 12.

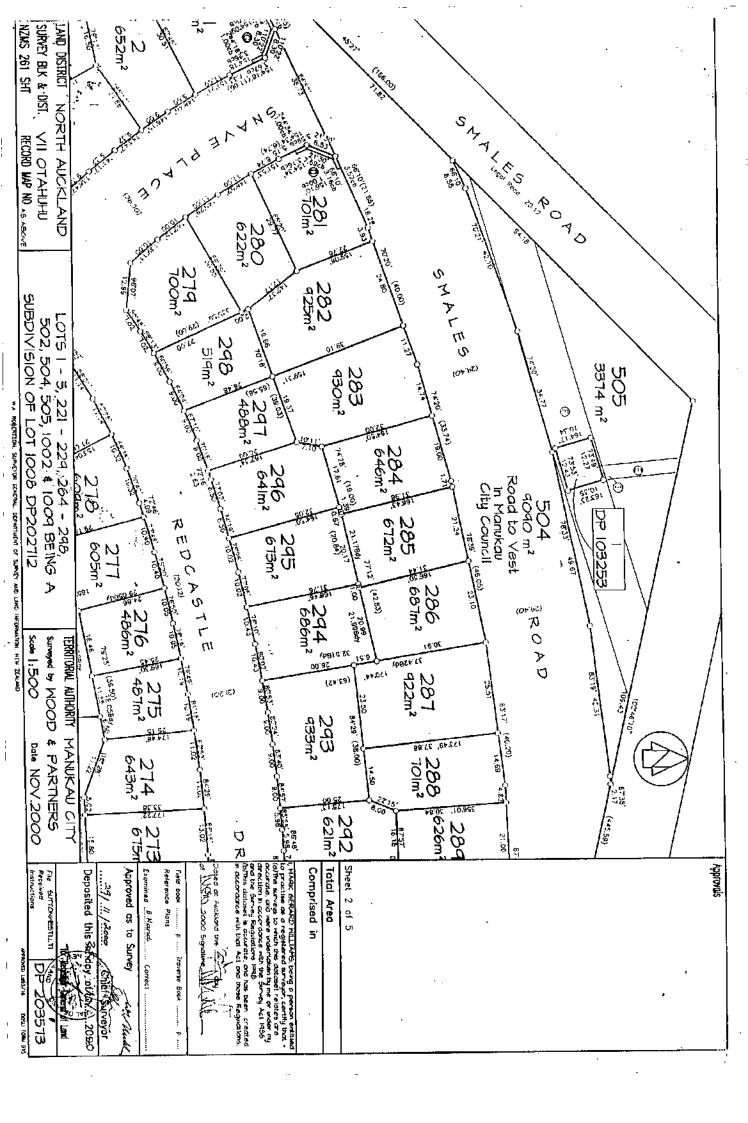
D621971.10 Transfer to Dannemora Property Trustee Limited

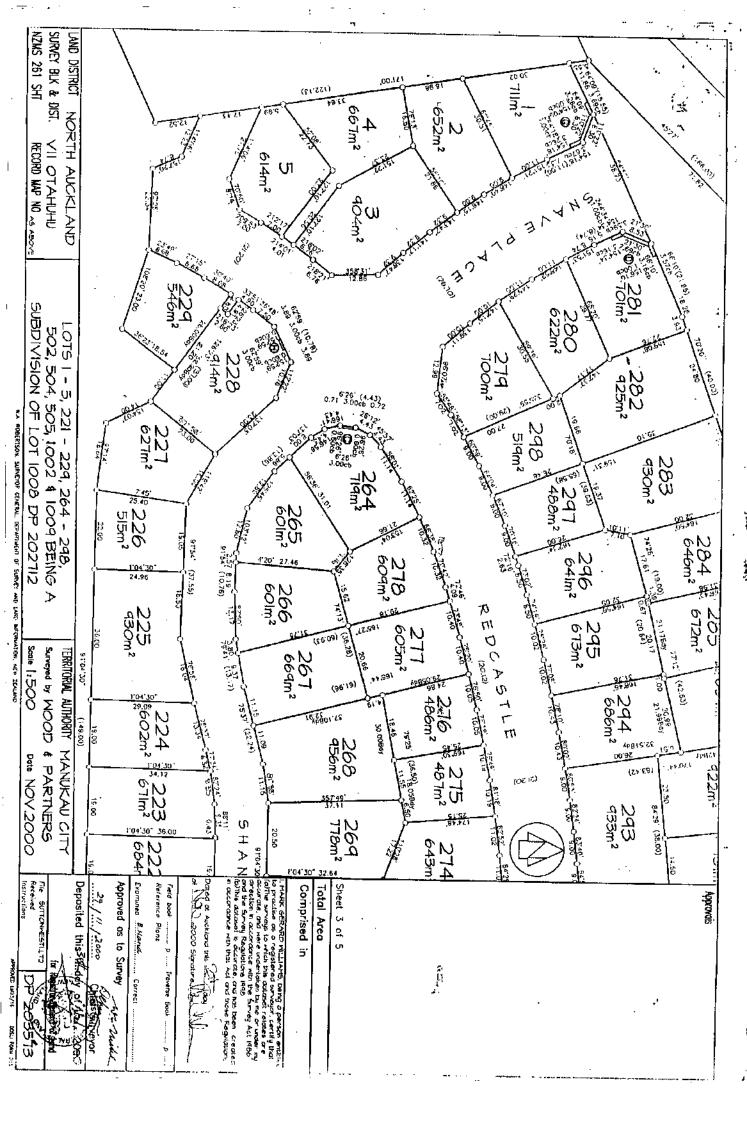
D621971.11 Mortgage to Westpac Banking Corporation

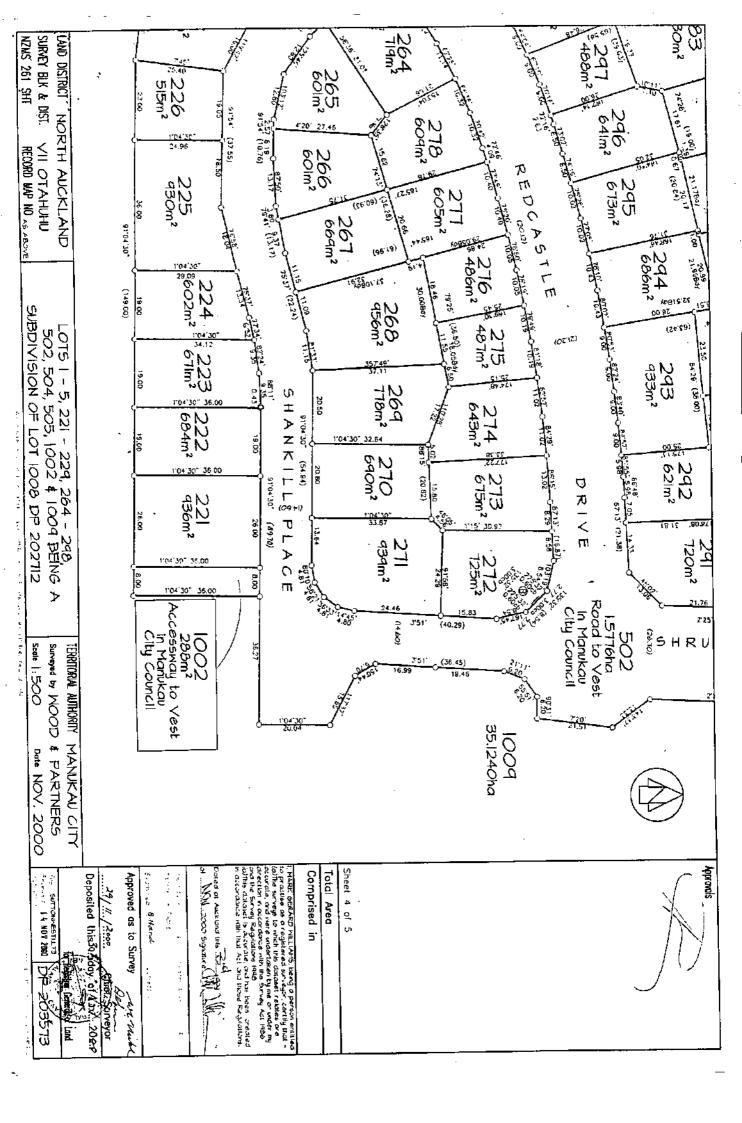
Both 13.7.2001 at 2.23 and entered 25.7.2001 at 9.00

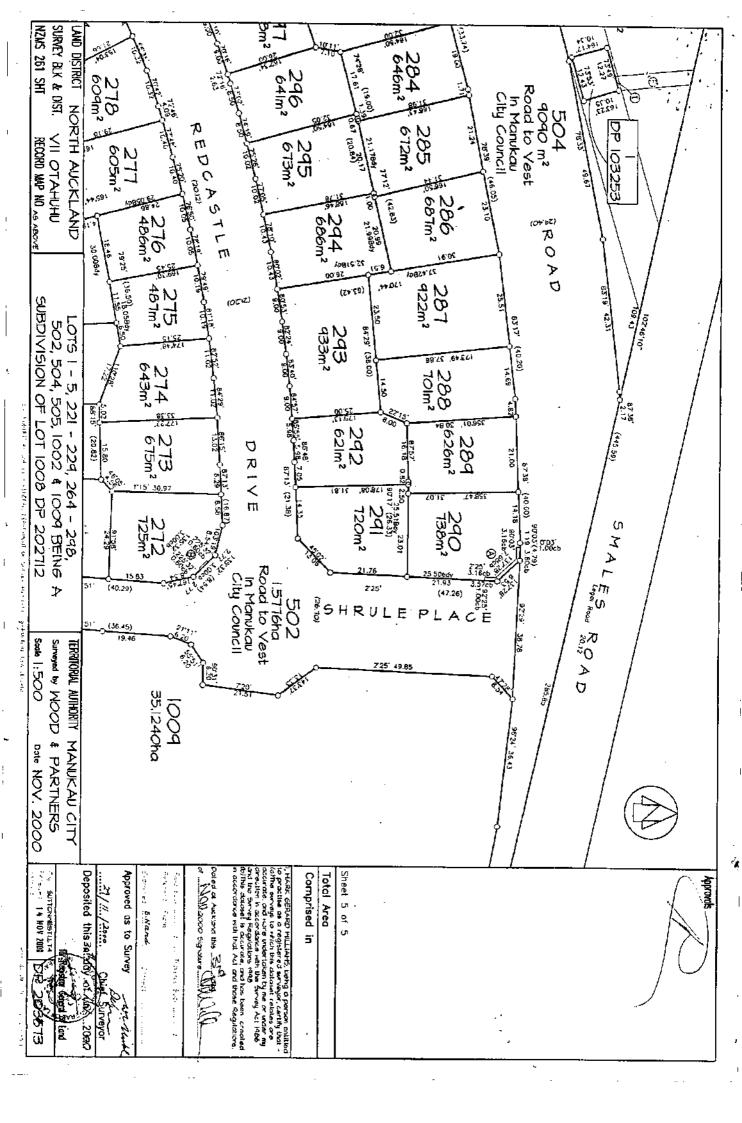
tor RGL











ENVIRONMENTAL SERVICES

18 September 2000

Dannemora Holdings LTD/Fulton Hogan LTD Private Bag ELLERSLIE

Attn: Michael Pritchard

Dear Sir

SP 6326 - 474 East Tamaki Road, Otara

Please find enclosed Council's cheque for \$9,800.00 being a refund of the refundable deposit.

Please note that the charges incurred in processing the Bond release have been invoiced by the Resource Compliance Section and are payable upon collecting the bond money.

Yours faithfully

CR Dundass

Team Leader - Resource Compliance

In your reply please quote: SP6326 -Fleur Chauvel extn. 5845

REMITTANCE ADVICE

U44ZZU.

PAYMENT FROM MANUKAU CITY COUNCIL PRIVATE BAG 76917 MANUKAU CITY

Any enquiries regarding this payment should be made to THE ACCOUNTING MANAGER. Phone: (09) 263-7100

CREDITOR No. 64778

DATE

26 SEP 200

AMOUNT OF CHEQUE

\$67900.00

1	OUR REFERENCE	INVOICE DATE	INVOICE/REFERENCE	AMOUNT
	71 105 71 105 71 105 71 105	21/09/00 21/09/00 21/09/00 21/09/00	BOND REND BOND REND BOND REND BOND REND	12200.00 24900.00 21000.00 9800.00
		Payment Amo	unt	67900.00

044220

Bank of New Zealand

DANNEMORA HOLDINGS

PRIVATE BAG 11900

ELLERSLIE AUCKLAND

MANUKAU CITY CENTRE BRANCH Manukau City

	DANNEMORA HOLDINGS
PAID UC DV	THE SUM OF SIXTY SEVEN THOUSAND NINE HUNDRED DOLLARS ONLY

MANUKAU CITY COUNCIL

DATE 26 SEF 2004

AMOUNT \$67900.00

FOR THE MANUKAU CITY COUNCIL -- GENERAL ACCOUNT

#O44220 #O20191# O190002#0\$

MANUKAU CITY SERVICES KOTUKU HOUSE

INTER-OFFICE MEMO

TO FROM	: Resource Compliance Officer Subdivisions): Resource Compliance Officer (Engineering)	Time Taken (Days) GREEN (RED Type 2
	: 596326 P 15173 BY: Collin Sinclair	
PREPAREI	BY: Collin Sinclair	DATE:
SUBJECT	: RELEASE OF IN-HOUSE /LEGAL BOND	Stap 1
BOUND AN	10UNT: \$9800	
(a) FULL	RELEASE*	
The eng satisfact discharg	ineering works covered by the bond for the above prion of Council, and accordingly the formal bond sed.	roject are now completed to the held by Council can now to
* The to	ond money was supported by cash of \$ 9800-	and we will now release the
	dable deposit of \$is being retained uncompleted works.	ed for a period of
(b) PARTI	AL RELEASE*	
	nneering works covered by the bond for the above pro atisfaction of Council.	oject are now partially complete
in-hous	ingly, the bond documentation can be discharged and e / legal bond to the value of \$ for a points of the consent granted on ind attached a schedule of costs for the works.*	replaced with documents for eriod of months f
Acash	deposit is / is not in place to support the proposed for	mal in-house bond*.
A 4	<i>-</i>	

On behalf of Kevin Wilkie

Manager - Development Compliance BUILDING & RESOURCE SERVICES

^{*} Delete wording not applicable to release/request



TAX INVOICE

21179

Private Bag 76917

Manukau City

New Zealand

DX EP75557

29/09/2000 Customer No 001416

Ph 09 263 7100 Fax 09 262 5151

Cust Order

www.manukau.govt.nz

Our Ref

34191

GST NUMBER 51-963-660

Description	G/L Code	-	Qty	Price	Net
E05 Road Naming E25 Engineering Release E50 Advice E55 Legal Matters E75 Authorisation E80 Bond Release S50 Disbursements SPA Administration Fee	3420 1250.D15173 3420 1250.D15173 3420 1250.D15173 3420 1250.D15173 3420 1250.D15173 3420 1250.D15173 3420 1250.D15173 3420 1250.D15173	HRS HRS HRS HRS HRS EACH	1.00 0.90 0.50 4.70 0.30 2.40 34.00	60.00 80.00 60.00 68.28 80.00 75.82 0.72 50.00	60.00 72.00 30.00 320.96 24.00 181.99 24.48 50.00

Resource Compliance Fees for Bond Release - \$9,800.00

Dannemora Holdings Ltd &

Private Bag 11900, Ellerslie

Fulton Hogan Ltd

Attn: Harold Joyce

34191 P15173/82 - 474 East Tamaki Rd Subdivision - 117 lot residential subdivision Sutton East Stage One and Two (SP6326)

SUB TOTAL

763.43 95.43

G.S.T.

858.86

TOTAL

Process Date 29/09/2000

Manukau City Council Job Sales Edit List - (FINAL)

Page 5

4842.8 .

4137.10

82,Subdivisions

Customer 001416 Dannemora Holdings Ltd &

P15173/82 - 474 East Tamaki Rd

Subdivision - 117 lot

residential subdivision

Sutton East

Stage One and Two

(SP6326)

Employ	yee			(SP6326)	Incernal		Total	Internal		
No	Job Name	Hours	Wages	O/Heads	Costs	Material	Coets	Sales	Sales	Receipt
34191										
•	P15173/82	55.00	3802.65			334.45	4137.10		4129.15	

					Catit		Qty/			(Excl Tax
atit		Ref	Detail	••		escription	Hours	Cost	9 Or 1	Recai
ate	Batch	No	Мо	Name						
1/07/2000	one1	MILEAG	M75	MILEAGE	001 E)isbursements	18.00	13.50	0.75 2	13.5
170772000	6032	MILLERY		•,•	c s	INCLAIR W.E 2	8/07/2000			
1/07/2000	8052	MILEAG	M70	MILEAGE	001 E	SonemearudaiC	16.00	11.20	0.70 \$	11.
1701/1000		***			ro	GIBSON W.E 14.7.	00			
4/07/2000	1686	57257	57257	JOHNSTON	B05 F	load Naming	0.50	18.24	60.00 2	30.
8/09/2000		57257		JOHNSTON	805 F	Road Naming	0.50	18.24	60.00 3	30.
4/07/2000		7	7	GIBSON	812 8	Pre seal Inspe	0.90	67.50	80.00 7	72.
4/08/2000		56377	56377	TRESTON	850 /	Advice	0.50	16.56	60.00 🌣	30.
7/08/2000		75	75	SPENCER	855 I	Legal Matters	1.00	80.00	90.00 🌣	90.
7/08/2000		75	75	SPENCER	855 1	Legal Matters	0.30	24.00	90.00 2	27.
7/08/2000		56377	56377	TRESTON	855 1	Legal Matters	2.20	72.89	60.00 2	132.
B/08/2000		56377	56377	TRESTON	855 1	Legal Matters	1.20	39.76	60.00 2	72.
8/09/2000 8/09/2000		56044	56044	DUNDASS	875	Authorisation	0.30	20.15	30.00 3	24.
8/07/2000 8/07/2000		14	14	SINCLAIR	880	Bond Release	1.00	75.00	80.00 @	€⊄.
0/08/2000		14	14	SINCLAIR	860	Bond Release	0.50	37.50	80.00 3	40.
5/08/2000		14	14	SINCLAIR	880	Bond Release	0.40	30.00	80.00 3	32.
8/09/2000		57257	57257	JOHNSTON	880	Bond Release	0.50	18.24	60.00 @	30.
0,00,200										
					Total Job (Qty/Hr	s * Hours)	9.80	542.79		713.
					Plus Previous Cos	ts/Sales		3594.31		4129.

Draft Invoice

Resource Compliance Fees for Subdivision Release - 224(C)

Stage One

					(Net)		(Incl Tax)
• Codes	Description	OEY	Rate	Discount	Retail	Tax	Recail
C EQ5	Road Naming	1.00	60.00		60.00	7.50	67.50
	Engineering Release	0.90	80.00		72.00	9.00	81.00
C E25	•	0.50	60,00		30.00	3.75	33.75
C E50	Advice						

Total Costs/Sales

Process Date 29/09/2000

Manukau City Council Job Sales Edit List - (FINAL)

		dep dereb			•			
34191	P15173/82	contd .						
						(Net)		(Incl Tax)
* Codes	Description		Qty	Rate	Discount	Retail	Tax	Recail
C \$55	Legal Matters		4.70	68.30		321.00	40.13	361.13
C E75	Authorisation		0.30	80.00		24.00	3.00	27.00
C 280	Bond Release		2.40	75.63		182.00	22,75	204.75
¢ SSO	Disbursements		34.00	0.73		24.70	3.09	27.79
					-			• • • • • • • • • • • • • • • • • • • •
				Total Invo	pice	713.70	89.22	802.92
					_			





Te Kaunihera o MANUKAU City Council

Account No. 0999 9932 D 16734 Arention: John Gardiner Oon Wood. Account No. 0999 9934 D 16734 Arentee: Market Oon Wood. Arentee: Market Oon Wood. Account No. 0999 9934 D 16734 Market Oon Wood.
Menution: John Gardiner On Wood. New Ze No. 379 3236 Fax (89) 262 Email: @manukau.ge No of Pages: Z Subject: DOCUMENTATION RELEASE Dear Sir frour application for the release of XL/SP 6326 Stage Z (s224/Engineering/Bond/Land Transfer Fax 474 East Tamahi Road Suthan East) For Dannemora Holdings Talkan Hogan Soelow. The Customer Centre is open weekdays between the hours of 8.30am and 4.00pm. Alternativel payment can be forwarded to Resource Compliance, Manukau City Council, Private Bag 76-917, Manukau City will then forward the documents to your office. Resource Compliance Fee (see attached invoice) Account No. 1999 9430 D. 16734 Roading Contribution Account No. 1999 9430 D. 16734 Wastewater Contributions Account No. 1999 9832 D 16734 Sommwater Contributions Account No. 1999 9932 D 16734 Wastewater Contribution Account No. 1999 9932 D 16734 Wastewater Contribution Account No. 1999 9932 D 16734 Wastewater Contribution Account No. 1999 9932 D 16734 Wastewater Contribution Account No. 1999 9932 D 16734 Water Quality Contribution Account No. 1999 9932 D 16734 Water Quality Contribution Account No. 1999 9932 D 16734 Water Quality Contribution Account No. 1999 9932 D 16734 Water Quality Contribution Account No. 1999 9932 D 16734
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tel: 27/6/00 No of Pages: Z Tamai: @manukau.ge DOCUMENTATION RELEASE ear Sir our application for the release of XL/SP 6326 Stace Z (s224/Engineering/Bond/Land Transfer F 474 East Tamah: Road Sulfan East) or ready for collection from the Customer Centre, Ground Floor Kotuku House, upon payment of the amount s elow. The Customer Centre is open weekdays between the hours of 8.30am and 4.00pm. Alternativel elayment can be forwarded to Resource Compliance, Manukau City Council, Private Bag 76-917, Manukau City iiii then forward the documents to your office. esource Compliance Fee (see attached invoice) Account No. 0999 9430 D. 16734 Account No. 0999 9430 D. 16734 Account No. 0999 9932 D 16734 Account No. 0999 0932 D 16734 S 247, 824. S 68, 349. 2 Vater Quality Contribution Account No. 0999 0922 D 16734 Account No. 0999 0922 D 16734 S 68, 349. 2
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lease note that the documentation will not be released until full payment has been received. If you have uestions relating to these payments, please contact the person noted above.
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NEW ZEALAND.

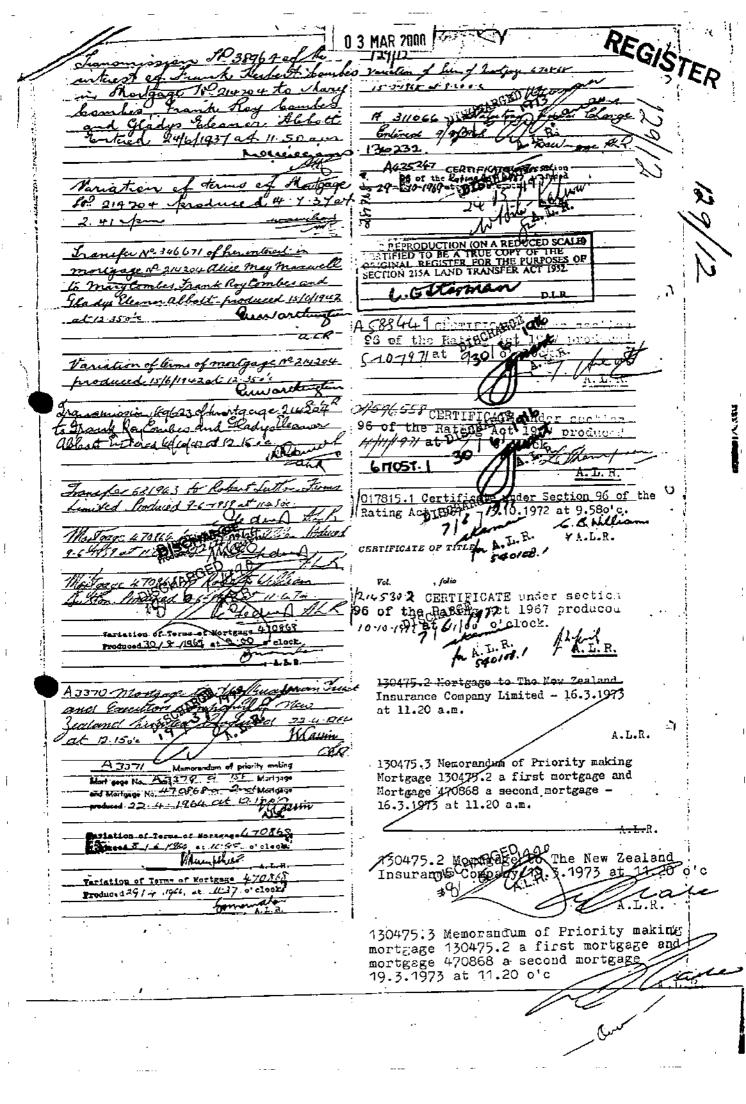
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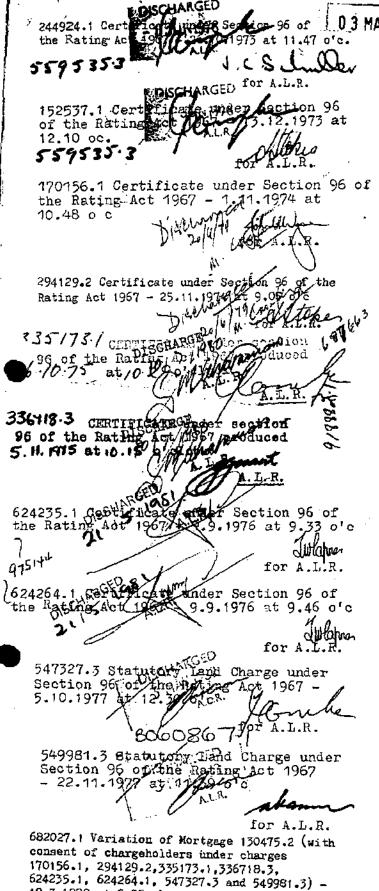


REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT.

CERTIFICATE OF TITLE O	Transk and sin broad and few ander
This Certificate, dated the kneicht thered day of	on District of Quelland! Blimeseth that
the hand and seal of the District Land Registrar of the Land Registration	in the Francial & Tishaet of authoris
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fanciner)	
is existed of an estate in fee-simple (subject to such reservations, restriction	as, encumbrances, liens, and interests as are notified by memorial undarwritted ake and lay off roads under the provisions of any Act of the General Assembly
or indorsed hereon; subject also to any axisting right of the Urawa to the New Zonland) in the land hereinafter described, as the same is defineated	i by the plan hereon, bordered CHOCK, be the several admesserements
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0 3 MAR 2000 ! B555188.2 Variation of terms of Mortgage 130475.2 - 9.7.1986 at 2.18 C.139003.1 Transmission to The New Zealand Standard Limited as execution 1.5.1 tgage 470868 Trust Company .5.1990 at 2.43 oc of Mortgage 470868 C149274.1 Transmission/to The New Zealand Guardian Trust Company Limited at Auckland as the executor - 8.6.1990 at 2.27 0 c KLŔ. D.021238.1 CAVEAT BY PULLTON HOGAN LIMITED AND DANNE MORA HOLDZIGS CIRA 3.29 O'C ひつしなけをコーバ D2188\$7.2 Transfer to Fulton Hogan Limited and Danne Mora Holdings Limited 24.11.1997 at 2.23 D251574.1 Mortgage to Westpac Banking Corporation 12.3.1998 at 12.00

> D423804.2 Compensation Certificate under Section 19 Public Works Act 1981 by the Manukau City Council

25.8.1999 at 2.47.

.L.R.

941631.1 Proclamation (NZ Gazette 9 July 1981 No. 80 Page 1899) defining the middle line of the Oaonui - Auckland pipeline - 22 \$.1931

Dhompson A.L.R.

19-3-1979 at 9.05 o'c

at 2.330/c

Transfer No. N/C. Order No. B.366905.3



CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

Chis Certificate dated the 21st day of December one thousand nine hundred and eighty-four under the seal of the District Land Registrar of the Land Registration District of NORTH AUCKLAND

WITNESSETH that ROBERT SUTTON FARMS LIMITED at Auckland

is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 23-5350 hectares more or less being Lots 12, 13, 14, 17, 18, 19 and part Lot 11 Deposited Plan 615 and being part Allotment 119 Parish of Pakuranga.

Interests at date of issue

470868 Nortgage to Robert 111iam Sutton - 9.6.1959 at 11.77 or ma varied 30.8.1962 at 2500 be found added 8.6.1964 at 11.45 oc. and varied 29.4.1966 at 11.37 oc. and varied 15.3.1968 at 9.20 oc.

130475.2 Mortgage to The lew Zealand Insurance Company 19 7 1973 at 11.20 oc. and variable 19.9 1979 at 9.05 oc. (682027.1).

130475.3 Memorandum of Priority making Mortgage 130475.2 a first mortgage and Mortgage 470868 a second mortgage - 19.3.1973 at 11.20 oc.

941631.1 Proclamation (N.Z. Gazette 9
July 1981 No.80 page 1899) defining the
middle line of Oconuí-Auckland pipeline
- 22.6.1981 at 2.33 oc.

B. 227992. 9 CAVITY OF VEATURAL GAS CORPORATION OF NEW STALAND LIMITED - 21.10 1983 at 3/85 oc.

B.245127.1 Pipeline Easement Certificate.under Section 71 of the Petroleum Act 1937 affecting part Lot 11 Plan 615 - 9.12.1983 at 9.41 oc.

11 Plan 615 - 9.12.1993 at 9.41 oc.

57100 CAVEATS V. AR DISTRICT LAND

REGISTRAR 7. A2.1943 at 2.10 oc.

Measurement Name Metric Position

Assistant, Land, Registrar

Subject to a right of way over part marked 'A' on Plan 103253 appurtenant to Lot 1 Plan 103253 (CT 56D/1171) created by Transfer 8.506045.2

A.L.R.

B555188.2 Variation of terms of Mortgage 130475.2 - 9.7.1986 at 2.18 oc

C.139003.1 Transmission to The New Zealand Guardian Trust Cappany Lamited as executor -14.5.1990 at 100 oc

of Mortuge 470868
C149274.1 Transmission/ to The New Zealand
Guardian Trust Company Limited at Auckland
as the executor - 8.6.1990 at 2.77, 0 c

D.021238.1 CAVE OF BY JUSTICON NOGAN LIMITED AND DANNE MORA HOCKINGS LIMITED - 17.7.199 AT

D218857.2 Transfer to Fulton Hogan Limited and Danne Mora Holdings Limited 24.11.1997 at 2.23

D251574.I Mortgage to Westpac Banking Corporation 12.3.1998 at 12.00

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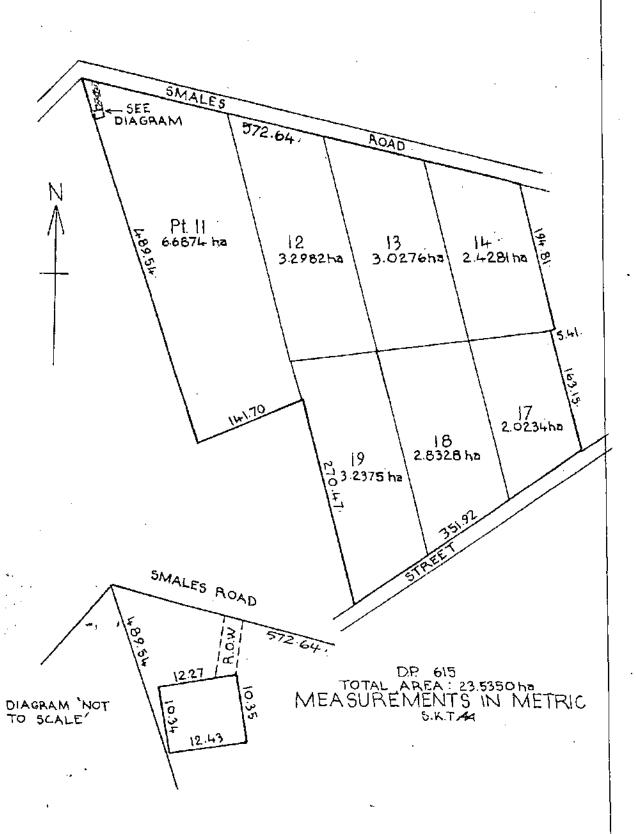
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CERTIFICATE OF TITLE No.

MANUKAU CITY



D331478.1 Compensation Certificate under Section 19 Public Works Act 1981 by The Manukau City Council 18.11.1998 at 2.46.

SMILLE CO

NEW ZEALAND.



Register-book Vol. 18 . Solio 5

CERTIFICATE OF TITLE UNI	DER LAND TRANSFER ACT.
CERTITION	
· · · · · · · · · · · · · · · · · · ·	and one thousand nine hundred and five, under
This Certificate, dated the	f / / // / / f Shi Shall shall i
the hand and seal of the District Land Registrar of the Land Registration	District of Market Control of Con
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٠	bunefer 601796 to larry Raymond	
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1/2	Cover and Grove ducy Rolling	No. 80 Page 1899) defining the middle line of
"		the Oaonui - Auckland pipeline - 22.0.1981
	his wife as tenants in woon,	
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	26.9-1158 at 11.22 0C	B.149868.1 Transmission/to James Clifford
	and the second strate	Chamley, Solicitor and Wesley Vivian
d	This to share Hony Raymonds fortrooph	Goddard, Retired, both of Auckland as
0	Transfer 625582 to Stark Lucy Box boxogh, wife	executors - 17.2.1983 at 12.09,0°c
	of there Raymond Roxhoragh, abovenamed	
! .	Andused 17.8 1974 of 10:550's	
	Malcolms on ALR	- Marinettani
		A.1. B.
	THIS REPRODUCTION (ON A REDUCED SCALE)	B. 240382.1 Transmission of the undivided
	CENTICISM TO RE A TRUE COPY OF 100	one-half share of Dorendia Jane
!	ORIGINAL REGISTER FOR THE PURPOSES OF SECTION SISA LAND TRANSFER ACT 1962.	
	SICION SIM LAND IN BOTH IN THE	Somerville to Archibald Hugh Somerville
	L.G VERNEN DLR	of Auckland farmer as executor - 25.17, 1983
	Dik	1
		at 12.03 o'c
ĺ	1533714. Transfer to John Desmond	
١.	Cameron Watson of Auckland Army	A.L.R.
!	Officer and Josephine Laurel Watson	B.240382.2 Transfer of the share acquired
		by Transmission B. 240382.1 to Archibald
	- his wife - 26. 2. 1971 at 12,00 00	
۱ ۵	Mand lie ter.	Hugh Somerville abovenamed - 25.11.1983
ة ا	A533715 Murigagesta Trace Lucy	at 12.03 o'c
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2		A.L.R.
,	Wind Hill 19360	
i	A566591 Transfer to Allan	·
į	Stevenson Hattaway of Howick.	,
•	Bus Operator - 9.7.1971 at 9-10 og	CERTIFICATE OF TITLE,
;	01, 00	033111110012 4- 12-,
1	- Mut Purel	, au
		Fol. folio
İ	Variation of terms of Mortgage	B. 240382. 3 Mortgage to Teaste Morrison
	A533715 - 9.7.1971/at 9-10 oc /	and to Anna Lilborner and Whilizabeth Hope
		Ingram in sharps - 25 1 134983 at 12.00 o'c
1		B165058.1
•	DISCHARCE A.L.R. 5994	A.L.R.
) (062830.2 Mortaling to Bank of New	/
	Zealand - 914 7874 at 01.48 p'c	C.511442.1 Transmission to James
	1 marta 10	Clifford Chamley and Anthony James
	FOR ALLAR	Alexander Wiseman both of Auckland
	F TOP Reliance	solicitors as executors - 27.8.1993 at
1		2,22 oc.
ļ	348748.2 Transfer to Archibald Hugh	2.22 ac. 9/2.
16	Somerville, farmer and Dorondia Jane	
1/6	Somerville 202Ver gentlewoman both of	D423804.1 Compensation Certificate
X		under Section 19 Public Works Act 1981
-	Howick as tenants in common in equal	by the Manukau City Council
	shares - 22.7.1976 at 2.36 of c	
:	Monde	25.8.1999 at 2.47.
	for A.L.R.	Juning
	38,500.1 Change of Name of Dorendia Jane	John RGL
		<i></i>
!	Somerville-Culver, one of the abovenamed	
	registered proprietors to Dorendia Jane	
	Somerville - 5.7.1978 at 11.40 o'c	
	1 7	

A.L.R.

REGISTE

OF TITLE UNDER LAND TRANSFER AC

one thousand nine hundred and seventynine March erar of the Land Registration District of NORTH AUCKLAND

ARMS LIMITED at Auckland

is seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 1.5368 hectares more or less being part Lot 16 Deposited Plan 23052 and being part allotment 119 Parish

of Pakuranga



Assistant Land Registrar

Interests at date of issue

470868 Mortgage to Revert William Sutton - 9.6.1959 at 11.47 % c antivaried 30.8.1962 at 2.00 o'c 8.6.1964bat 11.45 o'c 29.4.1966 at 11.37 o'c and 183.1968 at 3.20 o'c **\29.4.**1966

130475.2 Mortgage to The Alex Zealand Insurance Company Limited 1419 11973 at 11.20 o'c and varied 19.3,1975 at 2105 o'c (682027.1)

130475.3 Memorandum of Priority making Mortgage 130475.2 a first Mortgage and Mortgage 470868 a second Mortgage -

170156.1 Certificate waden Lection 96 of 74 ACHTÓ.48, 0'C the Rating Act 057 - 1974

294129.2 Certificate under Sector the Bating Act 1967 - 25.110974

335173.1 Captificate high the Rating Act (1967) etion 96 of

Section 96 of at 9.33 o'c the Ration Aot

section 96 of 624264.1 Cpz 79.1976 at 9.46 o'c the Ration

Measurements are Metric

547327.3 Certificate under section 96 of the Rating Aut 0.7977 at 12.30 00

8060867.1 549981.3 Certificate under section 96 of the Rating Act D1957 A 22.11.1977 at 11.39 0'5/

Bocoe 47 A.L.R. B555188.2 Variation of terms of Mortgage 130475.2 - 9.7.1986 at 2,18

C. 139003.1 Transmission of Mortgage 470868 to The New Zealand Guardian Trust Company Limited as executor 14.5.1990 at 2.43

Montgage 470868 on 96 of at 10.29 c C149274.1 Transmission/to The New Zealand Guardian Trust Company Limited at Auckland as the executor - 8.6.1990 at 2.27

> D.021238.1 CAVE TO BY RUTTON HOGAN LIMITED AND DANNE HORA HODDINGS TIMITED 17 /1.199 AT 3.29 0'C

D218857.2 Transfer to Fulton Hogan Limited and Danne Mora Holdings Limited 24.11.1997 at 2.23

ForDLR

574.1 Mortgage to Westpac Banking

Corporation 12.3.1998 at 12.00

434/930

Manukau City 1.5368 ha

MEASUREMENTS ARE METRIC

D.P. 23052 APP

IN THE MATTER of the Public Works Act 1981 ("The Act")

AND

IN THE MATTER
of a subdivision of
land in the North
Auckland Land
Registration
District shown on
DP 201577

CANCELLATION OF COMPENSATION CERTIFICATE

(PURSUANT TO SECTION 19(7)(a) OF THE ACT)

THE MANUKAU CITY COUNCIL being the Council named in the Compensation Certificate pursuant to Section 19 of the Act registered under D423804.2 (North Auckland Registry) pursuant to Section 19(7) of the Act DISCHARGES this compensation certificate.

DATED AT MANUKAU this 8th day of August 2000

Authenticated by the Council by the Principal Administrative Officer of the Council pursuant to Section 252 of the Local Government Act 1974

R Dissmeyer

AGREED by

as owner of the land shown in the schedule

IN THE MATTER
of the Public
Works Act 1981
("The Act")

AND

IN THE MATTER
of a subdivision of
land in the North
Auckland Land
Registration
District shown on
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R Dissmeyer

AGREED by

as owner of the land shown in the schedule

IN THE MATTER of the Public Works Act 1981 ("The Act")

AND

IN THE MATTER of a subdivision of land in the North Auckland Land Registration District shown on DP 201577

PARTIAL CANCELLATION OF COMPENSATION CERTIFICATE

(PURSUANT TO SECTION 19(7)(a) OF THE ACT)

THE MANUKAU CITY COUNCIL being the Council named in the Compensation Certificates pursuant to Section 19 of the Act registered under D331478.1 (North Auckland Registry) pursuant to Section 19(7) of the Act PARTIALLY DISCHARGES these compensation certificates as to the land described in the schedule below.

Schedule

2.0916 hectares more or less being Lots 1-27, 116, 117, 128-134 (inclusive) on Deposited Plan 201577 and also being all the land comprised and described in Certificates of Title numbered 130B/99-130B/125, 130B/144, 130B/145, 130B/156-130B/162 (inclusive) (North Auckland Registry)

DATED AT MANUKAU this 8th day of August 2000

Authenticated by the Council by the Principal Administrative Officer of the Council pursuant to Section 252 of the Local Government Act 1974

R Dissmeyer

AGREED by

as owner of the land shown in the schedule

•			
		_	RESOURCE COMPLIANCE (22)
734		SP632VAY	CHECKLIST Z.S
	AMAKI ROAD	07/04/00	Application received
INEMO	RA HOLDINGS	LTD/FULTON/HOGAN LTD	Compliance Officers
VATE B ERSLIE	AG	MAIN RESIDENTIAL H112629 NO RAU \$562.56 its Conneil	Found associated files
EKSLIE	<u></u>	Change of Conditions	Entered in Dunu Dec
NGE TO C	ONDITIONS SP6320	Private Bag 76917 6 15173	Entered in Busy Bee
		New Zealand	Allocated to Engineer
		DX EP75557	
		Ph 09 263 7100	Engineer Completed
		Fax 09 262 5151	/
		1.1.	al Fig.
Info	rmation reque	sted (1) 16/6/00	Information received 2.6/6/00
info	rmation reque	sted (2)	Final information received
Rec	eipted Chequ	ies	
	Reserves		Water Quality
	Roading		Comprehensive Discharge Levy
	Stormwater		Sanitary Sewer
	High Head (Contribution	Bonds
Ass	ociated files (s	ບວ່າdivision / land use)	
Cred	dit check?		
Amo	ounts owing		For what?
			••••
			,
Draf	t invoice requ	ested	
ОΚ1	for release sub	oject to:	:
(i)	payment of d	contributions (etc) (see paym	nent fax)
(ii)	legai docum	ents to clear	
17	_	wpath easement	Watermain easement
	Covenants		Bonds
	Other		
(iii)	Other		He he history
		ern to Char	The for history
Tear	m Leader Res	ource Compliance:	
Sion	ied:	-11/	Date: 27/6/cv
5.,		A	
0	r reviewed by:		
	-		D-1
Sign	ied:		Date:

LAND TRANSFER PLAN APPROVAL

	N/A	Correct	Not
7.0	_		Correct
Copy of Resource Consent in file	Ð	™	
Valuation - requested and advised		<u>a</u>	
DLR number - requested and advised the large emittable of Easements checked by engineer	ON PHIS	0865 ×	
Easements checked by engineer		Ø	
Conditional easement correct		☑′	
Amalgamation correct	ø	_	
Wording of Section 223 correct - prior 97		r	
Roads to vest noted - Myles to plot			
Road boundaries			
Roads plotted - place in blue file			
Road names ordered from Excell	8. D		
Width of ROW	Ø	0	□
Lot Access		≅.	
Buildings certified: - plans supplied Building inspected cleared by RM	ම් ම	0	
No conditions imposed - on plan	Ø		0
Advice job complete and invoice	ਓ′		
Copy sent to Land Information		۵	
Copy in file		0	
Details written on file		12	
Details recorded in TinyTerm		\mathbf{z}	
Notes:			
Load names & Se requeste	D.] .	padis plot	teD
Plans to Se sut to Cis.	••••••		
			Ç. 1 . 1
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·			
\mathcal{Q}		11	
Completed by:	Da	ete: <u>1/6/2</u>	<u> </u>
Team Leader - Resource Compliance / Peer reviewed by:		,	
Signed:	Da	ate:	

SECTION 224(C) APPLICATION / Completion of Land Use Consent

Check-list of items to be verified/actioned prior to issue of Section 224 certificate and/or building work commencement authorisation.

		N/A	Correct	Not Correct	
1.	Easements:			,	
(a)	Request form and deposit received:			☞ .	
(b)	Instructions sent to Brookfields (Date:)			0	
(c)	Draft received, checked and okayed(Date:)			٥	•
(d)	Clearance received from Brookfields OLFP (Date:	O	D		
	Watermain (Date:)				
2.	Covenants / Encumbrances / Other Legal Documents				
(a)	Request form and deposit received	0	Ō		
(b)	Instructions sent to Brookfields (Date:	0	0	-	
(c)		0		٥	
(d)	Clearance received from Brookfields OLFP (Date:) Watermain (Date:)	0	, 0	0	
3.	Bonds:				
(a)	Request form and deposit received	ø			
(b)	Value of Bond: X2 refundable deposit S. 9600 \$ \$25000 in-house bond S.	», 	Ø	upotto:	
	solicitor bond S Smarth	1/9/2000	,	1/6	2009
(c)	Bond period: Expiry Date	,	_	_	
(d)	Instructions sent to Brookfields(Date:)	Ø			
(e)		Ø		. 🗆	
(f)	Clearance received from Brookfields OLFP (Date:	□ (:		: 🗇	
/a\	Section 222 required/prenared	Ø			

					new lots
(a) C	Check C	Certificate of Title			
	Enc	cumbrances	I y		П
	Con	nsent Notices		,	
	Sec	ction 241 Amalgamation		D,	
	Oth	105253 OT 554 478		n ⊡⁄,	
5. U	lođeski	ing LIR			tosagoli
J. U				. 🗆	tolot
6.	Con	sent Notices - Conditions 15, 16(c)	105		
		•			<i>-</i>
			N/A	Correct	Not Correct
7. (a	a) Su	urvey plan showing co-ordinates		Ð	
		opy for GIS/LIS	ō	0	ō
8. B	arter ta	ax invoice			.
	- oun 9000	HUR deep so lover - Par late - sthould let 102 \$103 R very 8lectr repl. des its supply plan share; length west consensed - 0.5% Los 102 107)	ol read	Conteges	- 114.60
	- oun 9000	by it supply pla sharing length	of road	Contages	
	- oun 9000	by it supply pla sharing length	of road	Correct	Not Correct
\	- oun 9000	des its supply plan sharing length with consument - out loss 102 007	of road	Contages	Not
(1) Ea	- BUA - LOOA he Su arthwo	the state repl. The shape plan shape lingle next casement - out los we range to the source. The of entry clearances granted	of road	Correct	Not Correct
(1) Ea	erthwoil) Rigil	very sheets repl. des its supply plan sharing length most consensed - outer has to 2 vory	of road	Correct	Not Correct
(1) Ea	arthword) Rigit) Che by (way 8 but repl. In it supply plan sharty length with consument - out? Los to 2 cm with of entry clearances granted eck copy of foundation completion report received	of read	Correct	Not Correct
(1) Ea	rthwol) Rigi) Che by () (If n rece	way 8 Luty rept. In its significant plan sharty length with resemble - out leds to zero. In its significant completion report received consent Engineer consent Engineer Eng	of read	Correct	Not Correct
(1) Ea (a) (b)	arthword Rigit Che by (Cop (cop	way 8 Luty repl. It sught pla shart length and casement - out Los 102 ray The of entry clearances granted eck copy of foundation completion report received Consent Engineer no earthworks) foundation completion statement	of read	Correct	Not Correct
(1) Ea (a) (b)	arthword Rigit Che by (Cop (cop	way 8 Luty rept. In its significant plan sharty length with resemble of Lot to 2 cm. In its significant plan sharty length with the entry clearances granted eck copy of foundation completion report received Consent Engineer in earthworks) foundation completion statement eived by Consent Engineer entry of FCR received and following are checked by to Consent Engineer in for commentate: Coverage of all areas shown on LT (including	of road	Correct	Not Correct
(1) Ea (a) (b)	arthworks (if no received)	way 8 Luty rept. In the significant plan shape length with resemble of Lot to 2 cm. Link resemble - out I lot to 2 cm. Link resemble - out I lot to 2 cm. Link resemble - out I lot to 2 cm. Consent Engineer Lot of Formulation completion statement eived by Consent Engineer Lot of FCR received and following are checked by to Commentate: Lot of Commentation completion statement for commentate: Coverage of all areas shown on LT (including reserves to vest)	of read	Correct	Not Correct
(1) Ea (a) (b)	arthwords (If no received) Copposed (Copposed C	way 8 Luty rept. In its significant plan sharty length with resemble of Lot to 2 cm. In its significant plan sharty length with the entry clearances granted eck copy of foundation completion report received Consent Engineer in earthworks) foundation completion statement eived by Consent Engineer entry of FCR received and following are checked by to Consent Engineer in for commentate: Coverage of all areas shown on LT (including	of road	Correct	Not Correct
(1) Ea (a) (b)	rthwol Riginal (in the contract of the contrac	way 8 Lub repl. The significant of the sharp length with resemble of the statement of the	NIA	Correct	Not Correct

			NIA	Correct	Correct
	(g)	Copy of FCR received from Consent Engineer			
		(i) One copy to BRS file			0
		(ii) Other copy for Surveyors with release			
Note	es:				
(2)	•••	itary Sewer Drainage		,	
(/	(a)	QAM Inspection Form completed and signed off		v v	
	(b)	Uncompleted items quantified		. ☑	
	(c)	M/N infiltration clearance	Ø		
	(d)	Agreement for hook-up to proceed		. 🗸	
	(e)'	Agreement for new connections to be installed	Ø		
	(f)	Right of entry clearances granted			
	(g)	Floor level restriction plan:	,	,	•
		(i) Received	Ø	. 0	
		(ii) Benchmark provided	S ,	, 0	
		(iii) Accepted			
	(h)	Date of air test recorded on release memo	₽		
Not	es:				
••••		•			
		· · · · · · · · · · · · · · · · · · ·			
,,***	• • • • • • • • • • • • • • • • • • • •	V			:
(3)	Lar	id Drainage ,			•
	(a)	QAM Inspection Form completed and signed off		∇	0
	(p)	Uncompleted items quantified	ر ۵	, 🗹	
	(c)	Right of entry clearances granted	Ø	₽	
	(d)	Floor level restriction plan:	,	,	
		(i) Received	·Ø,	, , 0	, 🗅
		(ii) Benchmark provided	S 2		
		(iii) Accepted	Ø	٥.	. 🗅
. •	(e)	Overland flowpaths:			
		(i) As-built plan		1	
		(ii) *Check levels against design (if not OK, forward toConsent Engineer for validation)	0		
		(iii) Benchmark provided		₩/	
		(iv) Check floor levels		Ø	

				N/A	Correct	No Corr
	(f)	Eas	sements:	1		
		(i)	Alignment LT to as-built	4/	<u> </u>	
		(ii)	Copy of AB for easement	, 6		
οt	es:					
· · · ·		· · · · · · · · · · · · · · · · · · ·			************	********
					***********	**********
()	War	ter Re	ticulation			
	(a)	QAM	Inspection Form completed and signed off		6/	
	(p)	Unc	ompleted items quantified		4	
	(c)	Agre	eement for hook-up to proceed	- /	₹	
	(d)	Agre	eement for meters to be relocated / installed	4	0/	
	(e)	Wat	ermain duct boundary dimensions		A	
ote	• es:				-	
)	Roa	ding	. Tw		,	
	(a)	QAN	Inspection Forms completed and signed off		2	0
	(p)		inspection held	\ D	S	
	(c)	Bear	m test compliance confirmed	A_{\Box}	\forall	
	(d)	Unco	ompleted items quantified		v :	
	(e)		with access constrains to go on LIR identified plan provided			
	(f)		pleted RAMMs forms (x 2)	т П	_/	
		Road	ling details:		*	J
		·(i)	Check form for each road			
		(ii)	Complete forms			
		Seali	ng detalis:	-,	₹	_
		(i)	Chip sealing.		:	
		(ii)	Bitumen macadam	w v	_ /	
		(iii)	Asphaltic Concrete			<u>_</u>
	(g)	•	copy RAMM to Streetworks Engineer	0	\$2	
tes	5:					

- - -

			NIA	Correct	Not Correct
(6)	Stre	et Planting		•	
	(s)	As-built certification by consultant	/6		
	(p)	Validation of locations			
	(c)	Confirmation of species / planting by Parks:			
		(i) Request issued	□	D	
		(ii) Confirmation received			
	(d)	Street planting water meters arranged		0	
Note	es:				
,					············
(7)	Res	erves .			
	(a)	QAM inspection forms completed and signed off			
	(b)	Final inspection held			
	(c)	Uncompleted items quantified		0	0
	, (d) _j	Alignment to LTs confirmed	۵.,.	.0	, 🚚 ; 🗀
•	(e)	Foreshore reserve clearance	, DI,	.,ם :	
	(f) [']	FCR coverage checked and confirmed			
Note	:S¥	1		***************************************	A
	·;·····	***************************************	···,·············	·····	
(8)	Fina	il Release			
	(2)	Scheme plan engineering conditions checked and confirmed for coverage		\mathbf{A}_{j}	
	(b)	Engineering drawing approval conditions checked and confirmed for coverage		W.	
	(c)	QAM final inspection form completed and signed off		1	
	(d)	ACC forms completed and signed off		1	
	(e)	Final inspection held			
	(f)	Engineering completion certificate	O		
	(g)	Provision of multiple unit servicing		♥//	
	(h)	Breakdown of assets to be vested	Ò	☑/:	
	(i)	Uncompleted items quantified		v	
	(j)	Bonding arrangements in place:			4 J
		(i) Refundable deposit	1	D	· 🗆
		(ii) In-house bond			_ · ·
		(iii) Formal bond	₽ ∕	0/	
		(iv) Bond figure and condition numbers confirmed to Resource Compliance Officer (Subdivisions)	<u> </u>	•	

				N/A	Correct	Not Correct	,
	(k)	(i)	Section 222 Completion Certificates Lots	□			
1		(ii)	Duration of bond		M	_ ,	
	(i)	Cor	nditions covered by bonding		 		
		Сог	ndition	_	_	_	
	(m)	Lots	s placed on LIR noted on release:				
		(i)	Foundations			<u> </u>	
		(ii)	Overland flow				
		(iii)	Limited SW servicing		D		
	-	(iv)	Limited SS servicing				
1		(v)	Restricted access	C			
		(vi)	,			_	
1 •		(vii)	building covenant, etc		0	0	•
! /		(*,					
- 7 <u>-</u> 5	ya	~.nc !~}~	sheets of house)				
7/2	zul		short of all lots of all		= 31)c. co	d Ida	\$60
C	(n)	As-b	puilt check:	,	:		_
٠٠		(i) ·	Check coverage to CTs	_/	₩	. 🗆	♥,
		(ii) *		_/			
i	•		Clearance from Draughting	ゼ			
1	(0)	Sign	Clearance from Draughtinged copy of as-builts / plans for:	☑			
	(0)	Sign		v		o	
		· . T	ed copy of as-builts / plans for:			_	
		(i)	ed copy of as-builts / plans for: Sanitary sewers		V .	o	
Packy, book		(i) (ii)	ed copy of as-builts / plans for: Sanitary sewers	_ /	V	0	
Rostniked apraso but		(i) (ii) (iii)	ed copy of as-builts / plans for: Sanitary sewers		- TO TO TO TO TO TO TO TO TO TO TO TO TO	0	
Rostniked access bud nopplan		(i) (ii) (iii) (iv)	ed copy of as-builts / plans for: Sanitary sewers			0	
Rostniked acceso but noppland required:	L	(i) (ii) (iii) (iv) (v) (v)	ed copy of as-builts / plans for: Sanitary sewers Stormwater sewers Watermains Limited servicing (x 3) Flood protection (x 3)			0	
Restricted access but workland, required.	(p) (q)	(i) (ii) (iv) (iv) (v) (vi) Copy	ed copy of as-builts / plans for: Sanitary sewers				
Rostniked acceso but nopland required:	(p) (q)	(i) (ii) (iii) (iv) (v) (vi) Copy Num on re	ed copy of as-builts / plans for: Sanitary sewers				

. *					~			NIA	Correct	Not Correct	86 A
		(ii)	Uncomple Green*					5			728 728
. ((s)	Priva	ite drainage	e redirecte	d (check F	R/C cond	(itions)				K
		(i)	As-built pl					1			* \$
		(ii)	CCC issue	ed for redir	rection			ď	/0		1
		(iii)	Building C (request s	ompliance ent = date).				P
The	L.	من م	ر ک. رs	سر ما	ردمسما))	٠. ١٠٠٠	7	22 l	وسيسك	ა ქ გა
			3-6	حسنة ا		7,2	7, 13	۱ – 05 سر -	- C		
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			**					•			

blue 23/5/00



Building & Resource Services

	Private Bag 76917
Tax	Manukau City
To:	New Zeeland
Attention:	OX EPT5557
Fax No:	. Fax (09) 252-5153
From:	Email: @manukau.govl.nz
Date:	No of Pages:
Thank you for your application for the S.224 Engine	ering / Bond release for SP / XL at
Could you please supply the information to the Fattention of the undersigned so that the Compliance application:	Resource Compliance Team marked for the Team can undertake the processing of your
Certified as-builts of the engineering works	Engineering Completion Certificate
Quality Asset Management forms for the engineering works (QAM)	Approved Licensed Contractor forms (ALC)
Confirmation from Power, Telecom and Gas re supply	Overland flowpath easement plans and as-builts
Tax Barter Invoice	Foundation Completion Report
LT plans / numbers and survey sheets which show co-ordinates	Schedule of works to be bonded
Right of entry release(s)	Certificate(s) of Title
Completed legal request form (as attached)	Other (as specified on attached sheet)
Please Note:	•
 All as-built plans of drainage works, QAM an officer from Manukau Water before the S.224 	id ALC forms require the signature of a field Engineering / Bond release can be issued.
(2) Upon receipt of the above, processing of your	release can be completed.
Name: Title:	
BUILDING & RESOU	
Level 4, Kotuk	u House

The material in this massage is confidential to the addressee. If the reader is not the intended recipient, please note that you All may not use any material in this massage not pass it on to others. Please notify us aromptly of your having received this massage and return it to us uncopied.

FAXED



MANUKAU

City Council

		•		<u> </u>
To: Wood	e Partners			Private Seg 76917
	10.	110001		Manukau City
Attention: John	Gardines / Do	. 47000.		New Zealand
Fax No: 375	3238			DX EPT555 1
_				Fax (09) 262-5153
From: Char	otte			Email: @manukau.govt.nz
Date: 27/6/6	50	No of Pages:	Z .	
Subject:	DOCUMENTA	TION RELEASE		•
Dear Sir	/22/	5/2 7		m
Your application for th	e release of XL/SP 6326	3769 C 1 (\$224	(/E ngineering	#Bond/Land (ranster Platt)
At 47	14 East Tamas	4: Road 1	Su Han_	East)
	Dannemora H			
For	from the Customer Centre, Grou	and Flood Kotuku Hou	SA UDOD DAV	ment of the amount set out
payment can be forwa	er Centre is open weekdays b orded to Resource Compliance, i ocuments to your office.	etween the hours of Manukau City Council,	Private Bag	76-917, Manukau City. We
Resource Compliant Account No	ce Fee (see attached invoice)			s 4645·31
Reserve Contributio		- -		s 508 551.13
_ , , , , , , , , , , ,	999 9430 D. <u>/6 7 3 4</u>	_		\$ 247,824.22
Roading Contributio Account No. 09	n 999 9832 0 <u>/6734</u> ≸ °	98,354.02 -\$	149,470.2	o V
Wastewater Contribu	tions	-		\$ <u>6,861.19</u>
Account No. 09 Stormwater Contribu	999 0934 D <u>/6734</u>	<u> </u>		\$ 52 358.21
	999 0922 D <u>/6734</u>	_		·
Water Quality Contri				s 68, 348. 25
Discharge Levy	999 9846 D <u>/6 73 4</u>	_		\$ <u>2 73/./\$</u>
Account No. 0	999 9817 D <u>16734</u>	_		+ 74 ROO DO
Bonds/Refundable of Account No. 0	leposits 999 8124 D. <u>【 6 7 3 4 </u>	9,800 (\$25,	000	s <u>34, 800. oc</u>
Plan Certification Fe	se	<u>-</u>		S
Account No. 3	420 1271 D	<u> </u>		€.
				\$·
Account No. 3 Other	420 1271 O			s 926,119.46
Account No. 3 Other TOTAL-TO PAY	420 1271 0	EQUE I ANTONS		
Account No. 3 Other TOTAL-TO PAY Please note that the	BY BANK CHE	EQUE / ATPOS ased until full payme	ni has been	
Account No. 3 Other TOTAL-TO PAY Please note that the	420 1271 0	EQUE / ATPOS ased until full payme	ni has been ve	
Account No. 3 Other TOTAL-TO PAY Please note that the	BY BANK CHE	EQUE / ATPOS ased until full payme	nt has been ve	
Account No. 3 Other TOTAL-TO PAY Please note that the	BY BANK CHE	EQUE / ATPOS ased until full payme	nt has been ve	received If you have an

Charlons Dundass
Team Leader - Resource Compliance ENVIRONMENTAL SERVICES

Environmental Services

All the material in this message is confidential to the addressee. If the reader is not the intended recroient please note that you may not use any material in this massage not pass it on to others. Please notify us promotly of your naving received this massage and return it to us uncopied

Environmental Services

15 June 2000

Wood and Partners Consultants Ltd Registered Surveyors PO Box 6752 AUCKLAND

Attention:

John Gardiner

Dear Sir

Proposal

15173 (16734)

Site:

474 East Tamaki Road, East Tamaki

Applicant:

Dannemora Holdings Ltd and Fulton Hogan Ltd

Please find enclosed the subdivision plan for the above property, which has been approved under Section 223 of the Resource Management Act and executed accordingly by the Council.

Also enclosed is the following documentation for Land Transfer Plan 201577 for the above subdivision, which have been approved pursuant to the Resource Management Act by the Council.

Section 224(c) Certificate
Section 221 Consent Notice
Section 243 Certificate – Partial cancellation of underlying right of way

Yours faithfully

Team Leader - Resource Compliance RESOURCE CONSENTS & COMPLIANCE

IN THE MATTER

of the

Resource

Management Act 1991

AND

IN THE MATTER

of a subdivision of land in the North Auckland Land Registration District

shown on DP 201577

CONSENT NOTICE

PURSUANT TO SECTION 221 OF THE ACT

I hereby certify that THE MANUKAU CITY COUNCIL granted its consent to the subdivision of Part Lot 9, Lot 10, Part Lot 11, Lots 12, 13, 14, Part Lot 15, Lots 17, 18, 19 and 20 DP 615, Part Lot 16 DP 23052 and Lot 1 DP 186474 shown on DP 201577 subject to conditions, including the requirement that the owners of Lots 1, 3 – 27, 97 – 107, 109, 117 – 132, 148 and 149 DP 201577 comply with the following conditions on a continuing basis at no cost to the Council.

CONDITION 15 - Lots 3 - 27, 97 - 103, 117 - 132, 148 and 149 DP 201577

Minimum floor level restrictions are required for buildings on Lots 3 – 27, 97 – 103, 117 – 132, 148 and 149 DP 201577 mitigate the effects of the 1% AEP flood. Levels are in terms of Lands and Survey Auckland Datum 1946 and are in accordance with Wood & Partners Consultants Ltd plan reference 3521/1 dated 19 April 2000 (copy attached). Levels may be varied. Any variation is to be in terms of specific engineering design and approved by the Council in terms of the parameters contained in the Council's District Plan. Levels are as follows:-

Lot "#"	Minimum	Lot "#"	Minimum
DP201577	Floor Level	DP201577	Floor Level
Lot 3	23.00m	Lot 98	25.75m
Lot 4	22.85m	Lot 99	23.89m
Lot 5	22.74m	Lot 102	26.35m
Lot 6	22.60m	Lot 103	26.35m
Lot 7	22.50m	Lot 117	22.79m
Lot 8	22.35m	Lot 118	22.95m
Lot 9	21.85m	Lot 119	23.11m
Lot 10	21.75m	Lot 120	23.27m_
Lot 11	21.75m	Lot 121	23.47m
Lot 16	21.75m	Lot 122	23.58m
Lot 17	21.75m	Lot 124	23.63m
Lot 18	21.75m	Lot 125	23.63m
Lot 19	21.80m	Lot 126	23.35m

Lot "#"	Minimum	Lot "#"	Minimum
DP201577	Floor Level	DP201577	Floor Level
Lot 20	21.90m	Lot 127	23.20m
Lot 21	22.00m	Lot 128	23.03m
Lot 22	22.06m	Lot 129	22.83m
Lot 23	22.20m	Lot 130	22.71m
Lot 24	22.30m	Lot 131	22.60m
Lot 25	22.40m	Lot 132	22.48m
Lot 26	22.50m	Lot 148	24.18m
Lot 27	22.62m	Lot 149	24.03m
Lot 97	25.75m		

CONDITION 16 - Lots 17, 18, 97, 98, 102 and 103 DP 201577

Minimum floor level restrictions are required for buildings on Lots 97, 98, 102 and 103 DP 201577 to mitigate the effects of the 1% AEP flood contained within the adjacent overland flowpath. Levels are in terms of Lands and Survey Auckland Datum 1946 and are in accordance with Wood & Partners Consultants Ltd overland flowpaths asbuilt plan sheets 1 and 2 referenced 3521/E1 dated 22 May 2000 (copies attached). Levels may be varied. Any variation is to be in terms of specific engineering design and approved by the Council in terms of the parameters contained in the Council's District Plan. Levels are as follows:-

Lot '#' DP 201577	Minimum Floor Level	Lot '#' DP 201577	Minimum Floor Level
Lot 17	21.75m	Lot 102	26.35m
Lot 18	21.75m	Lot 103	26.35m
Lot 97	25.75m		
Lot 98	25.75m		

CONDITION 19 - Lots 1, 12 - 22, 104 - 107 and 109 DP 201577

No access shall be permitted from the following lots to the adjoining arterial roads.

Lots 1, 12 – 15 and 109 DP 201577

Lots 15 – 22 DP 201577

Lots 104 – 107 DP 201577

Smales Road

Ti Iriranga Drive

Chapel Road

Dated at Manukau City this 15 day of June 2000

Authenticated by the Council by the Principal Administrative Officer of the Council pursuant to Section 252 of the Local Government Act 1974



MANUKAU CITY COUNCIL

CERTIFICATE OF LOCAL AUTHORITY UNDER SECTION 224 (C) OF THE RESOURCE MANAGEMENT ACT 1991

L.T.P. 201577

S.P. 6326A

Pursuant to Section 224 (C) of the Resource Management Act 1991 I hereby certify that all of the conditions except conditions 15, 16 and 19 of the subdivision consent have been complied with to the satisfaction of the Manukau City Council and A CONSENT NOTICE HAS BEEN ISSUED in respect of conditions 15, 16 and 19 of the said consent.

DATED at Manukau this 15th day of June 2000

C R Dundass

Authorised Officer Under Delegated Authority

MANUKAU CITY COUNCIL

RESOLUTION OF LOCAL AUTHORITY UNDER SECTION 243 OF THE RESOURCE MANAGEMENT ACT 1991

DP 201577

THE MANUKAU CITY COUNCIL hereby resolves that the right of way easement labelled B.506045.2 on DP 103253 may be partially surrendered in respect of Lots 1 – 27, 97 – 100, 102 – 135, 148, 149, 1000 and 1001 DP 201577 and accordingly revokes in part in respect to Lots 12, 13, 14, 17, 18, 19 and Part 11 DP 615 pursuant to Section 243 of the Resource Management Act 1991 its condition of approval of DP 103253 which required the granting or reserving of that right of way easement.

Dated at Manukau this 15th day of June 2000

C R Dundass

Authorised signatory under delegated authority

MANUKAU CITY SERVICES KOTUKU HOUSE

INTER-OFFICE MEMO

SP No

SP 6326A

DATE

06 June 2000

FROM

Resource Compliance

TO

Operations Manager - Water & Drainage, ETD - Attn: Simon Porter

Manager - Reserves Services, ETD - Attn: Brett McDougall Business Manager - Property Services - Attn: Jon Muston

Area Engineer - Roading & Waste Services - Attn: Graham Smith

Waste Services officer - Roading & Waste Services - Attn: Sue Hamilton Roading Engineer - Roading & Waste Services - Attn: Max Hamilton Water Works Supervision - Excell Corporation, ETC - Attn: Brian King

MAINTENANCE RESPONSIBILITY FOR STREETS, SERVICES AND RESERVES

This memorandum is to advise that streets, services and reserves in the subdivision being carried out by DANNEMORE HOLDINGS LTD & FULTON HOGAN LTD,

at

474 EAST TAMAKI ROAD, EAST TAMAKI (SUTTON EAST BLOCK STAGE 1)

and shown on the attached plan have been accepted by Council and are under bond. The bond expiry dates are 1/9/2000 and 1/6/2001 and relate to uncompleted roading works being: completion of footpaths, berms, street and reserve planting and overland flowpath intakes, construction of overland flowpaths, topsoiling of islands and bunds, remedial works on 1500dia sw line, clean out of cesspits, replacement of watermain surface box and upgrade of Chapel Road frontage.

Tram Leader - Resource Compliance
BUILDING & RESOURCE SERVICES

Encl

IN YOUR REPLY PLEASE REFER TO Rachrel Treston (EXT 5865)

MANUKAU CITY COUNCIL

ENVIRONMENTAL SERVICES

Internal Memo

TO

.

Stephanie Lalich

FROM

Rachel Treston

DATE

15 June 2000

FILE

SP 6326A, Proposal 15173

50040

SUBJECT:

Barter Tax Invoice

Can you please prepare a barter tax invoice for the above job. A copy of the subdividers tax invoice is attached. The 224c certificate will be dated with today's date. Please date the invoice with todays date also. Thanks

Rachel

SUBDIVIDER'/DEVELOPERS' TAX INVOICE

SUTTON EAST STAGE 1 SP 6326

Company Name:

Fulton Hogan Holdings Limited and

Dannemora Holdings Limited

Address:

C/- Private Bag 11-900, Ellerslie, Auckland

GST Number:

60-319-138

Date:

April 2000

Issued To:

Manukau City Council

DR To:

Partnership of Fulton Hogan Holdings Ltd and

Dannemora Holdings Ltd (Subdivider/Developer)

For barter with

Manukau City Council of Roading, Drainage and

Watermain included in SP 6326 Stage 1 Sutton

Subdivision/Development at:

(location)

Lots 1-27, 97-100, 102-135, 148, 149, 1000-1006 DP

201577

L.T. Number(s):

Land to Vest as Roads

Accessways & Reserves:

18776 m² @ \$20/m²

\$375,520.00 (incl GST)

Construction Cost:

243,762.00 Carriageway 162,210.00 Concrete Works 176,772.00 Sanitary Sewer Stormwater 332,324.00 95,952.00 Water Reticulation

1,011,020.00

Plus GST

126,377.50

\$1,137,397.50 (incl GST)

TOTAL

\$1,512,917.50 (incl GST)

N.B. G.S.T. comprises 1/sth of the above total

MANUKAU CITY SERVICES KOTUKU HOUSE

Page 1 of 1 Issue 3

INTER-OFFICE MEMO

TO:

GIS Officer

SP No.:

6326A

FROM:

Resource Compliance - Sue Healy

DATE:

08/06/00

ATTENTION:

Myles

LTP No.:

201577

It will now be in order to update Ward Centre cadastral and service sheets as the subdivision has now been completed.

Authorisation has been forwarded to the Building inspectors for building/drainage consents.

C R Dundass

Team Leader - Resource Compliance

RESOURCE CONSENTS & COMPLIANCE

INTER OFFICE MEMO

FROM:

Manager Compliance

SP

TO:

Manager Building Consent

DATE

15/06/00

ATTENTION LARGE RESIDENTIAL TEAM

RE:

Survey Plan for SP 6326A

Subdividers Name: Dannemora/Fulton Hogan, 474 East Tamaki Road, Otara

L.T.P No

201577

I attach a copy of survey plan(s) for SP 6326A

on which all conditions of scheme plan approval have been complied with and it will now be in order to issue building/drainage permits subject to your usual requirements.

LAND INFORMATION REGISTER

Withhold from Sale - Lots 102 and 103 DP 201577

As detailed in the letter from Fulton Hogan Auckland dated 3 March 2000, Lots 102 and 103 DP 201577 shall not be offered for sale until such time as Chapel Road is upgraded as required by the resource consent SP 6326A (works currently subject to a works bond – expiry 1/6/2001).

Deep Drainage Lines - Lots 3 - 6, 10, 16, 17, 27 and 130 - 132 DP 201577

The trench backfill over the deep stormwater lines traversing Lots 3 - 6, 10, 16, 17, 27 and 130 - 132 DP 201577 has been compacted to the required residential fill standard and is suitable for the construction of residential dwellings complying with NZS 3604.

Consent Notice Minimum Floor Levels – Lots 3 – 27, 97 – 103, 117 – 132, 148 and 149 DP 201577

Minimum floor level restrictions are required for buildings on Lots 3 – 27, 97 – 103, 117 – 132, 148 and 149 DP 201577 mitigate the effects of the 1% AEP flood. Levels are in terms of Lands and Survey Auckland Datum 1946 and are in accordance with Wood & Partners Consultants Ltd plan reference 3521/1 dated 19 April 2000 (copy attached). Levels may be varied. Any variation is to be in terms of specific engineering design and approved by the Council in terms of the parameters contained in the Council's District Plan. Levels are as follows:-

Lot "#" DP201577	Minimum Floor Level	Lot "#" DP201577	Minimum Floor Level
Lot 3	23.00m	Lot 98	25.75m
Lot 4	22.85m	Lot 99	23.89m
Lot 5	22.74m	Lot 102	26.35m
Lot 6	22.60m	Lot 103	26.35m
Lot 7	22.50m	Lot 117	22.79m
Lot 8	22.35m	Lot 118	22.95m
Lot 9	21.85m	Lot 119	23.11m

Lot "#"	Minimum	Lot "#"	Minimum
DP201577	Floor Level	DP201577	Floor Level
Lot 10	21.75m	Lot 120	23.27m
Lot 11	21.75m	Lot 121	23.47m
Lot 16	21.75m	Lot 122	23.58m
Lot 17	21.75m	Lot 124	23.63m
Lot 18	21.75m	Lot 125	23.63m
Lot 19	21.80m	Lot 126	23.35m
Lot 20	21.90m	Lot 127	23.20m
Lot 21	22.00m	Lot 128	23.03m
Lot 22	22.06m	Lot 129	22.83m
Lot 23	22.20m	Lot 130	22.71m
Lot 24	22.30m	Lot 131	22.60m
Lot 25	22.40m	Lot 132	22.48m
Lot 26	22.50m	Lot 148	24.18m
Lot 27	22.62m	Lot 149	24.03m
Lot 97	25.75m		

Consent Notice - Minimum Floor Levels - Lots 17, 18, 97, 98, 102 and 103 DP 201577

Minimum floor level restrictions are required for buildings on Lots 97, 98, 102 and 103 DP 201577 to mitigate the effects of the 1% AEP flood contained within the adjacent overland flowpath. Levels are in terms of Lands and Survey Auckland Datum 1946 and are in accordance with Wood & Partners Consultants Ltd overland flowpaths asbuilt plan sheets 1 and 2 referenced 3521/E1 dated 22 May 2000 (copies attached). Levels may be varied. Any variation is to be in terms of specific engineering design and approved by the Council in terms of the parameters contained in the Council's District Plan. Levels are as follows:-

Lot '#' DP 201577	Minimum Floor	Lot '#' DP 201577	Minimum Floor
	Level		Level
Lot 17	21.75m	Lot 102	26.35m
Lot 18	21.75m	Lot 103	26.35m
Lot 97	25.75m		
Lot 98	25.75m		

Consent Notice - Restricted Access - Lots 1, 12 - 22, 104 - 107 and 109 DP 201577

No access shall be permitted from the following lots to the adjoining arterial roads.

Lots 1, 12 – 15 and 109 DP 201577

77 Smales Road

Lots 15 – 22 DP 201577

Ti Iriranga Drive

Lots 104 – 107 DP 201577

Chapel Road

Foundations - Lots 1 - 27, 97 - 100, 102 - 135, 148 and 149

That conventional shallow and strip footings are to be founded at a minimum depth of 450mm below cleared platform levels (ie 450mm below the base of topsoil)

R Dundass

Leam Leader - Resource Compliance

RESOURCE CONSENTS & COMPLIANCE

LAND INFORMATION REGISTER

SP 6326A

DP NO: 201577

LOTS: 1-27, 97-100, 102-135, 148 & 149

ROAD: 474 East Tamaki Road

WARD: Otara

FILE REF: SP 6326A

FILE REG NO: C 2129

INSTRUCTIONS:

Please transfer the existing LIR notation, detail 13052, recorded against Pt Lot 15 DP 615 to Lot 108 DP 201577 only.

Withhold from Sale - Lots 102 and 103 DP 201577

As detailed in the letter from Fulton Hogan Auckland dated 3 March 2000, Lots 102 and 103 DP 201577 shall not be offered for sale until such time as Chapel Road is upgraded as required by the resource consent SP 6326A (works currently subject to a works bond – expiry 1/6/2001). (refer letter of undertaking from Fulton Hogan Auckland dated 3 March 2000)

Deep Drainage Lines - Lots 3 - 6, 10, 16, 17, 27 and 130 - 132 DP 201577

The trench backfill over the deep stormwater lines traversing Lots 3 – 6, 10, 16, 17, 27 and 130 – 132 DP 201577 has been compacted to the required residential fill standard and is suitable for the construction of residential dwellings complying with NZS 3604. (refer Harrison Grierson Consultants Ltd Foundation Completion Report dated April 2000 referenced 08.09261.5A and Addendum dated 8 June 2000 reference 08.09261.5)

<u>Consent Notice Minimum Floor Levels – Lots 3 – 27, 97 – 103, 117 – 132, 148 and 149</u> DP 201577

Minimum floor level restrictions are required for buildings on Lots 3 – 27, 97 – 103, 117 – 132, 148 and 149 DP 201577 mitigate the effects of the 1% AEP flood. Levels are in terms of Lands and Survey Auckland Datum 1946 and are in accordance with Wood & Partners Consultants Ltd plan reference 3521/1 dated 19 April 2000 (copy attached). Levels may be varied. Any variation is to be in terms of specific engineering design and approved by the Council in terms of the parameters contained in the Council's District Plan. Levels are as follows:-

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Lot 7	22.50m	Lot 117	22.79m
Lot 8	22.35m	Lot 118	22.95m
Lot 9	21.85m	Lot 119	23.11m
Lot 10	21.75m	Lot 120	23.27m
Lot 11	21.75m	Lot 121	23.47m
Lot 16	21.75m	Lot 122	23.58m

Lot "#"	Minimum	Lot "#"	Minimum
DP201577	Floor Level	DP201577	Floor Level
Lot 17	21.75m	Lot 124	23.63m
Lot 18	21.75m	Lot 125	23.63m
Lot 19	21.80m	Lot 126	23.35m
Lot 20	21.90m	Lot 127	23.20m
Lot 21	22.00m	Lot 128	23.03m
Lot 22	22.06m	Lot 129	22.83m
Lot 23	22.20m	Lot 130	22.71m
Lot 24	22.30m	Lot 131	22.60m
Lot 25	22.40m	Lot 132	22.48m
Lot 26	22.50m	Lot 148	24.18m
Lot 27	22.62m	Lot 149	24.03m
Lot 97	25.75m		

(refer copy MCC consents dated 1 December 1999 and 18 April 2000, Wood and Partners Consultants Ltd asbuilt minimum floor levles plan referenced 3521/1 dated 19 April 2000)

Consent Notice - Minimum Floor Levels - Lots 17, 18, 97, 98, 102 and 103 DP 201577

Minimum floor level restrictions are required for buildings on Lots 97, 98, 102 and 103 DP 201577 to mitigate the effects of the 1% AEP flood contained within the adjacent overland flowpath. Levels are in terms of Lands and Survey Auckland Datum 1946 and are in accordance with Wood & Partners Consultants Ltd overland flowpaths asbuilt plan sheets 1 and 2 referenced 3521/E1 dated 22 May 2000 (copies attached). Levels may be varied. Any variation is to be in terms of specific engineering design and approved by the Council in terms of the parameters contained in the Council's District Plan. Levels are as follows:-

Lot '#" DP 201577	Minimum Floor	Lot '#" DP 201577	Minimum Floor
	Level		Level
Lot 17	21.75m	Lot 102	26.35m
Lot 18	21.75m	Lot 103	26.35m
Lot 97	25.75m		
Lot 98	25.75m		

(refer copy MCC consents dated 1 December 1999 and 18 April 2000 and Wood and Partners Consultants Ltd overland flowpaths asbuilt plan sheets 1 and 2 referenced 3521/E1 dated 22 May 2000)

Consent Notice – Restricted Access – Lots 1, 12 – 22, 104 – 107 and 109 DP 201577 No access shall be permitted from the following lots to the adjoining arterial roads.

Lots 1, 12 – 15 and 109 DP 201577

Lots 15 – 22 DP 201577 Lots 104 – 107 DP 201577 Smales Road

Ti Iriranga Drive

Chapel Road

(refer copy MCC consents dated 1 December 1999 and 18 April 2000)

Foundations – Lots 1-27, 97-100, 102-135, 148 and 149That conventional shallow and strip footings are to be founded at a minimum depth of 450mm below cleared platform levels (ie 450mm below the base of topsoil)

(refer copy Harrison Grierson Consultants Ltd Foundation Completion Report dated April 2000 referenced 08.09261.5A and Addendum dated 8 June 2000 reference 08.09261.5)

Date: 276/ SIGNED FOR MNG - RESOURCE CONSENT	S & COMPLIANCE:
ENTERED ON DATABASE:	Date:
DI OTTED.	Dotor



TAX INVOICE

20364

Private Bag 76917

Manukau City

New Zealand

DX EP75557

Customer No 002253

16/06/2000

Ph 09 263 7100 Fax 09 262 5151

Cust Order

www.manukau.govt.nz

Our Ref

Date

50040.

GST NUMBER 51-963-660

	Description	G/L Code		Qty	Price	Net
R99 R99 R99 R99	Carriageway Concrete Works Sanitary Sewer Stormwater Water Reticulation Land to Vest	3420 1257.D15173 3420 1257.D15173 3420 1257.D15173 3420 1257.D15173 3420 1257.D15173 3420 1257.D15173	EACH EACH EACH EACH EACH EACH	1.00 1.00 1.00 1.00	162210.0 176772.0 332324.0 95952.00	243762.00 162210.00 176772.00 332324.00 95952.00 333795.56

Barter Tax Invoice

Fulton Hogan Holdings Ltd

Private Bag 11900

Ellerslie

50040 B15173/82 - Sutton East Stage One SP6326 Lots 1/27, 97-100, 102-135, 148, 149, 1000/1006 DP201577 Barter Tax Invoice

SUB TOTAL 1344815.56 G.S.T. 168101.94

TOTAL 1512917.50



TAX INVOICE

20405

Private Bag 76917

Manukau City

New Zealand

DX EP75557

Fax 09 262 5151

www.manukau.govt.nz

Date

22/06/2000 Customer No 001416

Ph 09 263 7100

Dannemora Holdings Ltd & Fulton Hogan Ltd Private Bag 11900, Ellerslie

Attn: Harold Joyce

Our Ref

Cust Order

34191

GST NUMBER 51-963-660

Description	G/L Code		Qty	Price	Net
B08 Processing Release R45 Site Visits R70 Customer Liaison R90 Documentation S50 Disbursements SPA Administration Fee	3420 1250.D15173	HRS	21.40	84.80	1814.93
	3420 1250.D15173	HRS	20.50	78.73	1613.97
	3420 1250.D15173	HRS	2.70	90.00	243.00
	3420 1250.D15173	HRS	0.60	79.16	47.50
	3420 1250.D15173	EACH	413.00	0.75	309.75
	3420 1250.D15173	EACH	1.00	100.00	100.00

Resource Compliance Fees for Subdivision Release - 224(C) Stage One

> 4129.15 SUB TOTAL 516.16

4645.31

G.S.T. TOTAL

34191 P15173/82 - 474 East Tamaki Rd Subdivision - 117 lot residential subdivision Sutton East Stage One and Two (SP6326)

Manukau City Council Job Sales Edit List - (FINAL)

Page 2

Sales Receipt

Total Internal

Costs Sales

82, Subdivisions

Employee

ı

Customer 001416 Dannemora Holdings Ltd &

P15173/82 - 474 East Tamaki Rd

Internal

Subdivision - 117 lot

residential subdivision

Sutton East

Stage One and Two

(596326)

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Manukau City Council

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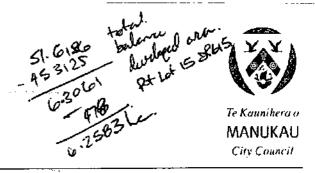
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Environmental Services

1 December 1999

Manukau Criy New Zealand DX EP75557 Ph 09 263 7100 Fax 09 262 5151 www.manukau.govl.nz

Private Bag 76917

Wood and Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

DECISION ON AN APPLICATION FOR A SUBDIVISION RESOURCE CONSENT

Applicant:

Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1)

and 2)

Application:

Resource Consent for Subdivision of the existing three parcels comprised

in Certificates of Title 55A/1478, 43A/930 and 129/12 into 117 fee simple

lots in 2 stages (Controlled Activity)

Location:

474 East Tamaki Road, East Tamaki

MCC Reference:

SP6326 (Proposal No. 15173)

Legal Description:

Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Zone:

Future Development Stage 1 (Operative Manukau District Plan)

Main Residential (Proposed Manukau District Plan)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non-complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Controlled Activity pursuant to the provision of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

 That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.

STAGE 1 - Residential Lots 1-26, 97-100, 102-135, 148 and 149 (66 Residential lots)

2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326, Proposal 15173 Direct Dial: 262-8900, extn 5874 Enquiries to: Mike Pritchard Direct Facsimile: 262-5168

- (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- 3. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- (a) All new roads and accessways shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of
 the property frontage, the logical position of the vehicle crossing has been
 predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 1 with Smales Road, including construction of footpaths and berms.
 - (d) The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road.
 - (e) All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
 - Road upgrading works shall be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

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Engineering design plans for these works shall be submitted for approval by the Manager – Resource Consents & Compliance.

 All traffic signs and markings shall be installed in accordance with the "Transity NZ Manual".

 A comprehensive stormwater discharge levy (FC45) of \$2,731.15 including GST shall to perbe paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 ± GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

7. A stormwater treatment-contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$52,358.21 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

\$8. A wastewater contribution of \$6,861.19 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 1 of 5.9212 ha. (Smales Road Sewer - REF FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

 9. A Water Supply Contribution of:\$68,348.25 including GST shall be paid to Manukau City Council.

The current contribution rate shall be adjusted annually until paid based on the previous years' Opus Construction Cost Index (or equivalent).

The applicant is advised that this contribution is based on \$120.00 + GST per lineal meter on Smales Road and East Tamaki Road frontages – 540m (340m and 200 m on Smales Road and East Tamaki Road respectively) less \$4046 +GST being the cost of the physical works (170m of 50 mm diameter at \$23.80 per linear metre), the applicant has proposed to carry out on East Tamaki Road frontage. (Reference Wood and Partner's facsimile dated 22/10/99) (Water Supply Road Frontage -Ref. FC5).

- A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 22, including the length of frontage to ETCART of lots 15, 16, 17, 201, 18, 19, 20, 21, and 22.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

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113-97. From the projected western boundary of lot boundary of Lot 1 including the length of front 13, 12 and 1. From the projected western projected eastern boundary of Lot 108 includi-Road of lots 115, 114, 113, 112, 111, 110, 10

This contribution has been assessed at \$4 frontage. This contribution has been adjuste 4(d).

Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.

- Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
- Satisfactory arrangements shall be put in place to confirm a continued electrical (b) supply.
- Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required/ to service the subdivision.
- The existing overhead services located along the Chapel Road frontage shall be relocated underground unless advice has been received from the relevant utility, operators confirming that either:
 - They are prepared to relocate the services underground and the (i) arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - They are not prepared to consider underground services in the area due to/ (ii) certain circumstances acceptable to the Council.

Street lighting facilities shall be supplied and installed on all new roads, Smales Road and Chapel Road in accordance with Chapters 7 and 9 of the District Plan and the MANARC Standards.

The following minimum floor level restrictions or site development constraints 15. (a) mitigate the effects of the estimated 1% AEP flood as identified by the application are to be established. amended .

	Lot	Minimum Floor Level	Comment
	3	23.00	
	4	22.85	
	5	22.74	
	6	22.60	
	7	22.50 .	
	8	22.35	
	9	21.85	
	10	21.75	
	11	21.75 .	
	16	21.75	
	17	21.75	
	18	21.75	
	19	21.80	
	20	21.90	
	21	22.00 .	
	22	22.06	
	23	22.20	
	24	22.30	
	25	22.40	
	26	22.50	Unit facing Road 4
ļ	28 27	22.62	Unit facing Road 1
	97 '	25.75	
	98	25.75 .	
	/ 99	23.89	_
	102	26.35 ·	
'	103 117	26.35 <i>-</i> 22.79 ·	
	118	22.79	A FILE VALUE
- 1	119	23.11	10,000
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-	121	23.47	8 4 2000
	122	23.58	
	124	23.63 ·	
ł	125	23.63 ·	
Ì	126	23.35	
Ì	127	23.20 -	
Ì	128	23.03	
Ì	129	22.83 ·	
ļ	130	22.71	
Ī	131	22.60	
	132	22.48 ·	
Ì	148	24.18	
1	149	24.03 •	
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All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

(b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing. (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

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Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

16. (a) As Lots 97 and 102 are subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents shall be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

(b) The following minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for those lots adjoining this flow path have been resolved with the Council.

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Lot	Minimum Floor Level
97	25.75
98	25.75
102	26.35
· 103	26.35

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

(c) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing or in accordance with specific design, in terms of the parameters in the District Plan and approved by the Council's Manager - Consents & Compliance

This condition shall be complied with on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act.

17. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

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still rudt complete cis co regnet no different The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall

either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- Prior to commencement of construction works, an environmental management 18. (a) plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - the method of dust control
 - the method of vegetation disposal (burning not permitted) (ii)
 - identification of any noxious plants (iii)
 - the method of noise control so demonstrating compliance with the (iv) requirements of Rule 5.18.3.6 of the Proposed District Plan
 - the level of monitoring and recording of any problems or complaints and the (v) mitigating measures taken.
 - The applicant shall provide details of the level of communication with neighbouring (b) property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.
 - Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)						
PERIOD	Monday - Saturday			Sunday and Public Holidays			
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}	
0700-1800	60	75	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	₂ 65	

The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."

1004 1002 \$ 1003. Lots 401 to 403 shall be vested as Road and planted at no cost to Council. A landscape 19. planting plan shall be submitted to the satisfaction and approval of the Manager/ Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 401 to 403 to prevent any access from the relevant lots to the adjoining arterial roads.

- Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and √ one Certificate of Title issued to include both parcels (District Land Registrar Ref shoon as A.634788).
- 21. (a) Lot 501 shall be vested as road in the Manukau City Council.
 - Lot 201 and 202 shall be vested as Local Purpose (Accessway) in the Manukau City Council and constructed and fenced in accordance with the approved drawings referenced E7/15173 by Council.
- 450855113. A reserves contribution of \$501,984:00 (including GST) being 6% (plus GST) of 64/65 x the aggregate assessed current market value of Lots 1-26, 97-100, 102-107, 109-135, 148 and 149 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 1 of the subdivision, whichever is the sooner.

- 23. All lots shall comply with the subdivisional requirements of the District Plan.
- 24. Full legal and physical access shall be provided to all lots (including provision of service prior to the issue of the 224 certificate for each stage of the subdivision.
- 25. Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - a contract for all other works shall be let and construction commenced; and (b)

DR201577 All conditions shall be fully complied with the Land Transfer plan number notified to the Council and accopy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 204 of the Act.

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STAGE 2 - Residential Lots 27-51, 53-58, 85-90, 96 and 136-147 (50 Residential lots)

All works required to provide access and servicing to Stage 2 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

- All materials, workmanship and testing shall be in accordance with Manukau City (a) Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- All construction work shown on the attached plans shall be supervised by an (b) engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- On completion of work, as-built plans and a completion certificate, in accordance (c) with the Council's Quality Assurance Manual, shall be forwarded to the Council's approved field officer.
- All works on existing sanitary sewers, stormwater and watermains shall be (d) carried out by a Manukau City Council approved licensed contractor at the applicant's expense.

- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- 2. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 3. (a) All new roads shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 2 with ETCART, including construction of footpaths and berms.
 - (d) All activities undertaken in relation to the ETCART route shall be in accordance with the Construction Agreement between the applicant and the Council.
- All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- 5. A comprehensive stormwater discharge levy (FC45) of \$2,167.92 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 2 of 4.7001 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Works Consultancy Construction (or equivalent) Cost Index.

6. A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$41,560.63 including GST shall be paid to the Council.

Ð

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 2 of 4.7001 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

7. A wastewater contribution of \$5,446.24 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 2 of 4.7001 ha. (Smales Road Sewer - Ref FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

- 8. A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of Lot 32, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of Lots 32, 33, 34, 35 and 50. From the projected northern boundary of Lot 51 south to the projected southern boundary of Lot 51.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

 Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- 10. An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 11. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
- 12. Street lighting facilities shall be supplied and installed on all new roads in accordance with Chapters 7 and 9 of the District Plan and the MANARC standards.
- 13. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
27	22.75	
41	22.97	
42	23.05	
43	23.20	
44	23.30	Unit facing Road 1
44	23.38	Unit facing Road 8
58	23.68	
85	23.40	
86	23.30	

Lot	Minimum Floor Level	Comment
139	22.78	
140	22.92	
141	23.00	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of title of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

14. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- 15. (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the

applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.

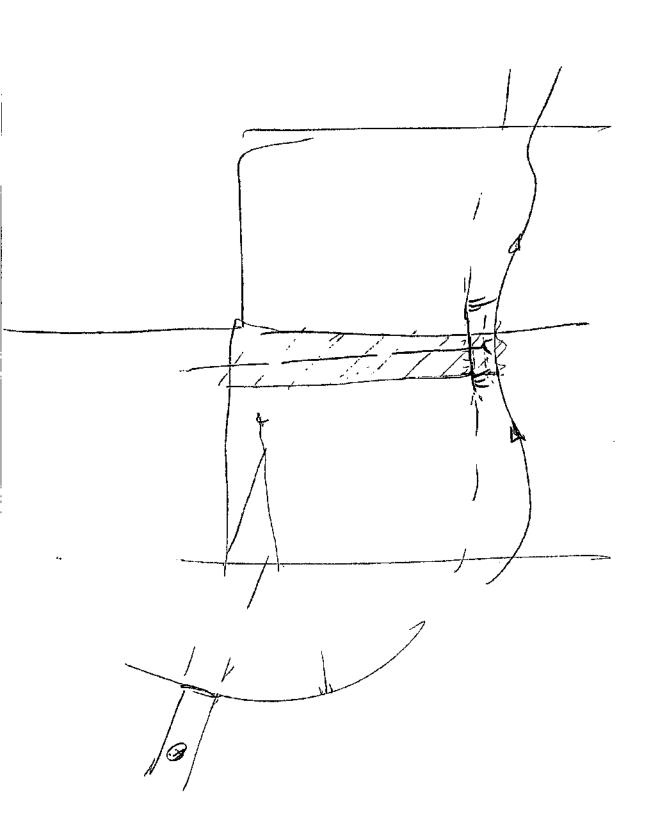
(c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)						
PERIOD	···			Sunday a	nd Public	d Public Holidays	
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}	
0700-1800	60	75	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	65	

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."
- 16. Lot 502 within Stage 2, shall be vested as road in the Manukau City Council and the road shall be formed and sealed across the full frontage of Lot 58.
- 17. Lots 404 to 405 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 404 to 405 to prevent any access from the relevant lots to the adjoining arterial roads.

- 18. A reserves contribution of \$400,410 (including GST) being 6% (plus GST) of the aggregate assessed current market value of Lots 27-51, 53-58, 85-90, 96 and 136-147 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 2 of the subdivision, whichever is the sooner.
- 19. All lots shall comply with the subdivisional requirements of the District Plan including all lots associated with the redesign of the Road 3 cul-de-sac head.
- Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.
- Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and



All conditions shall be fully complied with, Stage 1 (SP6326) shall be completed and released, the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

ADVICE NOTES

The applicant is advised as follows:

- 1. That the Council's Land Information Register will record any consent notices pursuant to Conditions 3(b), 15, 16 and 19 of Stage 1 and conditions 2(b), 13 and 17 of Stage 2.
- 2. The specified minimum floor levels in this consent may be varied by the approval of Council's Manager Resource Consents & Compliance. Any variation required must be requested at the time of the site variation intended (not retrospective) and should include a detailed specific engineering design in accordance with the provisions of the District Plan.
- 3. That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- 4. That it will be the applicant's responsibility to satisfy all requirements of the Inland Revenue Department in respect of Goods and Services Tax including any requirements that may be made in respect of proposed public services and land to vest in the Council. Such requirements must be satisfied before a "Section 224" certificate will be issued.
- 5. The applicant is to liaise with Council regarding the co-ordination of subdivisional constructions works and the construction of ETCART.
- 6. Clause 6.B.6.1 of Council's Engineering Quality Standards Manual (carriageway acceptance) in respect to Council carrying out Benkleman Beam tests at no cost to the developer has been amended to the extent that the cost of this work shall now be borne by the developer.
- 7. That although the proposed lots do not contain any known archaeological sites, it is possible that unrecorded sites may exist on the lots. Pursuant to the Historic Places Act 1993 it is unlawful for any person to destroy, damage or modify an archaeological site unless an authority has been obtained from the NZ Historic Places Trust. Failure to obtain consent may result in a fine of up to \$100,000. The Trust must be consulted prior to development to ensure that the provisions of the Act are observed. Should the applicant, or any subsequent purchaser, uncover an archaeological site during development, the Trust must be consulted.
- 8. Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rates specified in conditions 7 (stage 1) and 6 (stage 2) then these rates will be amended accordingly, if this occurs prior to the Section 224 release.
- Each building/allotment is required to be individually metered for water supply. Please
 note that the application for a water meter is a separate application and the installation
 of a water connection is not part of this consent.

10. The engineering plans for the upgrading of Chapel Road have not been required before granting this resource consent application because the applicant has indicated that arrangements have been made to have this work doe as part of the subdivision works for the property on the eastern side of Chapel Road (Howick Parklands).

Whatever arrangements are made by the applicant for the execution of this work, it must be completed before issue of the 224 certificate.

REASONS FOR DECISION

- 1. The proposal is generally in accordance with the Land Use approval for Concept Subdivision dated 14 September 1999.
- No submissions have been identified against the proposed zoning of the land to Main Residential in the Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- 3. The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau City Transitional District Plan and sections 104, 105 and 405 of the Resource Management Act 1991.
- 4. The proposed subdivision was considered as a controlled activity, as the proposed allotments comply with all relevant requirements of the Transitional and Proposed District Plans.
- 5. All identifiable adverse effects resulting from the development will be avoided, remedied, or mitigated by the provisions in the District Plans and the above conditions of consent.

COSTS

- The deposit of \$562.50 already paid will be deducted from the total costs.
- 2. That in addition to the consent charge for the above subdivision, and further pursuant to Section 36(1)(c) of the Resource Management Act, an engineering administration, compliance and supervision charge, relating to the engineering conditions of the Resource Consent will be applicable together with administration charges relating to the release of the subdivision as fixed by determining all reasonable and actual costs incurred by the Council. The actual charges incurred in the Council's field monitoring of the engineering works will be determined at the completion of works and will be payable prior to release/completion. The applicant will be advised of the charges as they fall due.

OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99)

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

Date 6.12.99 Commencement of 15 Working Days

RE: S 357 RM Act 1991

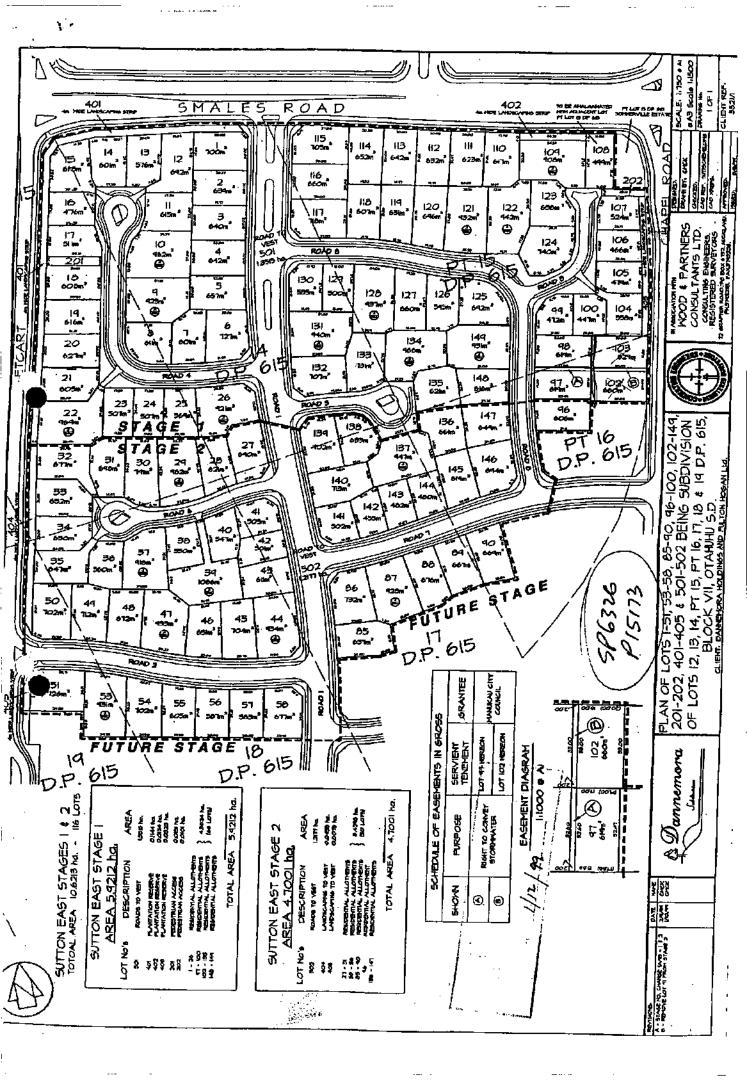
Robert Chieng

Leader - Resource Consents

RESOURCE CONSENTS & COMPLIANCE UNIT

1021

tion in) is to



MANUKAU CITY COUNCIL

ENVIRONMENTAL SERVICES

Internal Memo

TO

.

Stephanie Lalich

FROM

:

Rachel Treston

DATE

15 June 2000

FILE

SP 6326A, Proposal 15173

SUBJECT:

Barter Tax Invoice

Can you please prepare a barter tax invoice for the above job. A copy of the subdividers tax invoice is attached. The 224c certificate will be dated with today's date. Please date the invoice with todays date also. Thanks

Rachel

SUBDIVIDER'/DEVELOPERS' TAX INVOICE

SUTTON EAST STAGE 1 SP 6326

Company Name:

Fulton Hogan Holdings Limited and

Dannemora Holdings Limited

Address:

C/- Private Bag 11-900, Ellerslie, Auckland

GST Number:

60-319-138

Date:

April 2000

issued To:

Manukau City Council

DR To:

Partnership of Fulton Hogan Holdings Ltd and

Dannemora Holdings Ltd (Subdivider/Developer)

For barter with

Manukau City Council of Roading, Drainage and

Watermain included in SP 6326 Stage 1 Sutton

Subdivision/Development at:

(location)

Lots 1-27, 97-100, 102-135, 148, 149, 1000-1006 DP

201577

L.T. Number(s):

Land to Vest as Roads Accessways & Reserves: 18776 m² @ \$20/m²

\$375,520.00 (incl GST)

_ . . _ .

 Construction Cost:

 Carriageway
 243,762.00

 Concrete Works
 162,210.00

 Sanitary Sewer
 176,772.00

 Stormwater
 332,324.00

 Water Reticulation
 95,952.00

1,011,020.00

Plus GST <u>126,377.50</u>

\$1,137,397.50 (incl GST)

TOTAL

\$1,512,917.50 (incl GST)

N.B. G.S.T. comprises 1/9th of the above total

Brookfields LAWYERS

14 June 2000

RECEIVED

15 JUN 2000 M.C.C. (F) CENTRAL REGISTRY Brookfields House 19 Victoria Street West Auckland, New Zealand telephone P.O. Box 240 Auckland 1 +64-9-379 9350

facsimile +64-9-379 3224

Legal Courier: DX CP 24134 Email: law@brookfields.co.nz http://www.brookfields.co.nz

The City Manager Manukau City Council DX EP75557 MANUKAU CITY

ATTENTION: C R Dundass - SP 6326

MANUKAU CITY COUNCIL - FULTON HOGAN LIMITED & DANNE MORA HOLDINGS LIMITED - 474 EAST TAMAKI ROAD - - EASEMENT

Thank you for your instructions of 6 June. We have prepared a Transfer of Grant of Easement in Gross for Overland Flowpath purposes for the solicitor nominated by the applicant.

A draft copy of this is enclosed for your consideration. If your requirements are met, we would be pleased to have your confirmation.

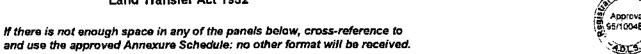
Yours faithfully **BROOKFIELDS**

J M Sheppard

Encl

11 Sargisson

TRANSFER Land Transfer Act 1952



Land Registration District

Certificate of Title No. Al	or Part? Area and legal description – Insert only when part or Stratum, CT
	All
130B 130 A	All
	e <u>underlined</u> or in CAPITALS
FULTON HOGAN LI	MITED and DANNE MORA HOLDINGS LIMITED
ransferee Surnames must b	pe <u>underlined</u> or in CAPITALS
THE MANUKAU CIT	Y COUNCIL at Manukau
•	
Estate or interest or Easern	ent to be created: Insert e.g. Fee simple; Leasehold in Lease No; Right of way etc.
	1000 years from the date of this Transfer for
(continued on Annexu	

Consideration	
	ransferee's conditions for a resource consent required under the Resource
Management Act 1991	
Operative Clause	
Operative Clause For the above consideration	on (receipt of which is acknowledged) the TRANSFEROR TRANSFERS to the TRANSFEREE all the
Operative Clause For the above consideration	on (receipt of which is acknowledged) the TRANSFEROR TRANSFERS to the TRANSFEREE all the erest described above in the land in the above Certificate(s) of Title and if an easement is described
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Poperative Clause For the above consideration transferor's estate and interest above such is granted or consideration. Dated this	on (receipt of which is acknowledged) the TRANSFEROR TRANSFERS to the TRANSFEREE all the erest described above in the land in the above Certificate(s) of Title and if an easement is described reated. day of 2000 Signed in my presence by the Transferor
Poperative Clause For the above consideration transferor's estate and interest above such is granted or consideration. Dated this	on (receipt of which is acknowledged) the TRANSFEROR TRANSFERS to the TRANSFEREE all the erest described above in the land in the above Certificate(s) of Title and if an easement is described reated.
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Operative Clause For the above consideration transferor's estate and interest above such is granted or consideration.	on (receipt of which is acknowledged) the TRANSFEROR TRANSFERS to the TRANSFEREE all the erest described above in the land in the above Certificate(s) of Title and if an easement is described reated. 2000 Signed in my presence by the Transferor Signature of Witness Witness to complete in BLOCK letters (unless typewritten or legibly stamped) Witness name Occupation Address
For the above consideration transferor's estate and interaction above such is granted or common seal of Transferor's estate and interaction above such is granted or common seal of Transferor Common se	on (receipt of which is acknowledged) the TRANSFEROR TRANSFERS to the TRANSFEREE all the erest described above in the land in the above Certificate(s) of Title and if an easement is described reated. 2000 Signed in my presence by the Transferor Signature of Witness Witness to complete in BLOCK letters (unless typewritten or legibly stamped) Witness name Occupation Address

REF: 4135 /2

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Annexure Schedule

TRANSFER Dated Page 1 of 2 Pages Approval Page 1 of 2 Pages

Continuation of Estate or Interest or Easement to be created

The right to drain water in terms of paragraphs 3 and 5 of the Seventh Schedule of the Land Transfer Act 1952 over the Easement Area being those areas shown marked "A" and "B" on Deposited Plan 201577 as varied by the following covenants of the Transferor in favour of the Transferee:

- 1. That the Transferor shall not build, construct, erect or place any building or structure (including any fence or gate) nor deposit any fill or seal on the Easement Area.
- 2. Not to undertake or perform any work or construction (including the creation of carparking or landscaping) on the Easement Area, except as designed and constructed or performed to the satisfaction of the Transferee.
- 3. Not to do or permit any work or allow to remain any circumstances affecting the specific graded invert levels, specific invert levels or profile of the overland flowpath constructed on the Easement Area and as depicted on the engineering diagram appearing on the page of the Annexure Schedule following this.
- To keep the Easement Area clear and free at all times for the drainage of occasional flood waters.
- 5. That paragraph 5 of the Seventh Schedule of the Land Transfer Act 1952 is varied by deleting the words in subparagraph (c) reading: "or where only the position of the pipeline is defined in the easement", and substituting for them the word "and".

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or their solicitors must put their signatures or initials here.

Approved by Registrar-General of Land under No. 1995/5003EF

Anneyure Schedule

	-			
Transfer	Dated		Page 2 of 2	Pages
Insert below <u>"Mortgage", "Transfer", "Lease</u>	etc			10.3
•		Annexure Schedule		Approval

MORTGAGEES CONSENT

being the Mortgagee under Memorandum of Mortgage No. of the Land described in the attached Transfer of Easement in Gross consents to the grant of easement in that Transfer but without prejudice to the rights remedies and powers under that Mortgage.

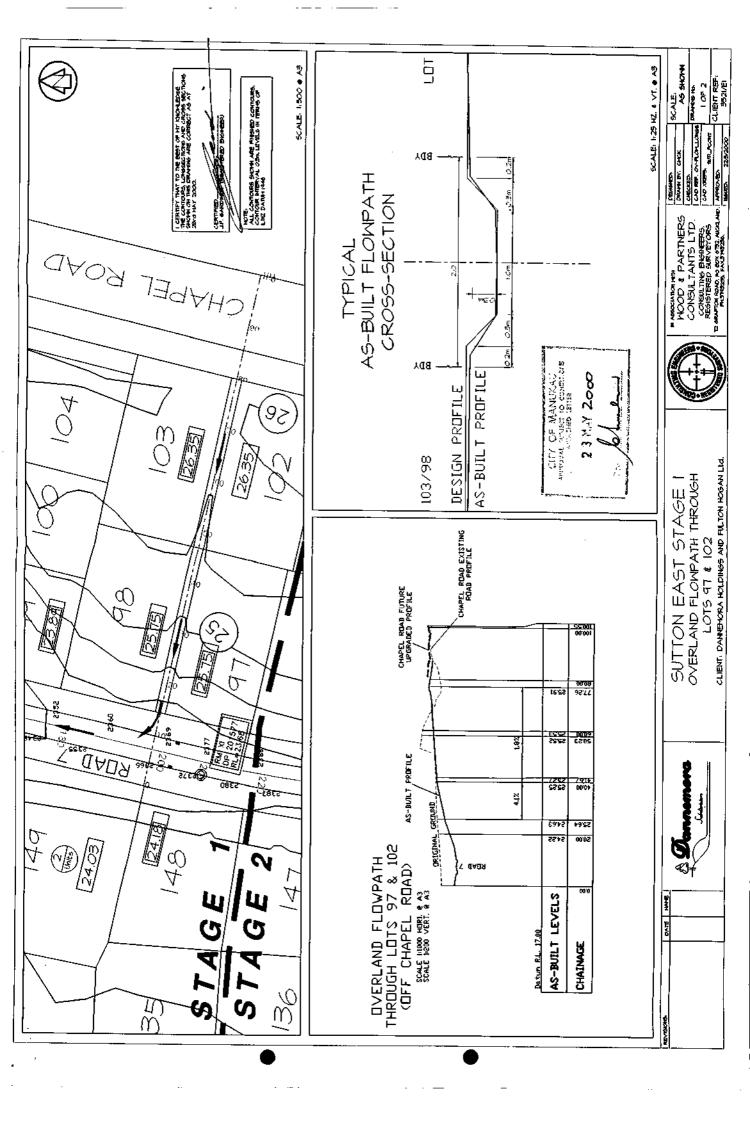
DATED the

day of

2000.

EXECUTION

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or their solicitors must put their signatures or initials here.



TRANSFER

Land Transfer Act 1952



Law Firm Acting

BROOKFIELDS LAWYERS AUCKLAND & MANUKAU

Auckland District Law Society

Estate CT.

Bill Lawn := Brookfields.

what is & Lappen with Summoville Estate (\$50) trad to it to be sudown ordered within the Easurest document in it is effected by the subdivision. Did not said & prepare dois if they wor unregisterable and alternatively would prepare what once instructed than to be.

Dan Dood - Dood & Patrum

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Sally Mountfood - Somen Montlock

Wanted get hold of Sammoville Estate Lavyor and women that transfer would be signed.

Cartedutal

Chri Greles - orce

duly deal he san awar of wom to purchase bad how Dannemore and that we would the wrange how had to be taken by so fee.

			NIA	Correct	Not Correct
	(ĉ)	Copy of FCR received from Consent Engineer			D
		(i) One copy to BRS file		₽	D
		(ii) Other copy for Surveyors with release	D	Đ	
Note	ع د.				12771127127
					,
•••••	*******				
(2)	San	iitary Sewer Drainage			
, .	(a)	QAM Inspection Form completed and signed off	D		
	(b)	Uncompleted items quantified			
	(c)	M/N infiltration clearance			
	(d)	Agreement for hook-up to proceed	□ .		D
	(e)	Agreement for new connections to be installed			
	(f)	Right of entry clearances granted			D
	(9)	Floor level restriction plan:			
		(i) Received	₽	□	
		(ii) Benchmark provided			
		(iii) Accepted	D		۵
	(h)	Date of air test recorded on release memo			
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	(b)	Uncompleted items quantified			
	(c)	Right of entry clearances granted			
	(d)	Floor level restriction plan:			
		(i) Received			
		(ii) Benchmark provided			
		(iii) Accepted			
	(e)	Overland flowpaths:			•
		(i) As-built plan	D		
		(ii) Check levels against design (if not OK, forward to			
		Consent Engineer for validation)	_	_	
		(iii) Benchmark provided	0		ı U
		(iv) Check floor levels	\Box		

HARRISON GRIERSON

€

2 June 2000

Manukau City Council Private Bag 76917 MANUKAU CITY

Attention Colin Sinclair

Dear Sir



When we spoke the other day regarding service trench backfill, I was a little confused. The request for me to talk to you came from Wood & Partners, who apparently were under pressure from the developer. I may have indicated that it was Athey Block that was the concern, but actually it is Sutton Stage 1, and our completion report reference 08.09261.5A dated April 2000.

I refer to item 7.0, page 3 of that report. We did discuss the fact that the trench backfill was not placed to as high a standard as the remainder of the fill on the subdivision. It was our understanding that the developer asked for specific testing of trench backfill, because he did not want the unsightliness of settled trench surfaces. However, it would appear that the developer was actually expecting the ground to be suitable for building.

I have looked through the test results, and it is clear that a minimum in-situ shear strength of 80kPa was indeed attained. When we encounter such conditions in natural ground, we have no hesitation in recommending the area suitable for NZS3604 building. It is our opinion that the same applies to the Sutton stormwater trench backfill.

We are prepared to change our report, particularly item 7.0 accordingly. We seek your advice as to whether this would be acceptable to Council. Affected lot numbers are 3, 4, 10, 11, 16 and 17.

Yours faithfully

Harrison Grierson Consultants Limited

PW M Williams

Director

H:\1\09261\W\mcc-001-pww-haa.doc

PW by Welliam ...

ok bl. dured blood

6 - JUN 2000

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HÄRRISON GRIERSON

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To Manukau City Council	
Attn Colin Sinclair	Fax No. 262 5163
Copies to	
From Phil Williams	Date8 June 2000
No. of pages (including this cover share) 3	Project No. 08.09261.5
Re Dannemora - Stormwater Trenches	<u> </u>

Confidentially: The information contained in this facetmile mussage (and any accompanying documents) may be legally privileged and confidential. The information is intended shiely for the recipient normed in this message. If the reader of this message is not the intended recipient you are notified that any use, assessment, copying or distribution of the information is probiblied if you have received this message in error please notify us immediately by calling collect to the person and number as shown and destroy the original message. Thank you.

Colin

As discussed yesterday, please find attached amended section 7.0 and amended first page of Statement of Professional opinion of our geotechnical completion report No. 08.09261.5A dated April 2000.

Please let me know if there is anything else you require.

Regards

Phil

H:\1\09261\sutton phase 5\\\/\fax-001-p\\\\\-ha\a.doc

Dannemora Holdings and Fulton Hogan Limited Dannamora Subdivision – Stage 1 Sutton Block, Manukau Geotechnical Completion Report April 2000 Reference 08.09261.5A

above. We also conclude that they were placed in accordance with the compaction criteria set out in the specification.

5.0 CUT AREAS AND NATURAL GROUND

Part of residential lots 105 to 108 are in a cut area. It is inferred that because only 0.3m of cut has been exposed the soils will have a safe bearing pressure of 100kPa, as defined in Appendix C of NZS 3604:1990

6.0 SETTLEMENT

In the geotechnical investigation report by FEL, settlement was identified as a potential problem and settlement monitoring was recommended. To action this recommendation, settlement plates were installed and monitored on a monthly basis. Monitoring results are presented on drawing 09261-GE16. No ongoing settlement of engineering significance was recorded.

It is therefore our opinion that for proposed buildings located at the site, settlement should not present a problem for buildings constructed in accordance with NZS 3604:1990, founded on shallow pads and strip footings, provided that the recommendations made in this report are adopted.

7.0 SERVICE TRENCHES

Deep trenches were excavated for large stormwater lines in lots 3 to 6, 10, 16, 17, 27, 130 to 132. Backfilling was monitored and tested by hand augers and shear vanes to a Fill Specification of a minimum undrained shear strength of 80kPa. Any material that did not achieve this criteria was reworked and retested to meet the Fill Specification. The Fill Specification was designed to prevent excessive settlement of trench backfill and to provide a buildable area. The large stormwater lines that were backfilled with engineered fill along with hand augers are located as shown on drawing No. 09261-GE19. Borelogs are presented in Appendix 1 of this report. The backfill for these lines is suitable for building on, for buildings complying with NZS3604.

Service trenches (except for the large stormwater lines as discussed above) that have been excavated in the original ground have not been backfilled to the standard used for engineered fill. Backfill in these trenches was not specifically tested, but all will have been traversed by heavy plant in dressing off the platforms to final tevels and spreading topsoil.

All services backfilled with non-engineered fill are located close to and parallel with boundaries and will probably not be built over.

8.0 SLOPE STABILITY ISSUES

There were no significant slope stability issues on Sutton Block.

9.0 EXISTING FILL

P03

Ta:

The City Manager Manukau City Council

MANUKAU

STATEMENT OF PROFESSIONAL OPINION AS TO SUITABILITY OF LAND FOR RESIDENTIAL DEVELOPMENT

SUBDIVISION:

Dannemora Sutton Stage 1

OWNER/DEVELOPER:

Dannemora Holdings and Fulton Hogan Ltd

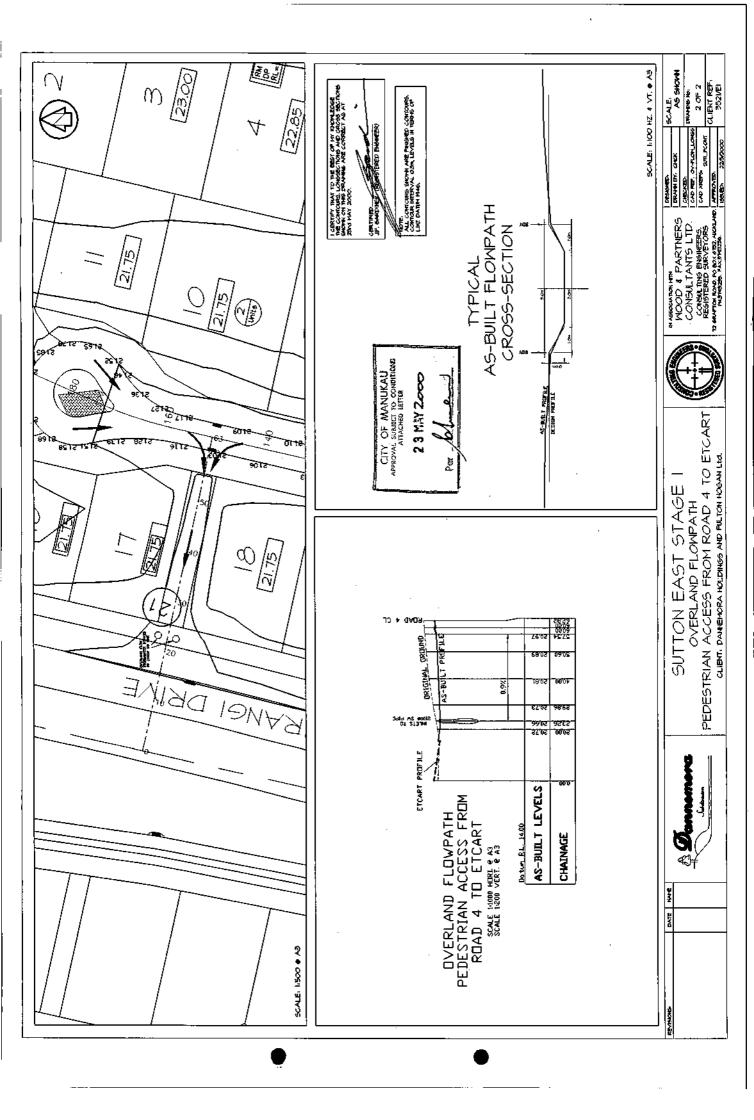
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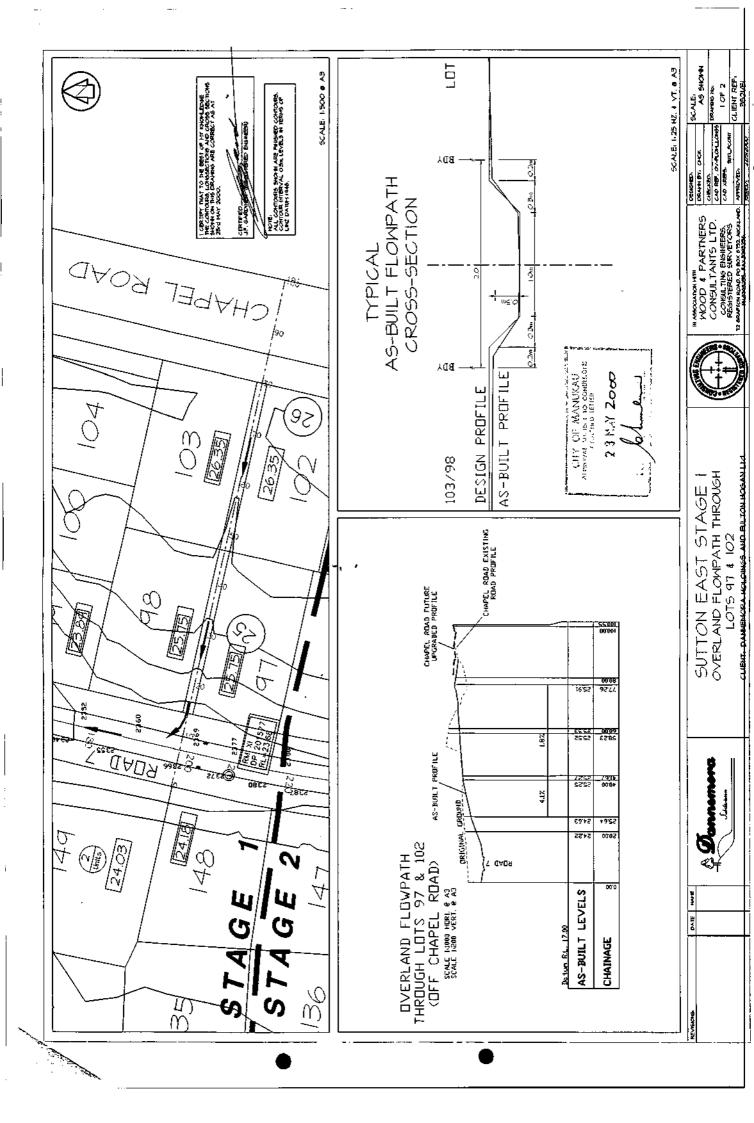
East Tamaki Road

I, Philip Walter Matthew WILLIAMS of HARRISON GRIERSON CONSULTANTS LIMITED, 429 Parnell Road, Pamell

Hereby confirm that:

- I am a Registered Engineer experienced in the field of soils engineering and was retained by the owner/developer as the Soils Engineer on the above subdivision.
- The extent of my inspections during construction and the results of all tests carried out 2 are described in the accompanying report no 08.09261.5A dated April 2000. The purpose of the report is to provide a record of the earthworks procedures and to describe the technical background upon which this statement of professional opinion has been based. The residential lots covered by this statement are no's 1 to 27, 97 to 100, 102 to 135, 148 and 149.
- One purpose of this statement is to describe the extent to which buildings designed in 3 accordance with NZS 3604:1990 "Code of Practice for Light Timber Framed Buildings Not Requiring Specific Design" (NZS 3604) can rely upon soil conditions for foundation construction in accordance with that Code. In this regard the reference to NZS 3604 is itself specific, and does not include other non-specific design codes such as NZS 4229.
- In my professional opinion, not to be construed as a guarantee, I consider that the fill shown on the attached Harrison Grierson Consultant's drawing no. 09261-GE17 has been placed in accordance with NZS 4431:1989, Code of Practice for Earthfills for Residential Development and NZS 4404:1981, Code of Practice for Urban Land Subdivision.
- With respect to the safe bearing capacity of soils, in my professional opinion, not to be 5 construed as a guarantee, I consider that:
 - The filled ground is suitable for buildings constructed in accordance with NZS i) 3604 and for which it is believed that the modified soils thereon will afford a foundation safe bearing capacity of 100kPa for shallow foundations. This statement includes the trench backfill of the 10500, 12000 and 15000 pipes which traverse lot Nos. 3-6, 10, 16, 17, 27 and 130-132.
 - The natural ground and excavated ground comprising all or part of lots 105 to ii) 108 are suitable for buildings constructed in accordance with the NZS 3604 and for which it is believed that the unmodified soils thereon will afford a foundation safe bearing capacity of 100kPa for shallow foundations.





Environmental Services

6 June 2000

Brookfields
Barristers & Solicitors
DX CP 24 134
AUCKLAND

Attention: J M Sheppard

Dear Sirs

Proposal

15173 (Sutton East Block Stage 1) SP 6326

Site:

474 East Tamaki Road, East Tamaki

Applicant:

Dannemora Holdings Ltd and Fulton Hogan Ltd

OVERLAND FLOWPATH EASEMENT - Lots 12, 13, 14, 17, 18, 19 and Part Lots 11 and 15 DP 615 and Part Lot 16 DP 23052

The above consent application was approved by the Council on 1 December 1999 and conditions changed on 18 April 2000. Conditions of this consent included the provision of overland flowpaths to be protected by a right to drain water easements.

Would you please prepare the appropriate easement documents, which are to include the provision that no additional buildings, structures, fences or filling be placed in the easement areas or other works carried out thereon, except with the specific approval of the Council, and that the level and profile of the overland flowpaths are to remain unchanged thereafter.

The easements have been defined by a registered surveyor and shown on a survey plan (copy attached). The approved as built plan is enclosed.

The relevant details are as follows:

Applicant

Dannemora Holdings Ltd and Fulton Hogan Ltd

Legal Description

Easement areas "A and B" over Lots 97 and

102 (respectively) DP 201577

Applicants Solicitor

Simon Mortlock Lawyers

PO Box 13 474 Christchurch

Attention: Sally Mountford

Costs

Attached is the cheque for \$500 being deposit in respect of your fees

Also enclosed for your reference are recent search copies of the Certificates of Title.

Yours faithfully

(R)Dundass

Team Leader - Resource Compliance BUILDING AND RESOURCE SERVICES

WOOD & PARTNERS

F 2/6/00

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS CONSULTANTS LTD

For WOOD & PARTNERS CONSULTANTS LIMITED AMOUNT IN FIGURES 800 O EN TS CINITS HUNDREDS TENS 7 THOUSANDS ₹\ 1-6-0000 KALMAZOO H627238 PAY THE SUMOF (AMOUNT IN WORDS) CHECUE DUTY PAID LICENCE NO 1 DATE

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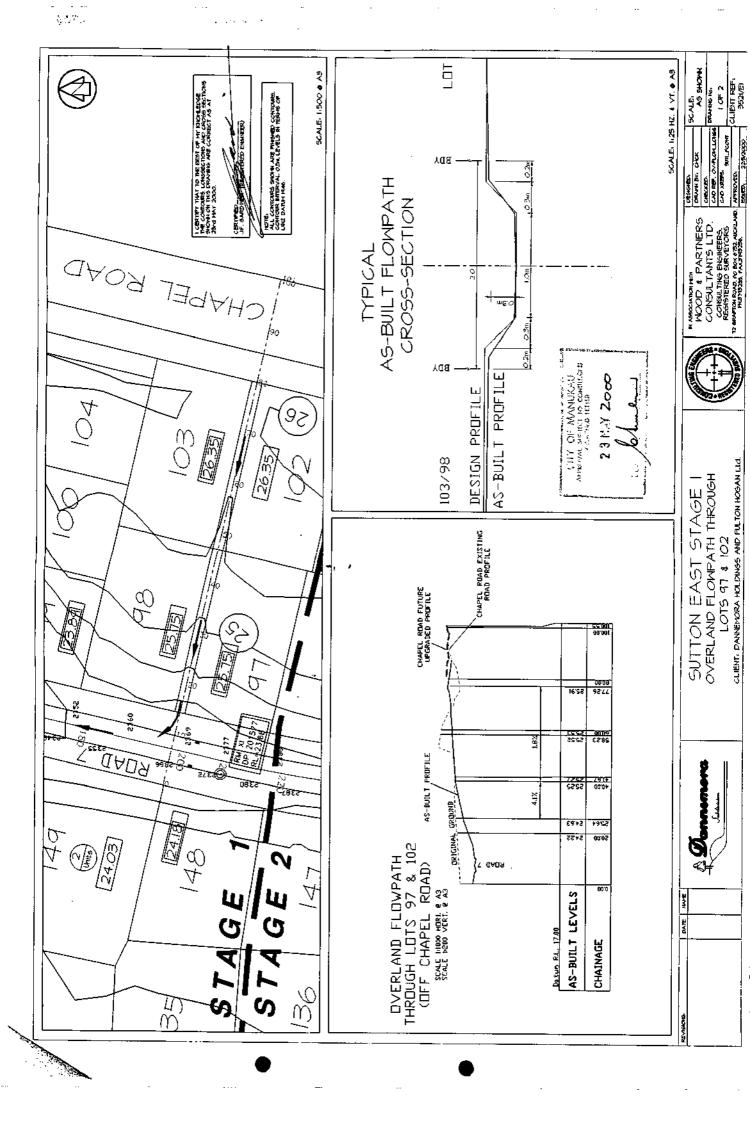
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Charlotte



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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:
O. L. WOOD M.L.P.E.N.Z., F.N.Z.L.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.L.S D. W. WILLIAMS B.SURV., M.N.Z.L.S. J. F. GARDINER R.E., M.J.P.C.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.L.S.



FACSIMILE

FACSIMILE NO: 262-5/63	DATE: 1/6/00
NUMBER OF PAGES: 2 (including this one)	FILE NO: Sunt /E/224
TO: Mac	
ATTENTION: An Spencer	
FROM: J.C.	
RE: Sutton East.	

MESSAGE

Please advise by fax if any part of this transmission failed or was misdirected.

lan, Plan as requested.

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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS, REGISTERED SURVEYORS AUCKLAND

DIRECTORS:

D. L. WOOD MIRENZ, ENZIS, R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S.

ASSOCIATES:

J. F. GARDINER B.E., M.LP.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.LS.

With Compliments

TO MONIKOU at Coural.

Date 16.05.00

Project Sulfa Feat Hegel



Auckland

Level 3

72 Grafton Road

City,

P.O. Box 6752

Phone: Bus. 379 3235 Fax: 379 3236

DOCUMENT TRANSMITTAL NOTICE

File No. SM SUTTON EAST / STET

DOCUMENT TRANSMITTAL NOTICE

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MANUKAU
City Council

PRIVATE BAG 76917 MANUKAU CITY DX EP 75557

PHONE 263-7100

G.S.T. Reg. No. 51-963-660

OFFICIAL RECEIPT

				
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ltd .				
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PROPERTY No	<u> </u>	. 6326.		
LOT	D.P.			
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PHONE 263-7100

G.S.T. Reg. No. 51-963-660

OFFICIAL RECEIPT

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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.I.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.





Our Ref: DM/SUTTON/E/LA

2 March 2000

The Team Leader Compliance Manukau City Council Private Bag 76-917 Manukau City AUCKLAND

ATTN: COLLIN SINCLAIR

Dear Collin

of bolandar lepho

RE: DANNEMORA
SUTTON EAST STAGE 1
LOTS 102 AND 103
SP 6326 - PROPOSAL 15173

We discussed with you on Friday the 25th February the situation regarding Lots 102 and 103 on Sutton Block fronting Chapel Road as shown on the attached plan. It is Dannemora's intention that the upgrading works on the western side of Chapel Road will be carried out as one contract from Smales Road in the north to some 150m south of Browns Lane. This could possibly be carried out in conjunction with upgrading work on the eastern side of Chapel Road by Howick Parklands Limited. It is not intended to carry out this work until the 2000-01 construction season. While our current subdivisional works will provide sewer and stormwater connection for the lots, physical access, and utility services in the road berm will not be in place until the road upgrading takes place.

Our current Resource Consent from Council for SP 6326 includes Lots 102 and 103 and it will take some time to obtain a new Consent from Council with the deletion of these two lots.

We suggested to you in our discussion on the 25th that the survey plan for Stage 1 could proceed in accordance with the Resource Consent provided that"

1. Council obtains an undertaking from Dannemora that it will not sell Lots 102 and 103 until the upgrading works are complete (undertaking enclosed herewith).

PEFERRED TO ACTION TAKEN INITIALS DATE Information SP 6336 BAU

The uncompleted upgrading works fronting Lots 102-107 are bonded for at the time of 224 release. This will be carried out. 2.

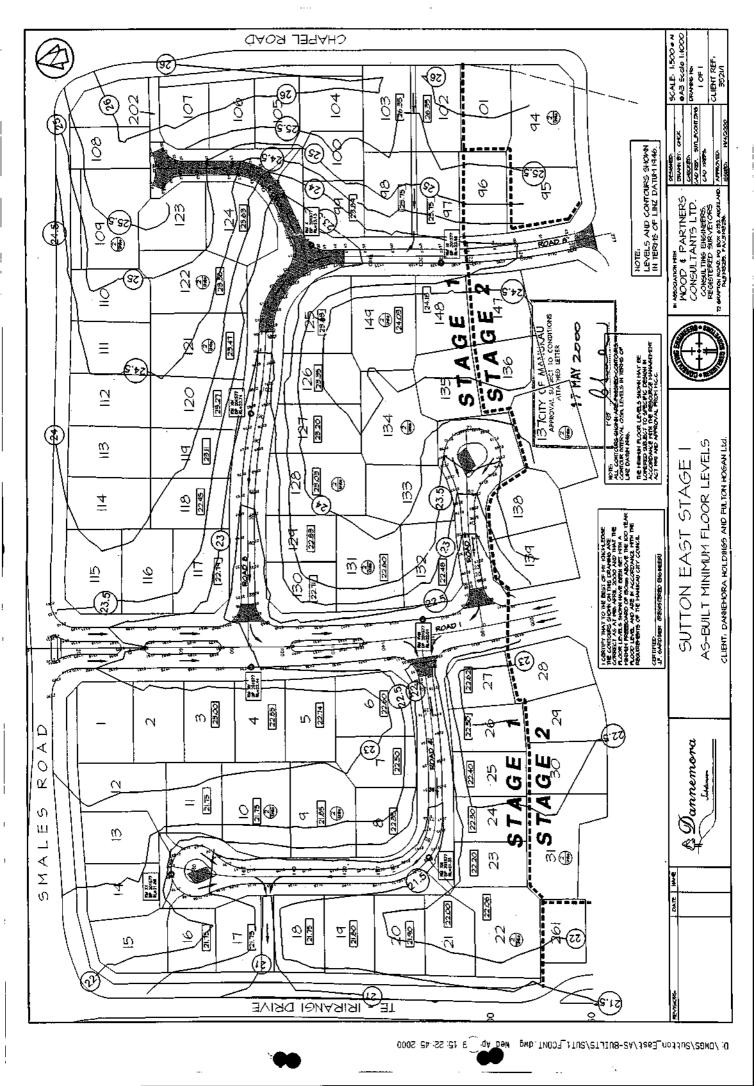
We ask that you confirm that the above procedure is in order.

Yours faithfully
WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD

Director

cc Dannemora





Reliable Way (Off Leonard Rd)
Mt Wellington
Private Bag 11-900, Ellerslie
Auckland, NZL
Telephone (09) 579-6187
Fax (09) 579-7801

3 March 2000

Roading and Civil Engineering Contractors

The Team Leader Compliance Manukau City Council Private Bag 76-917 Manukau City Council Auckland

Attention: Mr Colin Sinclair

Dear Sir,

Re: Dannemora Sutton East Stage 1 - Lots 102 & 103

I have been asked by our Consultant, Don Wood, to write to you giving an undertaking that Dannemora will not offer the above lots for sale until the upgrading works of Chapel Road are completed. I give you this undertaking.

Yours faithfully, Fulton Hogan Ltd & Danne Mora Holdings Ltd

H.R. Joyce Project Manager

Lot	Minimum Floor Level	Comment
3 4	23.00	
4	22.85	
5	22.74	
6	22.60	
7	22.50	
8	22.35	
9	21.85	
10	21.75	
11	21.75	
16	21.75	
17	21.75	
18	21.75	
19	21.80	,
20	21.90	
21	22.00	
22	22.06	
23	22.20	
24	22.30	
25	22.40	
26	22.50	Unit facing Road 4
26	22.62	Unit facing Road 1
97	25.75	
98	25.75	
99	23.89	
102	26.35	
103	26.35	
117	22.79	
118	22.95	
119	23.11	<u> </u>
120	23.21	
121	23.47	
122	23.58	
124	23.63	
125	23.63	
126 127	23.35 23.20	· · · · · · · · · · · · · · · · · · ·
	23.20	<u> </u>
128 129	23.03	
130	22.83	
131	22.60	
132	22.48	
148	24.18	<u> </u>
149	24.03	
	24.03	
27	44.64	1

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

(b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.

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VOLUME III (cross out as applicable)

IV

FILE OPENED

Date and transfer sheet to new file

FILE CLOSED

SEE VOL II III IV

(Cross out as applicable)

Our Ref:

Your Ref:

A634788 SP 6198

BECEINED

M.C.C. CENTRAL REGISTRY

6 SEP 1999



2 September 1999

MANUKAU CITY COUNCIL PRIVATE BAG 76917 MANUKAU CITY 1730

Attention: H Wright

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Dear Sir

Compulsory Amalgamation: Dannemora Holdings - Stage 1 474 East Tamaki Road, Lots 12-14, 17 and part Lots 11 & 15-16 DP 615

I refer to your letter of the 18.8.1999.

I advise it would be practicable to issue amalgamated titles in terms of the condition given under Section 220(1)(b)(i) of the Resource Management Act 1991.

Yours faithfully

M O Tukutama

(for Registrar-General of Land)

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Auckland Regional Office Price Waterhouse Bldg 41 Federal Street Private Bag 92018 Auckland New Zealand Tel 64-09-377-1499 Fax 64-09-358-5072 Internet http://www.finz.govt.nz

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ACTION TAKEN INITIALS

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Environmental Services

18 August 1999

District Land Registrar Land Registry Office Private Bag AUCKLAND

Dear Sir

SP 6198: DANNEMORA HOLDINGS, SUTTON EAST BLOCK STAGE 1, 474 EAST TAMAKI ROAD, OTARA - LOTS 12, 13, 14 AND 17 AND PT LOTS 11, 15 AND 16 DP 615

The attached plan (SP 6198) shows a proposed subdivision of the above property.

Would you please advise whether you consider it practicable for the Council to impose compulsory amalgamation conditions pursuant to Section 220(1)(b)(i) of the Resource Management Act 1991 in respect to the following lots on the attached plan (SP 6198):

Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title be issued to include both parcels.

Yours faithfully

H Wright
Acting Team Leader - Resource Consents
BUILDING & RESOURCE SERVICES

1022

Reference: SP 6198, Proposal 14693 Enquiries to Mike Pritchard Facsimile Extension 262-5109 5874

CONSENT DECISIONS

RESOURCE CONSENT	TYPE	Vienza etc)	DECISION DATE
	(Concept / Land Mod /	Alease etc)	•
Prop No			1
SP / XL /.BRS		· · ·	
(delate 2)			
DLR letter sent/		Received	—-/—-/—-
VNZ letter sent/	_/	Received	
(Objecti	AMENDMEN ons / change of condition		ne)
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12-21-21-11			1
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Please:			
File Consents, Amendments,	DLR and VNZ letters h	ereafter in date	order (latest first)
Include approved plans with e	each consent		
For resource consents grant between new yellow cards (Stages to follow in sequence		ges, the conser	t decision must be filed
File prepared by			



TAX-INVOICE

19960

Private Bag 76917

Manukau City

New Zealand

DX EP75557

Ph 09 263 7100

Customer No 017807

Cust Order

Fax 09 262 5151

www.manukau.govt.nz

Our Ref

580300 4

20/04/2000

GST NUMBER 51-963-660

Description	G/L Code ·		Qty	Price	Net
Ros Professional Assess. R75 Staff Coordination R90 Documentation R95 Authorisation SPA Administration Fee	3330 1250.D16734	HRS	2.50	70.80	177.00
	3330 1250.D16734	HRS	0.40	75.00	30.00
	3330 1250.D16734	HRS	0.70	70.00	49.00
	3330 1250.D16734	HRS	0.60	90.00	54.00
	3330 1250.D16734	EACH	1.00	100.00	100.00

Application for Resource Consent for Change of Conditions

Dannemora Holdings Ltd/Fulton

C/- Wood & Partners Ltd PO Box 6752, Wellesley.St

Hogan Ltd

Less Deposit Received ()	(Excl. GST)	-500.00
580300 P16734/75 - 474 East Tamaki Change of Conditions - P15173 (SP6326A)	SUB TOTAL Rd G.S.T. TOTAL	-90.00 -11.24 -101.24

16734

Environmental Services

18 April 2000

Wood and Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

DECISION ON AN APPLICATION FOR CHANGE TO A RESOURCE CONSENT PLAN OF SUBDIVISION

Applicant:

Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1

and 2)

Application:

Resource Consent for changes to an approved Subdivision (layout) being

the redesign of the Stage 1 layout of Lots 25 and 26 to create an

additional Lot 27.

Location:

474 East Tamaki Road, East Tamaki

MCC Reference:

SP6326A (Proposal No. 16734)

Legal Description:

Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Zone:

Future Development Stage 1 (Operative Manukau District Plan)

Main Residential (Proposed Manukau District Plan)

I wish to advise that resource consent for the above proposal has been considered under delegated authority and that consent has been granted pursuant to Section 127 of the Resource Management Act 1991, subject to the following conditions being complied with to the satisfaction of, and at no cost to the Council.

That all conditions and advice notes of the Resource Consent (SP6326 P15173) dated
 December 1999 shall remain in effect except as stated below:

STAGE 1 - Residential Lots 1-27, 97-100, 102-135, 148 and 149 (67 Residential lots)

Stage 1 Condition 2 is amended to read:

 All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326A) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326A, Proposal 16734 Direct Dial: 262-8900, extn 5874 Enquiries to: Mike Pritchard Direct Facsimile: 262-5168

- (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.

Stage 1 Condition 15 is amended to read.

15. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level
3	23.00
4	22.85
5	22.74
6	22.60
7	22.50
8	22,35
9	21.85
10	21.75
11	21.75
16	21.75
17	21.75
18	21.75
19	21.80
20	21.90
21	22.00
22	22.06
23	22.20
24	22.30
25	22.40
26	22.50
27	22.62
97	25.75
98	25.75
99	23.89
102	26.35
103	26.35

Lot	Minimum Floor Level
117	22.79
118	22.95
119	23.11
120	23.27
121	23.47
122	23.58
124	23.63
125	23.63
126	23.35
127	23.20
128	23.03
129	22.83
130	22.71
131	22.60
132	22.48
148	24.18
149	24.03

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

Stage 1 Condition 22 is amended to read:

22. A reserves contribution of \$508,551.13 (including GST) being 6% (plus GST) of 65/66 x the aggregate assessed current market value of Lots 1-27, 97-100, 102-107, 109-135, 148 and 149 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 1 of the subdivision, whichever is the sooner.

REASONS FOR DECISION

The Council is satisfied that the amendment to Lots 25 and 26 will not create adverse effects and the District Plan provisions will continue to be complied with.

COSTS

The deposit of \$562.50 already paid will be deducted from the total costs.

RIGHT OF OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

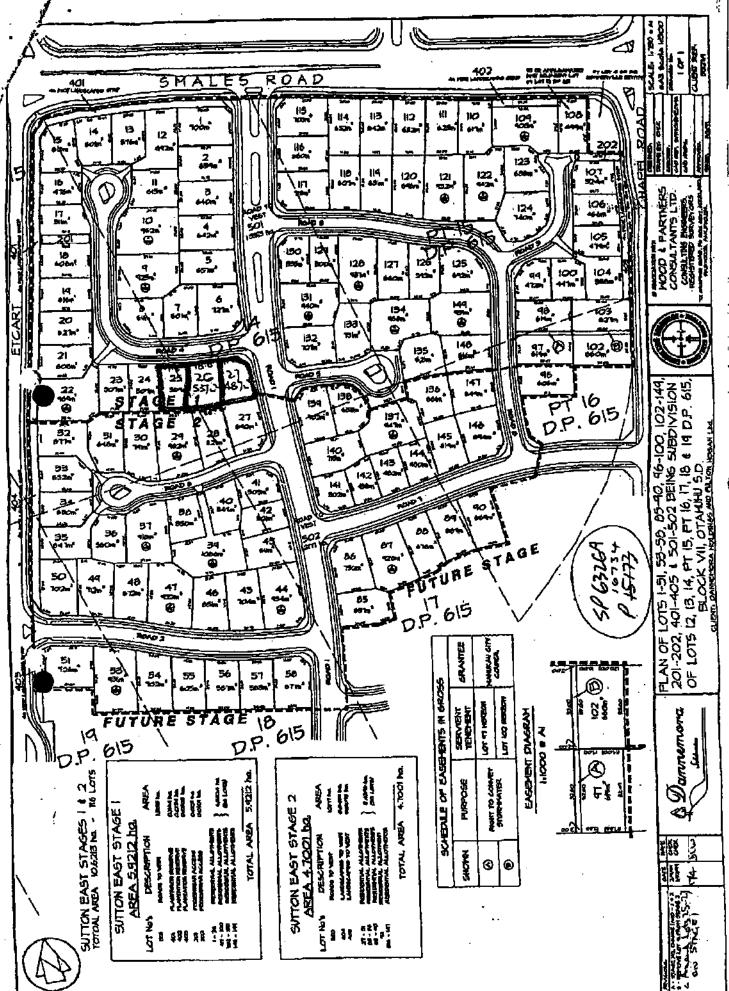
Yours faithfully

Robert Chieng

Leader - Resource Consents

RESOURCE CONSENTS & COMPLIANCE UNIT

1.6:8 357 PM. 138 1.389



WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS: D. L. WOOD MILTENZ, ENZILS, R.S. FIR E.I.D. MARS N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS R.SURV., M.N.73.S. J. F. GARDINER B.L., M.J.P.F.N.Z. M. G. WILLIAMS B.SURV, M.N.Z.LS.

cc. HW 22/12/99

Our Ref: DM/8ultanE/RC

22 December 1999

The Leader - Resource Consents Resource Consents & Compliance Unit Manukau City Council Private Bag 76-917 who 14 MANUKAU CITY

ATTN: MR MIKE PRITCHARD

Dear Mike

RE: DANNEMORA SUTTON EAST STAGES 1 & 2 RESOURCE CONSENT APPLICATION SP 6326 PROPOSAL Nº 15173

Thank you for the Resource Consent dated 1* December (which we uplifted on the 6^h December) for the above stages of Dannemora.

We have, at our client's request, resubmitted an amended Stage 2, together with Stage 3 to Council for Resource Consent (Subdivision). Our objections therefore as outlined below refer specifically to Stage 1 of this development but may also apply to Stage 2. Our client has asked us to formally lodge an objection to the following clauses under Section 357 of the Resource Management Act 1991.

Itom 7 Stormwater Treatment Contribution

Reason for Objection

Dannemora has made a submission to Council regarding a change to the contribution rate. The existing condition does not give any certainty that the rate will be amended on completion of the review. The advice note does not have any status.

Rollef Sought

Dannemera would agree to the condition with new wording for Item 7 as follows:

"A stormwater treatment contribution for Tamaki/Point View stormwater ponds (FC3) should be paid to Council. The extent of that contribution is yet to be resolved but has been tontatively assessed by the Applicant at this stage as being approximately \$2,350.00 plus GST per hectare for the total area of Stage 4 of 5.6077 hectares. Council is currently reviewing the contribution rete application to financial contribution to FC3 to take account of the elimination by Council of one of the five stormwater quality ponds included in the original Catchment Analysis by Beca Carter. It is likely that this will result in a contribution rate in the order of that set out above. The precise contribution rate will be advised once that review has been completed. Council reserves to the applicant the opportunity to seek a review of the contribution rate in accordance with Section 357 of the Resource Management Act 1991, Account Nº9999817 DO 1440. The final contribution should be adjusted annually until paid, based on the previous year's Opus construction index or equivalent."

item 9 Water Supply Contribution

Reason for Objection

Dannemora through its Consultants has had discussions with Manukau Water regarding the level of contributions Dannemora is being asked to pay for Water Supply contributions. It is acknowledged by both parties that the current rate of \$120/m is applicable to upgrade existing mains in a built up area where items such as other services, hedges and fences, paths, vehicle crossings, traffic, pedestrians, and restoration to name a few have to be taken into account. These items do not apply in areas such as Chapel, Smales and East Tamaki Roads, especially where Dannemora owns the land on both sides of the road. A submission has recently been made by Dannemora to Manukau Water suggesting that it is more practical for Dannemora's contractors to lay mains to Councils requirement and for Dannernora to pay the equivalent of a 150% main on one elde and a 50¢ main on the other side of the road. Manukau Water is at present considering this submission.

Relief Sought

That Dannemora Install the water reticulation to Manukau Water's requirement and that Dannemora pay the equivalent of a 150ø main on one side of the road and a 50ø main on the other side.

Upgrading Contribution Smales Road Item 10b

Reasons for Objection

The condition requires that Dannemora pays an upgrading contribution for Lot 108, i.e. \$440 + GST x 18.0m = \$8,910 incl. GST. It would appear that Dannemora is now being penalised for assisting Council in overcoming an impasse with the Sommerville Estate Trustees over land needed for road widening at the corner of Smales & what was East Tamaki Road.

Dannemora assisted Council by providing Lot 108 which will be amalgamated to P. I.ot 15 which is owned by the Sommarville Estate. The area of Lot 108 at 499m² is in compensation for an area of 492m² which Council required for road widening. Council & Dannemora have executed a Sale & Purchase Agreement for \$60,000 as compensation for this lot.

Dannemora says:

- The land is currently held by the Sommerville Estate, under a Sala & Purchase agreement. (1)
- The compensation of \$60,000 was a rock bottom figure agreed to by Dannemora to make (2)progress on the upgrading works of Smales Road. While a separate title will not be available for Lot 108, a comparable value as a single lot would be that placed by Quotable Values on Lots 105-107, i.e. \$104,000. While there would be development costs necessary to obtain a separate title for Lot 108, i.e. extension of sewer & stormwater (minimal); reserve contribution, Council fees, etc, costs would be nowhere near the \$44,000 difference between what Council paid for the lot, and what its actual value is as a separate lot.

Relief Sought

That no road upgrading charge be made by Council for the frontage to Lot 108.

Rem 11

Reasons for Objection

Dannemora has made submissions to Manukau Water regarding the sewer reticulation through this stage of development. The submissions are on the basis that the sewer reticulation between Smales Road & Chapel Road comprises 450%, 375%, 300% & 225% pipes, not the normal sized subdivisional reticulation. It is felt that there is no difference between the 450¢ Council sewer north of Smales to the Watercare sewer, for which contributions are being made on a catchment basis, and the sewer between Smales & Chapel which Dannemora is being required to fund totally.

Relief Sought

That the cost of the reticulation between Smales & Chapel Road be apportioned between the upstream catchment land owners on a similar basis to the sewer costs north of Smales Road to the Watercaré sewer.

Reserves Contribution Item 22

Reasons for Objection

Dannemore has advised that it is obtaining valuations for the lots in this stage of development. This should be available early in January 2000.

Reliaf Sought

An objection is made to the Reserve Contribution as assessed until Dannemora has had the opportunity to compare values.

As stated earlier, Stage 2 of Sutton East has been resubmitted to Council along with Stage 3 for full Resource Consent (Subdivision). Should for any reason Council have a change of mind over verbal approvals given to the proposed slip road to ETCART, then the above objections to Stage 1 development should also be applied to Stage 2.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

book

D.L. WOOD

Director

CC!

Dannemora

CC:

Alex Parton

Environmental Services

10 January 2000

Wood & Partners PO Box 6752 Wellesley Street **AUCKLAND**

Attention: Mr J Gardiner

Dear John

DANNEMORA SUBDIVISION - SUTTON EAST (STAGE 1) PROPOSAL No 15173 SP 6326

In response to your facsimile of 7 January 2000 regarding the Vector's substation site, I can advise that that the proposed location within the road reserve set aside for amenity planting is acceptable to Council and there is no need for any easement in this respect.

Yours faithfully

Howard Wright

Acting Team Leader - Resource Consent RESOURCE CONSENTS & COMPLIANCE UNIT

1022

Reference: Proposal 15173, SP 6326

Enquiries to H Wright

Facsimile Extension 262-5109

5802

WOOD & PARTNERS CONSULTANTS LTD

Consulting engineers registered surveyors town planners

DIRICTORN
D. L. WOOD MILPEN, Z., F.N. ZLS., R.S. FIJE
T. J. D. JAMPS N.Z.CLS., B.SURV., M.N.ZLS.
D. W. WILLIAMS B.SURV., M.N.ZLS.
L.E. CARDINER B.E., MILPEN, Z.,
M. G. WILLIAMS B.SURV., M.N.Z.LS.



FACSIMILE

Our Fax: 09 379 3236

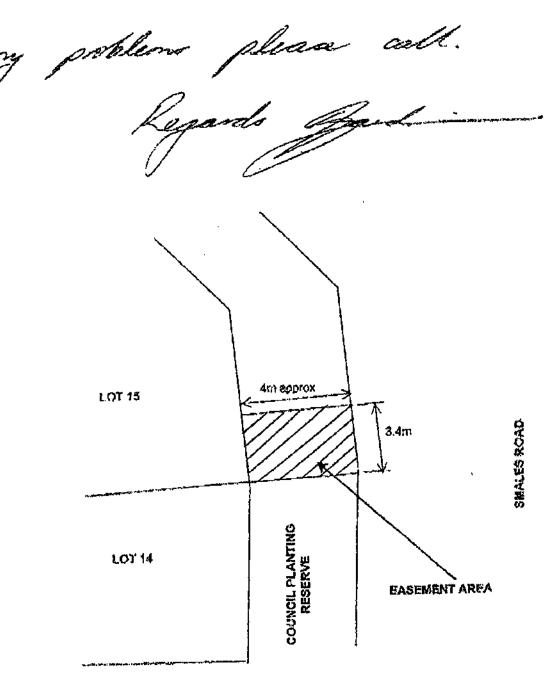
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ATTENTION: Howard Wright	0 7 JAN 2000
FROM: J.C.	M.C.C.
RE: Smaler Read / Vector	
MESSAG	E 58. 6326.

Pleuse advise by fax if any part of this transmission failed or was misdirected.

Sular teast Stage I has a fin planting bern along I walls haved.

Vector have a transformer located in this been as shown attached a want Council confirmation that it can remain without an excernent in what will be legal road. The Consent (Proposal No. 15173 "Constition (3 HC) appears to allow this of it fransformer Can you draft a fransformer Can you draft a short later confirming that this short later confirming that this short later was pleased.

P. 2







TAX INVOICE

18942

Private Bag 76917

Manukau City New Zealand

DX EP75557

Dannemora Holdings Ltd &

Customer No 001416

Ph 09 263 7100

Cust Order

Fax 09 262 5151 www.manukau.govt.nz

Fulton Hogan Ltd Private Bag 11900, Ellerslie Attn: Harold Joyce

Our Ref

Date

521146

02/12/1999

GST NUMBER 51-963-660

Description	G/L Code		Qty	Price	Net
R35 Lodgement Meeting R50 Plan Analysis R60 Professional Assess. R65 Amendments R70 Customer Liaison R75 Staff Coordination R80 Report Formulation R85 Final Decision R90 Documentation R95 Authorisation SPA Administration Fee	3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173 3330 1250.D15173	HRS HRS HRS HRS HRS HRS HRS HRS HRS HRS	2.00 40.00 29.30 0.60 0.30 4.00 2.50 1.50 1.00	71.25 75.00 70.80 80.00 75.00 70.00 80.00 70.00 90.00	142.50 3000.00 2074.73 48.00 22.50 280.00 200.00 105.00 90.00
DISBURSEMENTS: Z00 Manukau Water Z01 Valuation fee (QVNZ) Printing	5444 1250.D15173 3330 1250.D15173 3330 1250.D15173	HRS HRS	15.50 1.00 1.00	66.66 1000.00 51.35	1033.23 1000.00 51.35

Application for Resource Consent for Subdivision

9649 Sandry Debto 100098 513528 98628.53 07.12.99 recond 120 CHETUE

Less Deposit Received (Excl. GST)		-500.00
521146 P15173/75 - 474 East Tamaki Rd	SUB TOTAL	7669.81
Subdivision - 117 lot	G.S.T.	958.72
residential subdivision	TOTAL	8628.53

Sutton East Stage One and Two (SP6326)

ENVIRONMENTAL SERVICES

Distribution Of Engineering Plans For Re						
From: A Payre / M Pritchard I	Pate:_	28/10/99				
To:	No. of					
Compliance Land Use Officer - K4		1 сору				
Compliance Engineer - K4	Ī	1 copy				
Building Consents Planner - K4		1 сору				
Manukau Water - Goodman Fielder House	3	2 copies (or 3 if watermain incl.)				
Roadnet	I	I copy if works go beyond, property				
Watercare Services - Private Bag 92802 Penrose Attn: Merv Popham	2	2 copies if more than 3 manholes or more than 90m drains are included or if wo is close to ARC interceptor				
Otheracopiesihave been distributed to		,				
Applicant (or agent)	2	2 copies				
File copy	2	2 copies				
Total number of copies	13	3				
A copy of the following resource consent and the apprare attached.	oved e	ngineering drawings				
Proposal No: 15173 File Ref: 5P 6326						
Site Address: 474 East Tamakild-S-Hon Blk East Stages 1+2						

Environmental Services

1 December 1999

Wood and Partners Consultants Ltd PO Box 6752 Wellesiey Street AUCKLAND

Attention: Mr D Wood

Dear Sir

DECISION ON AN APPLICATION FOR A SUBDIVISION RESOURCE CONSENT

Applicant: Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1

and 2)

Application: Resource Consent for Subdivision of the existing three parcels comprised

in Certificates of Title 55A/1478, 43A/930 and 129/12 into 117 fee simple

lots in 2 stages (Controlled Activity)

Location: 474 East Tamaki Road, East Tamaki

MCC Reference: SP6326 (Proposal No. 15173)

Legal Description: Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Zone: Future Development Stage 1 (Operative Manukau District Plan)

Main Residential (Proposed Manukau District Plan)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non-complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Controlled Activity pursuant to the provision of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

 That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.

STAGE 1 - Residential Lots 1-26, 97-100, 102-135, 148 and 149 (66 Residential lots)

2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326, Proposal 15173 Enquiries to: Mike Pritchard Direct Dial: 262-8900, extn 5874 Direct Facsimile: 262-5168

- (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- 3. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- (a) All new roads and accessways shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 1 with Smales Road, including construction of footpaths and berms.
 - (d) The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road.
 - (e) All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
 - (f) Road upgrading works shall be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for these works shall be submitted for approval by the Manager – Resource Consents & Compliance.

- 5. All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- A comprehensive stormwater discharge levy (FC45) of \$2,731.15 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

 A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$52,358.21 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

8. A wastewater contribution of \$6,861.19 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 1 of 5.9212 ha. (Smales Road Sewer - REF FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

 A Water Supply Contribution of \$68,348.25 including GST shall be paid to Manukau City Council.

The current contribution rate shall be adjusted annually until paid based on the previous years' Opus Construction Cost Index (or equivalent).

The applicant is advised that this contribution is based on \$120.00 + GST per lineal meter on Smales Road and East Tamaki Road frontages – 540m (340m and 200 m on Smales Road and East Tamaki Road respectively) less \$4046 +GST being the cost of the physical works (170m of 50 mm diameter at \$23.80 per linear metre), the applicant has proposed to carry out on East Tamaki Road frontage. (Reference Wood and Partner's facsimile dated 22/10/99) (Water Supply Road Frontage -Ref. FC5).

- 10. A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 22, including the length of frontage to ETCART of lots 15, 16, 17, 201, 18, 19, 20, 21, and 22.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

(b) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of Lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of Lot 108 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109 and 108.

This contribution has been assessed at \$440.00 plus GST per metre of road frontage. This contribution has been adjusted for the work required in condition 4(d).

11. Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- 12. An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 13. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
 - (d) The existing overhead services located along the Chapel Road frontage shall be relocated underground unless advice has been received from the relevant utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- 14. Street lighting facilities shall be supplied and installed on all new roads, Smales Road and Chapel Road in accordance with Chapters 7 and 9 of the District Plan and the MANARC Standards.
- 15. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
3	23.00	
4	22.85	
5	22.74	
6	22.60	
7	22.50	
8	22.35	
9	21.85	
10	21.75	
11	21.75	
16	21.75	
17	21.75	
18	21.75	, , , , , , , , , , , , , , , , , , ,
19	21.80	
20	21.90	
21	22.00	
22	22.06	
23	22.20	
24	22.30	
25	22.40	11 . 2 -
26	22.50	Unit facing Road/4
- <u></u> (26∖	22.62	/Unit∫facing∕Róad/1
`97	25.75	
98	25.75	
99	23.89	
102	26.35	
103	26.35	
117	22.79	
118	22.95	
119	23.11	
120	23.27	
121	23.47	
122	23.58	
124	23.63	
125	23.63	
126	23.35	
127	23.20	
128	23.03	
129	22.83	
130	22.71	
131	22.60	_
132	22.48	<u> </u>
148	24.18	
149	24.03	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

(b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing:

(ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

16. (a) As Lots 97 and 102 are subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents shall be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

(b) The following minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for those lots adjoining this flow path have been resolved with the Council.

Lot	Minimum Floor Level
97	25.75
98	25.75
102	26.35
103	26.35

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

(c) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing or in accordance with specific design, in terms of the parameters in the District Plan and approved by the Council's Manager - Consents & Compliance.

This condition shall be complied with on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act.

17. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall

either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- 18. (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)						
PERIOD	Monday - Saturday		Sunday and Public Holiday		Holidays		
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}	
0700-1800	60	75	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	65	

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."
- 19. Lots 401 to 403 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 401 to 403 to prevent any access from the relevant lots to the adjoining arterial roads.

gupureded

- 20. Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (District Land Registrar Ref dated A.634788).
- (a) Lot 501 shall be vested as road in the Manukau City Council.
 - (b) Lot 201 and 202 shall be vested as Local Purpose (Accessway) in the Manukau City Council and constructed and fenced in accordance with the approved drawings referenced E7/15173 by Council.
- 22. A reserves contribution of \$501,984.00 (including GST) being 6% (plus GST) of $64/65 \times 1000$ km aggregate assessed current market value of Lots 1-26, 97-100, 102-107, 109-135, 148 and 149 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 1 of the subdivision, whichever is the sooner.
- 23. All lots shall comply with the subdivisional requirements of the District Plan.
- 24. Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.
- 25. Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and

All conditions shall be fully complied with the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

STAGE 2 - Residential Lots 27-51, 53-58, 85-90, 96 and 136-147 (50 Residential lots)

- 1. All works required to provide access and servicing to Stage 2 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:
 - (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
 - (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
 - (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's approved field officer.
 - (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.

- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- 2. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 3. (a) All new roads shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 2 with ETCART, including construction of footpaths and berms.
 - (d) All activities undertaken in relation to the ETCART route shall be in accordance with the Construction Agreement between the applicant and the Council.
- 4. All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- 5. A comprehensive stormwater discharge levy (FC45) of \$2,167.92 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 2 of 4.7001 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Works Consultancy Construction (or equivalent) Cost Index.

 A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$41,560.63 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 2 of 4.7001 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

7. A wastewater contribution of \$5,446.24 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 2 of 4.7001 ha. (Smales Road Sewer - Ref FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

- 8. A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of Lot 32, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of Lots 32, 33, 34, 35 and 50. From the projected northern boundary of Lot 51 south to the projected southern boundary of Lot 51.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

 Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- 10. An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 11. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
- 12. Street lighting facilities shall be supplied and installed on all new roads in accordance with Chapters 7 and 9 of the District Plan and the MANARC standards.
- 13. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
27	22.75	
41	22.97	
42	23.05	
43	23.20	
44	23.30	Unit facing Road 1
44	23.38	Unit facing Road 8
58	23.68	
85	23.40	
86	23.30	

Lot	Minimum Floor Level	Comment
139	22.78	
140	22.92	
141	23.00	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of title of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

14. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- 15. (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the

applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.

(c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME PERIOD	NOISE LEVEL (dBA)						
	Monday - Saturday		Sunday and Public Holiday		Holidays		
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}	
0700-1800	60	75	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	65	

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."
- 16. Lot 502 within Stage 2, shall be vested as road in the Manukau City Council and the road shall be formed and sealed across the full frontage of Lot 58.
- 17. Lots 404 to 405 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 404 to 405 to prevent any access from the relevant lots to the adjoining arterial roads.

- 18. A reserves contribution of \$400,410 (including GST) being 6% (plus GST) of the aggregate assessed current market value of Lots 27-51, 53-58, 85-90, 96 and 136-147 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 2 of the subdivision, whichever is the sooner.
- 19. All lots shall comply with the subdivisional requirements of the District Plan including all lots associated with the redesign of the Road 3 cul-de-sac head.
- 20. Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.
- Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and

All conditions shall be fully complied with, Stage 1 (SP6326) shall be completed and released, the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

ADVICE NOTES

The applicant is advised as follows:

- 1. That the Council's Land Information Register will record any consent notices pursuant to Conditions 3(b), 15, 16 and 19 of Stage 1 and conditions 2(b), 13 and 17 of Stage 2,
- 2. The specified minimum floor levels in this consent may be varied by the approval of Council's Manager Resource Consents & Compliance. Any variation required must be requested at the time of the site variation intended (not retrospective) and should include a detailed specific engineering design in accordance with the provisions of the District Plan.
- 3. That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- 4. That it will be the applicant's responsibility to satisfy all requirements of the Inland Revenue Department in respect of Goods and Services Tax including any requirements that may be made in respect of proposed public services and land to vest in the Council. Such requirements must be satisfied before a "Section 224" certificate will be issued.
- 5. The applicant is to liaise with Council regarding the co-ordination of subdivisional constructions works and the construction of ETCART.
- 6. Clause 6.B.6.1 of Council's Engineering Quality Standards Manual (carriageway acceptance) in respect to Council carrying out Benkleman Beam tests at no cost to the developer has been amended to the extent that the cost of this work shall now be borne by the developer.
- 7. That although the proposed lots do not contain any known archaeological sites, it is possible that unrecorded sites may exist on the lots. Pursuant to the Historic Places Act 1993 it is unlawful for any person to destroy, damage or modify an archaeological site unless an authority has been obtained from the NZ Historic Places Trust. Failure to obtain consent may result in a fine of up to \$100,000. The Trust must be consulted prior to development to ensure that the provisions of the Act are observed. Should the applicant, or any subsequent purchaser, uncover an archaeological site during development, the Trust must be consulted.
- 8. Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rates specified in conditions 7 (stage 1) and 6 (stage 2) then these rates will be amended accordingly, if this occurs prior to the Section 224 release.
- 9. Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

10. The engineering plans for the upgrading of Chapel Road have not been required before granting this resource consent application because the applicant has indicated that arrangements have been made to have this work doe as part of the subdivision works for the property on the eastern side of Chapel Road (Howick Parklands).

Whatever arrangements are made by the applicant for the execution of this work, it must be completed before issue of the 224 certificate.

REASONS FOR DECISION

- The proposal is generally in accordance with the Land Use approval for Concept Subdivision dated 14 September 1999.
- 2. No submissions have been identified against the proposed zoning of the land to Main Residential in the Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- 3. The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau City Transitional District Plan and sections 104, 105 and 405 of the Resource Management Act 1991.
- 4. The proposed subdivision was considered as a controlled activity, as the proposed allotments comply with all relevant requirements of the Transitional and Proposed District Plans.
- 5. All identifiable adverse effects resulting from the development will be avoided, remedied, or mitigated by the provisions in the District Plans and the above conditions of consent.

COSTS

- The deposit of \$562.50 already paid will be deducted from the total costs.
- 2. That in addition to the consent charge for the above subdivision, and further pursuant to Section 36(1)(c) of the Resource Management Act, an engineering administration, compliance and supervision charge, relating to the engineering conditions of the Resource Consent will be applicable together with administration charges relating to the release of the subdivision as fixed by determining all reasonable and actual costs incurred by the Council. The actual charges incurred in the Council's field monitoring of the engineering works will be determined at the completion of works and will be payable prior to release/completion. The applicant will be advised of the charges as they fall due.

OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

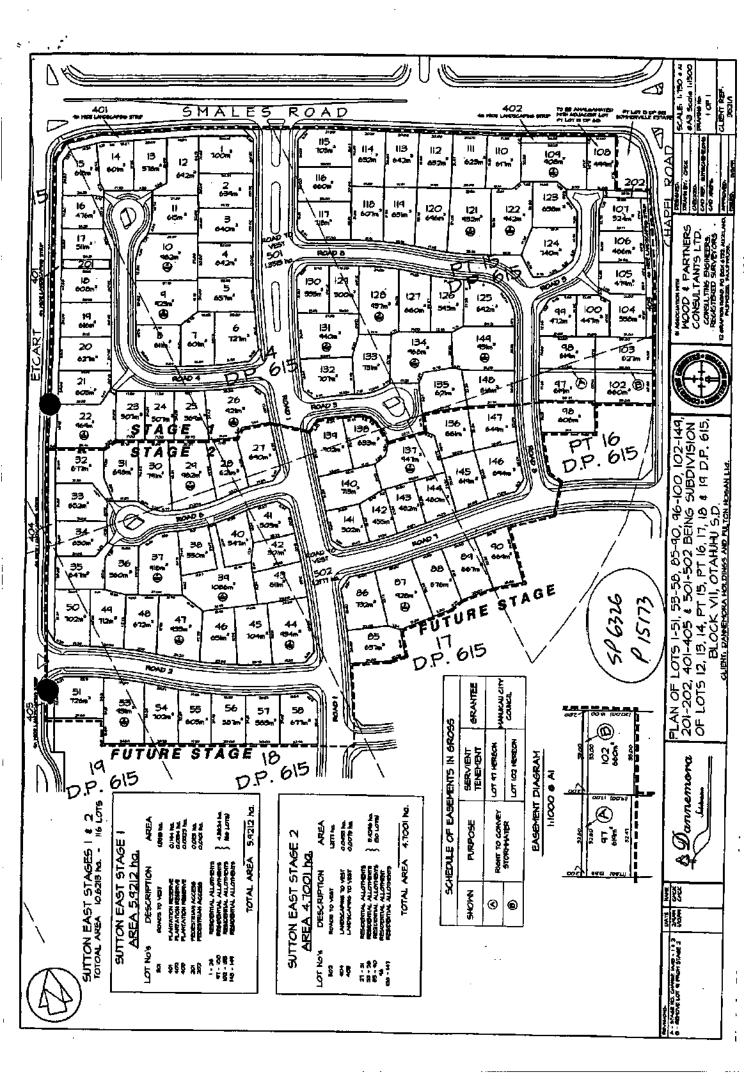
Yours faithfully

Date 6/2/99 Commencement of 15 Working Days

RE: S 357 RM Act 1991

Robert Chieng **Leader - Resource Consents RESOURCE CONSENTS & COMPLIANCE UNIT**

1021



Environmental Services

14 September 1999

Wood & Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

Applicant:

Dannemora Holdings Ltd and Fulton Hogan Ltd

Application:

Resource Consent for Land Use for Concept Subdivision and Land

40. Trood Edition Conscept

approved

copy of

copy of

Modification

Location:

474 Chapel Road (previously East Tamaki Road) - Land area

immediately south of Smales Road and immediately east of ETCART

MCC Reference:

SP 6198, Proposal 14693

Legal Description:

Lots 12,13,14,17,18,& 19 and Pt Lots 11,15 & 16 DP 615

Zone:

Residential 2 (Manukau Operative District Plan)
Main Residential (Manukau Proposed District Plan)

LAND USE APPROVAL ONLY FOR CONCEPT SUBDIVISION AND LAND MODIFICATION (Sutton Block-East, Stage 1)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non Complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Restricted Discretionary Activity pursuant to the provisions of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

- This consent does not constitute a subdivision consent. Application is to be made for such a consent where that application complies with or addresses to the satisfaction of the Council the rules and requirements of the Manukau Operative Transitional and Proposed District Plans. This will include the lodgement of a new Form 5 and a full submission including engineering plans for approval in accordance with the following conditions of the land use consent prior to the works commencing. Further / conditions will be imposed in the subsequent subdivision consent.
- The earthwork construction shall be undertaken in accordance with the erosion and sediment control plan as detailed in the approved plans referenced E7/14693 (1 sheet) by Council, and in compliance with all conditions of the Auckland Regional Council soil conservation consent for bulk earthworks and silt control, and the following:

Enquiries to: Mic Reference: SP 6198

Michael Pritchard

Proposal 14693

Direct Telephone: Direct Facsimile 09 262 8900 extn. 5874 09 262-5168

- (a) A current resource consent for these works shall be obtained by the applicant from the Auckland Regional Council prior to any works commencing on site, and a copy supplied to Council.
- (b) The site shall be stabilised against erosion as soon as practicable and in a progressive manner as earthworks are finished over various areas of the site.
- (c) All land modification works associated with the activity involving either removal of soil from the site to an approved clean fill location or its relocation on site, shall be undertaken in such a manner as to ensure that beyond the boundary of the site there should be no 'dust' or 'soil erosion/siltation', which in the opinion of an enforcement officer who is employed by Council, is objectionable, offensive or has the potential to create an adverse effect on the receiving environment.
- (d) The applicant shall be responsible to ensure that the land within the above site and the land on adjoining properties remains stable at all times in respect to the approved works.
- (e) Control measures shall be put in place to ensure that any trucks leaving the site do not deposit soil or other debris on public roads. Any soil or other debris deposited on any public road shall be cleaned up immediately at the applicant's expense.
- 3 (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage the development of such lots shall be undertaken generally in terms of the recommendations in that report,

As a component of the subsequent full subdivision a consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 4 At the time of full subdivision consent the following financial contribution levies will be payable as determined by the Council.
 - (a) A comprehensive stormwater discharge tevy (FC45) which is currently calculated at \$410.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (b) A contribution to the Tamaki/Point View Stormwater quality pond (FC3) which is currently calculated at \$7,818.00 + GST per hectare and which will apply to the total area of this subdivision.
 - (c) A contribution to the Smales Road Sewer (FC139). This will be assessed at the time of full subdivision.
 - (d) A contribution towards the new 200 mm dia watermain which is to be installed along Smales Road by Manukau Water. This contribution shall be based on the road frontage of the subdivision.
 - (e) A contribution toward the construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of lots 15, 16, 17, 151, 18, 19, 20, 21, 22, 32, 33, 34, 35 and 50. From the projected northern boundary of lot 51 south to the projected southern boundary of lot 52. This being the length of frontage where no edge treatment is provided to the ETCART route. This contribution is to be based on a through road standard.

(f) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of pt lot 15 DP 615 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and pt lot 15 DP 615. This contribution shall be based on a through road standard.

- 5 The applicant shall construct at no cost to the Council all works required to intersect Road 8 with ETCART and Road 1 with Smales Road, including construction of footpaths and berms.
- The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road. The value of this work shall be deducted from the contribution required in Condition 4(f).
- 7 All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
- 8 All roads are to be fully constructed with stormwater control, including the provision of street landscaping.
- 9 A Traffic Management Plan detailing road marking and signage shall be provided with the engineering plans for subdivision consent.
- Road upgrading works will be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for the road upgrading works shall be submitted for approval with the subsequent subdivision application.

- 11 Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the road crossing has been predetermined.
- 12 A road marking and signage plan shall be provided with the engineering drawings for subdivision consent.
- 13 (a) A piped stormwater system connecting to the nearest adequate system shall be installed to cater for the new lots created which makes provision for the upstream catchment.

- (b) As the applicant proposes to fill and block off the natural open drainage, adequate provision is to be made to cater for the estimated 100 year storm utilising a primary piped system for the 20% event and a secondary overland flow system to cater for bigger storms up to the 1% event.
- (c) Where any residential lot is subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents are to be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

Minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for any lots adjoining this flow path shall be resolved with the Council.

- (d) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing. (As a component of the subsequent full subdivision consent compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act).
- 14 A piped sanitary sewage system connecting to the nearest adequate system shall be installed to cater for the new lots created and which makes provision for the upstream catchment.
- An adequate water supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- An adequate natural gas supply reticulation system shall be installed within all new roads to provide a suitably located service to each lot within the subdivision.
- 17 (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.

- (d) Any existing overhead services along the Chapel Road frontage are to be relocated underground unless advice has been received from the utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- Street lighting facilities shall be supplied and installed on all new roads and Chapel Road.
- 19 (a) Prior to commencement of construction works, an environmental management plan is to be submitted for the Council's approval, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the subdivision:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with NZS 6803:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work".
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises. (Any queries in the foregoing should be referred to the Council's Environmental Protection Services Manager).
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of Rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME PERIOD	NOISE LEVEL (dBA)						
	Monday - Saturday		Sunday and Public Holida		c Holidays		
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}	
0700-1800	60	75	85	45	50	65	
1800-2200	45	50	65	40	45	65	
2200-0700	35	40	65	35	40	65	

(d) The noise levels shall be measured and assessed in accordance with NZS 6803P:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition".

- 20 All lots shall comply with the subdivisional requirements of the District Plan.
- 21 All roads and accessways within the subdivision as shown on SP6198 and road widening in accordance with the Proposed District Plan shall be vested in the Manukau City Council.
- 22 Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (subject to the prior approval of the District Land Registrar).
- Lots 1002 to 1005 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

As a component of the subsequent full subdivision a consent notice is to be registered on the certificate of titles of the relevant lots which share a common boundary with Lots 1002 to 1005 in accordance with Section 221 of the Act to prevent any access from the relevant lots to the adjoining arterial roads.

Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for the subsequent subdivision.

REASONS FOR THE DECISION

- No submissions have been identified against the proposed zoning of the land to Main Residential in the Manukau Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- The granting of the resource consent and subsequent subdivision will have no more than minor adverse effects on the environment.
- The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau Proposed District Plan and Sections 104, 105 and 405 of the Resource Management Act 1991.

ADVICE NOTES

The applicant is advised as follows:

In accordance with Section 125 of the Resource Management Act 1991 this consent will lapse two years after the date on which it was granted unless it has been given effect to before the end of that period. However the Council does have the power to extend this period in certain cases where a further application is made within three months of the date of expiry.

- Subsequent applications for subdivision for the subject site must be accompanied by a full assessment of environmental effects, a report on assessment of the proposal against the criteria set out in the District Plan and full engineering details.
- 3 The Council's Land Information Register will record:
 - (a) Any consent notices pursuant to conditions herein.
 - (b) Any right to drain water easement pursuant to Condition 13(c).
- That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- That no engineering works(excluding land modification) are permitted to be carried out until engineering plans have been approved by the Council.
- That reserve contribution requirements will be assessed in conjunction with the subsequent application for subdivision consent.
- 7 The previous practice of providing berm gardens(including temporary provisions) will not be permitted in the subsequent subdivision.
- 8 No consideration or approval has been given to the future lots outside this stage shown on the plan of subdivision.
- Although the proposed location of the earthworks do not contain any known archaeological sites, it is possible that unrecorded sites may exist. Any archaeological site uncovered during development by the applicant shall be reported to the New Zealand Historic Places Trust. Under the Historic Places Act 1993, it is unlawful for any person to destroy, damage or modify an archaeological site unless the relevant consents have been obtained from the Trust.
- The applicant is advised to liaise with Manukau Water in relation to the subdivisional water reticulation requirements along the frontages of ETCART Road, Chapel Road and the internal reticulation.
- 11 Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rate specified in condition 4(b) then this rate will be amended accordingly, if this occurs prior to the Section 224 release.

COSTS

Pursuant to Section 36 of the Resource Management Act 1991 and in accordance with the Council's Schedule of Charges the applicant shall be responsible for paying administrative charges relating to receiving, processing and granting of the resource consent. The deposit of \$562.50 already paid will be deducted from the total costs.

2 Further charges will apply to the subsequent application for subdivision consent and supervision and monitoring of works.

RIGHT OF OBJECTION

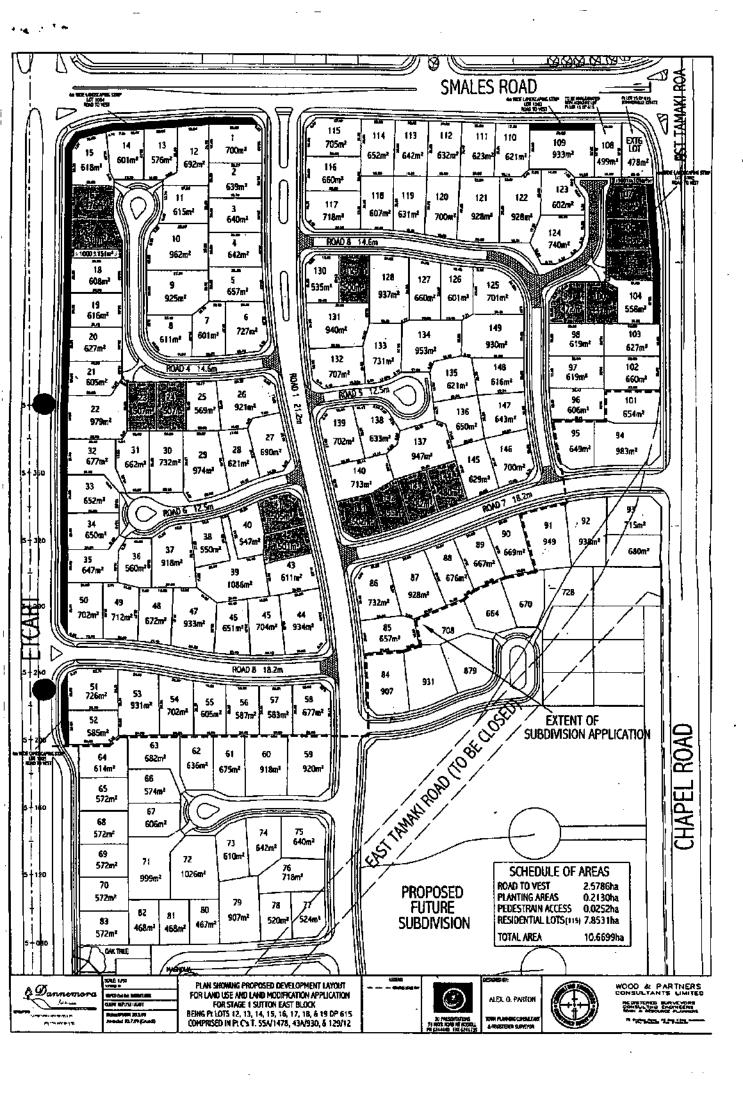
Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection and the relief sought.

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

Howard Wright

Acting Team Leader - Resource Consents
RESOURCE CONSENTS & COMPLIANCE UNIT



Concept · E6971 / 8619 dS COMEDIZED IN SEC.2 1, 25A 1478, 43A 930, 6, 129/12 BEING PI LOTS 12, 13, 14, 15, 16, 17, 18, 6 19 DP 615 FOR LAND LISE AND LAND MODIFICATION APPLICATION FOR UNITED BLOCK DOMEST AND UNIT CONSTITUTE CHOCKERS promining & MEX. O. PARTON # \$100 (\$40) \$100 PLAN SHOWING PROPOSED DEVELOPHENT LAYOUT WOOD & PARTNERS CONSULTANTS UMITED **HEALT AND** 2WZZ9 A364 JATOT 10.6699ha ₩89Þ 5m834 <u>ш/9</u>ъ 68 **SUBDIVISION** سر75, **₽**₩206 RESIDENTIAL LOTS(115) 7.8531ha 18 28 8/ PEDESTRAIN ACCESS FUTURE 645250.0 64 572m² PLANTING AREAS 6,2130ha PROPOSED STOOL 04 HOVO 10 AE2T **₂**‱666 S,5786ha 718m² zш9201 SCHEDOLE OF AREAS 27242 72 910س **₽**45₩ş ٤Ł 2₩0**₽**9 JUZ/9 HAPEL **т**па 89 ۷9 ويريشع 2<u>74</u>m5 92 99 ₂ως/9 وا دسے ₃ш026 т**ш81**6 ը3**ջ**ш_հ ₂WZ89 19 09 19 69 79 29 **585m²** SUBDIVISION APPLICATION 25 **ω**Σ8ς وووس EXTENT OF w£89 ²mS07 ₂Ψ//9 **-8318** 99 99 ٤S 85 ٤g **Z**06 is LE6 48 mS.81 8 GAOA ₂ш/59 g,w159 ₹**ш**⊁£6 2**Ш₩**0∠ 3m£€€ SR ₂WZ/9 52W21/ 702m² 91 199 09 732m² 049 ,w**9**Z6 9086سع 98 ,W119 48 ш9/9 6E **,**₩**∠**▶9 Sξ وويس 98 220ms ,ш6**9**9 ,w089 **201** QÇ ,wasa Ob Þ٤ (VZ0S روس Z6 ['] 3 CMON 4 M5.81 TOLOR WS'21 OCT. وووس 1237 EΕ JUELL 624س ъш t 29 ₂Ψ//9 אַנער ג zШ004 67 **W/16 .**Ш069 82 UE wzoz. **ZE**1 ZZ 56 **,₩0**\$9 **6**£1 138 **443m**3 9702 .WZ03 waac ZZ 961 **بالا**د ₂w909 41 Œ **€**3 52 96 LOL WS:21 وووس, **,**ωι 29 -wata ±m0∂∂ 2WZ0Z 14.6m **,ш619** 132 4 CAOH 8+1 201 zm1E√ 35 .W/29 **₽**₩ES6 133 2₩∠Ζ9 **-™0£6** 50 _гш619 5m109 ZWZZL ₩£L **₩0**₩6 103 611 2W919 131 61 117777 _ewess ,ш576 **.**20099 701002 .шt0Э ±₩∠E6 լալգց 101 6 5m803 \$71 157 921 8Z1 631 و و ح ت **₩**296 ලා OMITS. 10 æ 588m² **2000**/ ,WS19 **631m**2 و02س ε . 411 س209سر П 151 QZ \$ 811 155 **,**4669 ₂44099 911 ,wZ69 _гш9/5 ²mt 29 eS3# m269 **Ш**2þ9 **JWZS9** 300ms 71 933#₅ **2WSQ/** 801 601 115 113 ÞΙΙ 111 SÍI IN ESTIMATION SMALES ROAD

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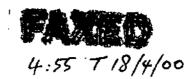
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FILE
ALL
CORRESPONDENCE
AND PLANS
HEREAFTER

except engineering

and in date order latest first

NB: Suitably endorse all superseded plans and reports





Environmental Services

		Private Bag 76917
To:	Mr M Williams.	Manukau City
	_	New Zealand
Company:	Wood & Ptnrs. Cons. Ctd.	DX EP75557
		Fex (09) 262-5168
Fax No:	379 3236	(09) 262-5109
From:	Mike Pritchard.	Email:@manukav.govl.nz
Date:	/8/4/00 No of Pages:	
Subject:	Sutton East Stage 1.	

Mark. Re your fax of today.

Showing Lot 108 as a lot on

the L.T. plan. 15 OK.

With Compliance and

Will not cause any problems

RE 223.

n.

E To

WOOD & PARTNERS CONSULTANTS LTD

Consulting engineers registered surveyors, town blanners

DIRECTORS:

D. U. WOOD MILPEINIZ., EN ZILS., RIS. FIJI T. J. D. JAMES NIZICILS., BISURV., MINIZILS D. W. WILLIAMS BISURV., MINIZILS, J. F. GARDINER BIG., MILMEIN Z. M. G. WILLIAMS BISURV., MINIZILS. 17 APR 2000 M.C.C. (7) ENTRAL REGISTRY



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Our Fax: 09 379 3236

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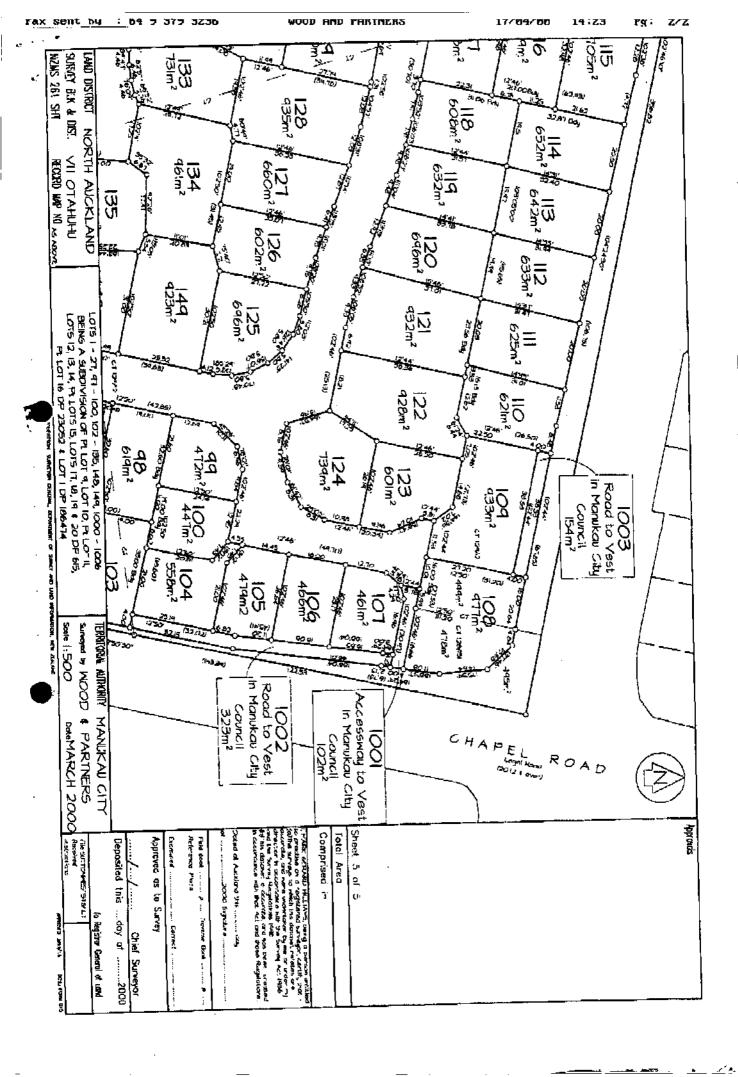
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Environmental Services

18 April 2000

Wood and Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

DECISION ON AN APPLICATION FOR CHANGE TO A RESOURCE CONSENT PLAN OF SUBDIVISION

Applicant:

Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1

and 2)

Application:

Resource Consent for changes to an approved Subdivision (layout) being

the redesign of the Stage 1 layout of Lots 25 and 26 to create an

additional Lot 27.

Location:

474 East Tamaki Road, East Tamaki

MCC Reference:

SP6326A (Proposal No. 16734)

Legal Description:

Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Zone:

Future Development Stage 1 (Operative Manukau District Plan)

Main Residential (Proposed Manukau District Plan)

I wish to advise that resource consent for the above proposal has been considered under delegated authority and that consent has been granted pursuant to Section 127 of the Resource Management Act 1991, subject to the following conditions being complied with to the satisfaction of, and at no cost to the Council.

That all conditions and advice notes of the Resource Consent (SP6326 P15173) dated
 December 1999 shall remain in effect except as stated below:

STAGE 1 - Residential Lots 1-27, 97-100, 102-135, 148 and 149 (67 Residential lots)

Stage 1 Condition 2 is amended to read:

2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326A) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326A, Proposal 16734 Direct Dial: 262-8900, extn 5874 Enquiries to: Mike Pritchard Direct Facsimile: 262-5168

- (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.

Stage 1 Condition 15 is amended to read.

15. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level
3	23.00
4	22.85
5	22.74
6 7	22.60
7	22.50
8	22.35
9	21.85
10	21.75
11	21.75
16	21.75
17	21.75
18	21.75
19	21.80
20	21.90
21	22.00
22	22.06
23	22.20
24	22.30
25	22.40
26	22.50
27	22.62
97	25.75
98	25.75
99	23.89
102	26.35
103	26.35

Lot	Minimum Floor Level				
117	22.79				
118	22.95				
119	23.11				
120	23.27				
121	23.47				
122	23.58				
124	23.63				
125	23.63				
126	23.35				
127	23.20				
128	23.03				
129	22.83				
130	22.71				
131	22.60				
132	22.48				
148	24.18				
149	24.03				

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

Stage 1 Condition 22 is amended to read:

22. A reserves contribution of \$508,551.13 (including GST) being 6% (plus GST) of 65/66 x the aggregate assessed current market value of Lots 1-27, 97-100, 102-107, 109-135, 148 and 149 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 1 of the subdivision, whichever is the sooner.

REASONS FOR DECISION

The Council is satisfied that the amendment to Lots 25 and 26 will not create adverse effects and the District Plan provisions will continue to be complied with.

COSTS

The deposit of \$562.50 already paid will be deducted from the total costs.

RIGHT OF OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

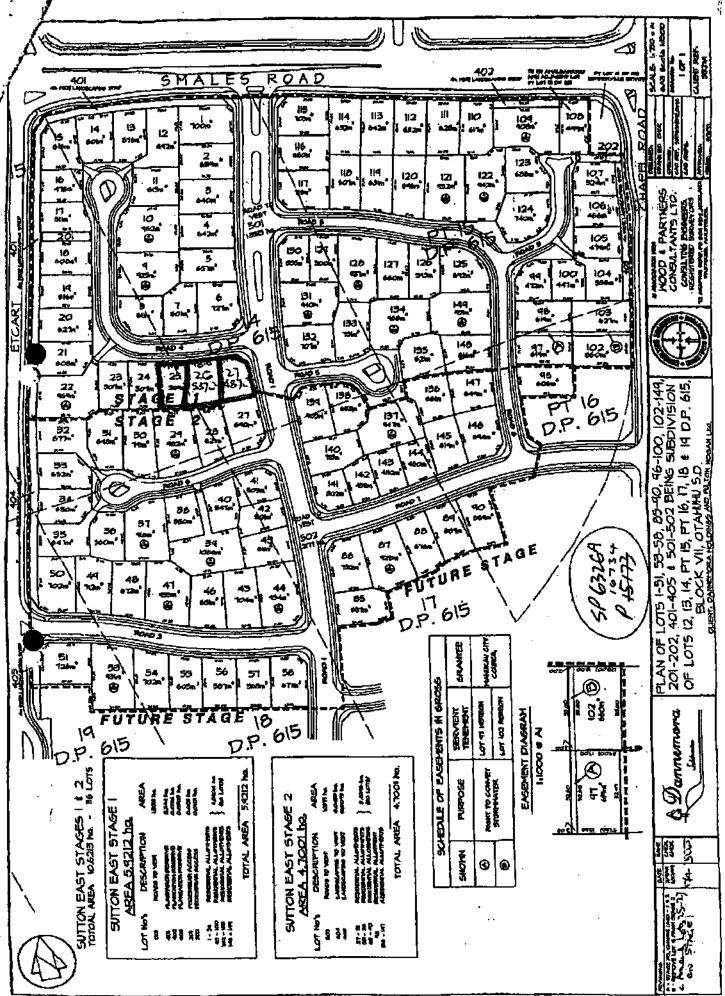
Yours faithfully

Commandation of 10 111 RE: 8 357 AMADE 1051

Robert Chieng

Leader - Resource Consents **RESOURCE CONSENTS & COMPLIANCE UNIT**

1021



Nº SP6326A P 16734 world. Robert. a change to. 58 6326. St1 22 SP 6326 P15173. Only m they propose to put another lot (Lot 27) where lot 25 and 26. were originally approved. This affects 3 conditions organoly poposal. (a) Cond2 c 15 Stage1 had references to 5/6326. now 5/6326-A 50-were altered. (6) reserve conhibution Corol 22 Stage 1 delter - (1 exha lst) -- fd-4... approved) proposed 27. 26

SP 6326 P 15173 Sutton East Slage 1 14/4/00 Slage 1 \$ 501,984,00 old. 1-26. 97-100 * 20 to be futher substructed 7,553,000 total aid total. E -136 000 old 26 + 186 000 274 + 117,000 264 \$ 7,650,000 / new total needs to be × 65/66 1 experts+ \$.508,430.76 Sutton East Stage 2+3

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. IAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z.

M. G. WILLIAMS B.SURV., M.N.Z.

RECEIVED

17 APR 2000

M.C.C.
ENVIRONMENTAL SERVICES



Our Ref: DM/SuttonE/RC

-17 April 2000

The Team Leader
Environmental Services
Manukau City Council
Private Bag
MANUKAU

ATTN: MIKE PRITCHARD

Dear Mike

DANNEMORA SUTTON EAST STAGE 1 SP 6326 PROPOSAL 15173 STAGE 1

SP 6326 A

Further to your request and fax of 17 April 2000, we enclose herewith three amended copies of the consent plan for Stages 1 and 2. We have shown the amended sizes for Lots 25-27 as requested from the original Lots 25 and 26 on Stage 1. Note that the plan still shows an additional Lot 27 on Stage 2, which has subsequently been renumbered on SP 6355.

We trust these amendments meet with your requirements.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD Director



Environmental Services

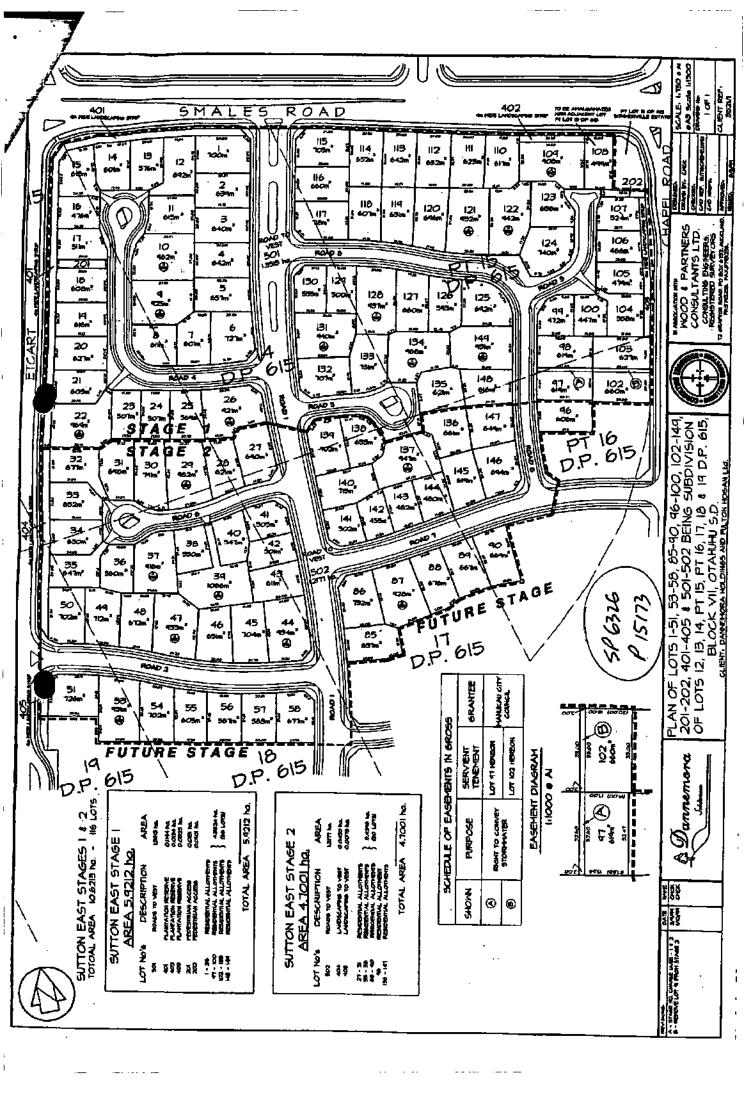
	Α .	Private Bag 76917
To:	D. Wood	Manukau City
	1) 01	New Zealand
Company:	Wood & Ptnis.	DX EP75557
	3793236	Fax (09) 262-5168
Fax No:	7/73436	(09) 262-5109
From:	Mike Pritchard Email:	@manukau.govt.nz
Date:	/7/ 4 / 00 No of Pages: 3.	
Subject:	Dannemora. Sulton East Block	5/182
Λ	as chocussed:	
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	Nes. Con. For stage 1.	
	(b) please use attached plan	for application
	for change to condition. (A3 5	ize ok)

Regards

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.

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All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this massage and return it to us uncopied.



WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., E.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



Our Ref: Sutton/E/RC

16734

7 April 2000

The Team Leader
Environmental Services
Manukau City Council
Private Bag 76-917
Manukau City
AUCKLAND

ATTN: MIKE PRITCHARD

RECEIVED
-7 APR 2000
M.C.C.

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1 charge

1280 AND USE CONSENTS

\$562**.**50

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Fux invoice/Receipt GST Ant: \$42,50

Dear Mike

RE: DANNEMORA SP 6326 PROPOSAL 15173 SUTTON EAST STAGE 1 AMENDMENT TO LAYOUT

We spoke earlier this week regarding the amendments to Lots 25 and 26 of the original Subdivision Consent plan submitted to Council quite some time ago.

In rescheming Stage 2 to incorporate the slip road frontage to Lots 49, 50 258-261, 263-272, Alex Parton amended the cul-de-sac and layout of Lots 28-39. He also amended the layout in Stage 1 of Lots 25 and 26, changing Lot 26 from a double unit lot to two single lots and reducing the size of Lot 25.

Unfortunately while these changes were carried through onto the engineering drawings, we omitted to advise Council of a change for Consent purposes to these lots.

We enclose herewith an A3 size print of the amended layout. As discussed the only changes to the Consent for Stage 1 should be to the Reserve Contribution figures discussed earlier.

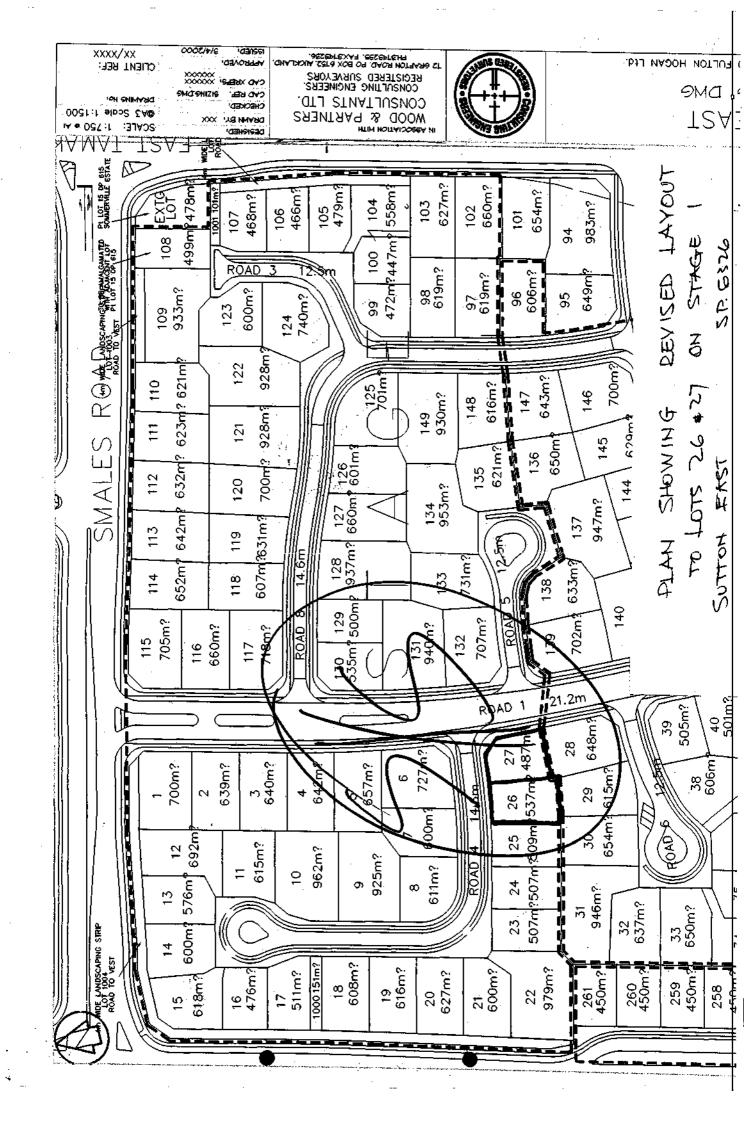
If there is any further information you require please let us know.

We enclose herewith a cheque for \$562.50 being the full requisite fee.

Yours faithfully WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD

Director



Proposal No:

16734

File Ref:

SP6326A

SITE ADDRESS

474 EAST TAMAKI ROAD

WARD

OTARA

LEGAL DESCRIPTION
LOT 12 DEEDS PLAN 615

APPLICATION: CHANGE TO CONDITIONS SP6326 15173 Applicant: **DANNEMORA** HOLDINGS Agent: WOOD & PARTNERS LTD LTD/FULTON HOGAN LTD Address: PRIVATE BAG Address: PO BOX 6752 **ELLERSLIE** WELLESLEY STREET AUCKLAND DON 379 3235 Contact: Consent Co-ordinator Consent Type **Change of Conditions** Michael Pritchard Operative Zone **FUTURE** Proposed Zone MAIN RESIDENTIAL DEVELOPMENT (STAGE 1) 7/46ý7/46ý7/46ý7/46ý7/4 Cadastral Map District Plan Map 6ý7/46ý7/46ý7/46 Discipline Vetting comments. Please select option and if necessary provide details over Does not require NFA Thive inken copy and Commons ((more space over vetting (tick √) conditions Planning Refer to Urban Designer Yes/No Subdivision Engineering Financial contributions Yes/No. Manukau Water 12/4 LRUS Transportation Refer to roading Yes/No **Building Consents** Copy of cross lease/unit title plan to Robin Meehan Yes/No Environmental Protection Twenty days _____ Fast Track Yes/No Received 07/04/00 Ten days_____ Section 94 Notified/ Five days Site inspection Non-notified assessment Section 92 requests Information received Internal referrals to Response

Decision status	Granted/Refused/Withdrawn	District Plan	Activity Type	
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BRS-RC-101 issue No 1 Page 2 of 2

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07) Contact 379 323 09) Consent Type S 11) Misc.		06) Agent Address 08) Date Received 10) Deposit Fee	12.08.99
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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS: D. L. WOOD MILE N.Z., EN.Z.LS., R.S. FIL I. I. O. IAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV, M.N.Z.LS. L. GARDINER B.L., MJ.P.E.N.Z. M. C. WILLIAMS B.SURV, M.N.Z.I.S.

cc. HW 22/12/99 AP.

Our Ref: DM/SuttonE/RC

22 December 1999

The Leader - Resource Consents Resource Consents & Compliance Unit Manukau City Council Private Dag 76-917 Lute 14 MANUKAU CITY

ATTN: MR MIKE PRITCHARD

Dear Mike

RE: DANNEMORA SUTTON EAST STAGES 1 & 2 RESOURCE CONSENT APPLICATION SP 6326 PROPOSAL Nº 15173

Thank you for the Resource Consent dated 1st December (which we uplifted on the 6st December) for the above stages of Dannemora.

We have, at our client's request, resubmitted an amended Stage 2, together with Stage 3 to Council for Resource Consent (Subdivision). Our objections therefore as outlined below refer specifically to Stage 1 of this development but may also apply to Stage 2. Our client has asked us to formally lodge an objection to the following clauses under Section 357 of the Resource Management Act 1991.

Item 7 Stormwater Treatment Contribution

Reason for Objection

Dennemora has made a submission to Council regarding a change to the contribution rate. The existing condition does not give any certainty that the rate will be amended on completion of the review. The advice note does not have any status.

Dannemora would agree to the condition with new wording for item 7 as follows:

"A stormwater treatment contribution for Tamaki/Point View stormwater ponds (FC3) should be paid to Council. The extent of that contribution is yet to be resolved but has been tontatively assessed by the Applicant at this stage as being approximately \$2,350.00 plus GST per hectare for the total area of Stage 4 of 5.6077 hectares. Council is currently reviewing the contribution rate application

to financial contribution to FC3 to take account of the elimination by Council of one of the five stormwater quality ponds included in the original Catchment Analysis by Beca Carter. It is likely that this will result in a contribution rate in the order of that set out above. The precise contribution rate will be advised once that review has been completed. Council reserves to the applicant the opportunity to seek a review of the contribution rate in accordance with Section 357 of the Resource Management Act 1991, Account Nº 9999817 DO 1440. The final contribution should be adjusted annually until paid, based on the previous year's Opus construction index or equivalent."

Item 9 Water Supply Contribution

Reason for Objection

Dannemora through its Consultants has had discussions with Manukau Water regarding the level of contributions Dannemora is being asked to pay for Water Supply contributions. It is acknowledged by both parties that the current rate of \$120/m is applicable to upgrade existing mains in a built up area where items such as other services, hedges and fences, paths, vehicle crossings, traffic, pedestrians, and restoration to name a few have to be taken into account. These items do not apply in areas such as Chapel, Smales and East Tamaki Roads, especially where Dannemora owns the land on both sides of the road. A submission has recently been made by Dannemora to Manukau Water suggesting that it is more practical for Dannemora's contractors to lay mains to Councils requirement and for Dannemora to pay the equivalent of a 150% main on one side and a 50ø main on the other side of the road. Manukeu Water is at present considering this submission.

Relief Sought

That Dannemora Install the water reticulation to Manukau Water's requirement and that Dannamora pay the equivalent of a 150ø main on one side of the road and a 50ø main on the other side.

Upgrading Contribution Smales Road tom 10b

Reasons for Objection

The condition requires that Dannemora pays an upgrading contribution for Lot 108, i.e. \$440 + GST x 18.0m = \$8,910 incl. GST. It would appear that Dannemora is now being penalised for assisting Council in overcoming an impasse with the Sommerville Estate Trustees over land needed for road widening at the corner of Smales & what was East Tamaki Road.

Dannemora assisted Council by providing Lot 108 which will be amalgamated to Pt Lot 15 which is owned by the Sommerville Estate. The area of Lot 108 at 499m² is in compensation for an area of 492m² which Council required for road widening. Council & Dannemora have executed a Sale & Purchase Agreement for \$60,000 as compensation for this lot.

Dannemora says.

- The land is currently held by the Sommerville Estate, under a Sale & Purchase agreement. (1)
- The compensation of \$60,000 was a rock bottom figure agreed to by Dannemora to make progress on the upgrading works of Smales Road. While a separate title will not be (2) available for Lot 108, a comparable value as a single lot would be that placed by Quotable Values on Lots 105-107, i.e. \$104,000. While there would be development costs necessary to obtain a separate title for Lot 108, i.e. extension of sewer & stormwater (minimal); reserve contribution, Council fees, etc. costs would be nowhere near the \$44,000 difference between what Council paid for the lot, and what its actual value is as a separate lot.

Relief Sought

That no road upgrading charge be made by Council for the frontage to Lot 108,

Hern 11

Reasons for Objection

Dannemora has made submissions to Manukau Water regarding the sewer reticulation through this stage of development. The submissions are on the basis that the sewer reticulation between Smales Road & Chapel Road comprises 450ø, 375ø, 300ø & 225ø pipes, not the normal sized subdivisional reticulation. It is felt that there is no difference between the 450¢ Council sewer north of Smales to the Watercare sewer, for which contributions are being made on a catchment basis, and the sewer between Smales & Chapel which Dannemora is being required to fund totally.

That the cost of the reticulation between Smales & Chapel Road be apportioned between the upstream catchment land owners on a similar basis to the sewer costs north of Smales Road to the Watercare sewer.

Reserves Contribution item 22

Reasons for Objection

Dannemora has advised that it is obtaining valuations for the lots in this stage of development. This should be available early in January 2000.

Religf Sought

An objection is made to the Reserve Contribution as assessed until Danmemora has had the opportunity to compare values.

As stated earlier, Stage 2 of Sutton East has been resubmitted to Council along with Stage 3 for full Resource Consent (Subdivision). Should for any reason Council have a change of mind over verbal approvals given to the proposed slip road to ETCART, then the above objections to Stage 1 development should also be applied to Stage 2.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD Director

Dannemora

book

CÇ; CC:

Alex Parton

Environmental Services

1 December 1999

Wood and Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sir

DECISION ON AN APPLICATION FOR A SUBDIVISION RESOURCE CONSENT

Applicant: Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1

and 2)

Application: Resource Consent for Subdivision of the existing three parcels comprised

in Certificates of Title 55A/1478, 43A/930 and 129/12 into 117 fee simple

lots in 2 stages (Controlled Activity)

Location: 474 East Tamaki Road, East Tamaki

MCC Reference: SP6326 (Proposal No. 15173)

Legal Description: Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Zone: Future Development Stage 1 (Operative Manukau District Plan)

Main Residential (Proposed Manukau District Plan)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Non-complying Activity pursuant to the provisions of the Council's Operative Transitional District Plan and a Controlled Activity pursuant to the provision of the Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

 That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.

STAGE 1 - Residential Lots 1-26, 97-100, 102-135, 148 and 149 (66 Residential lots)

2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326, Proposal 15173 Enquiries to: Mike Pritchard Direct Dial: 262-8900, extn 5874 Direct Facsimile: 262-5168

- (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- 3. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 4. (a) All new roads and accessways shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 1 with Smales Road, including construction of footpaths and berms.
 - (d) The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road.
 - (e) All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
 - (f) Road upgrading works shall be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

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Engineering design plans for these works shall be submitted for approval by the Manager – Resource Consents & Compliance.

- All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- A comprehensive stormwater discharge levy (FC45) of \$2,731.15 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

7. A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$52,358.21 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

8. A wastewater contribution of \$6,861.19 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 1 of 5.9212 ha. (Smales Road Sewer - REF FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

9. A Water Supply Contribution of \$68,348.25 including GST shall be paid to Manukau City Council.

The current contribution rate shall be adjusted annually until paid based on the previous years' Opus Construction Cost Index (or equivalent).

The applicant is advised that this contribution is based on \$120.00 + GST per lineal meter on Smales Road and East Tamaki Road frontages – 540m (340m and 200 m on Smales Road and East Tamaki Road respectively) less \$4046 +GST being the cost of the physical works (170m of 50 mm diameter at \$23.80 per linear metre), the applicant has proposed to carry out on East Tamaki Road frontage. (Reference Wood and Partner's facsimile dated 22/10/99) (Water Supply Road Frontage -Ref. FC5).

- 10. A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 22, including the length of frontage to ETCART of lots 15, 16, 17, 201, 18, 19, 20, 21, and 22.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

(b) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of Lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of Lot 108 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109 and 108.

This contribution has been assessed at \$440.00 plus GST per metre of road frontage. This contribution has been adjusted for the work required in condition 4(d).

11. Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- 12. An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 13. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
 - (d) The existing overhead services located along the Chapel Road frontage shall be relocated underground unless advice has been received from the relevant utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- 14. Street lighting facilities shall be supplied and installed on all new roads, Smales Road and Chapel Road in accordance with Chapters 7 and 9 of the District Plan and the MANARC Standards.
- 15. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
3	23.00	
4	22.85	
5	22.74	
6	22.60	
7	22.50	-
8	22.35	
9	21.85	
10	21.75	
11	21.75	- :: <u>-</u> ::-
16	21.75	
17	21.75	
18	21.75	
19	21.80	
20	21.90	
21	22.00	
22	22.06	
23	22.20	
24	22.30	
25	22.40	
26	22.50	Unit facing Road 4
26	22.62	Unit facing Road 1
97	25.75	
98	25.75	
99	23.89	
102	26.35	
103	26.35	
117	22.79	
118	22.95	
119	23.11	
120	23.27	
121	23.47	
122	23.58	
124	23.63	
125	23.63	
126	23.35	
127	23.20	
128	23.03	
129	22.83	
130	22.71	
131	22.60	
132	22.48	
148	24.18	
149	24.03	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

(b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing:

(ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

16. (a) As Lots 97 and 102 are subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents shall be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

(b) The following minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for those lots adjoining this flow path have been resolved with the Council.

Lot	Minimum Floor Level
97	25.75
98	25.75
102	26.35
103	26.35

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

(c) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing or in accordance with specific design, in terms of the parameters in the District Plan and approved by the Council's Manager - Consents & Compliance.

This condition shall be complied with on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act.

17. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall

either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- 18. (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)					
PERIOD	Monday - Saturday Sunday and Public			Holidays		
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}
0700-1800	60	. 75	85	45	50	65
1800-2200	45	50	65	40	45	65
2200-0700	35	40	65	35	40	65

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."
- 19. Lots 401 to 403 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 401 to 403 to prevent any access from the relevant lots to the adjoining arterial roads.

- Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (District Land Registrar Ref A.634788).
- 21. (a) Lot 501 shall be vested as road in the Manukau City Council.
 - (b) Lot 201 and 202 shall be vested as Local Purpose (Accessway) in the Manukau City Council and constructed and fenced in accordance with the approved drawings referenced E7/15173 by Council.
- 22. A reserves contribution of \$501,984.00 (including GST) being 6% (plus GST) of 64/65 x the aggregate assessed current market value of Lots 1-26, 97-100, 102-107, 109-135, 148 and 149 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 1 of the subdivision, whichever is the sooner.
- 23. All lots shall comply with the subdivisional requirements of the District Plan.
- 24. Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.
- 25. Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and

All conditions shall be fully complied with the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

STAGE 2 - Residential Lots 27-51, 53-58, 85-90, 96 and 136-147 (50 Residential lots)

- All works required to provide access and servicing to Stage 2 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:
 - (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
 - (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
 - (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's approved field officer.
 - (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.

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- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- 2. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 3. (a) All new roads shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 2 with ETCART, including construction of footpaths and berms.
 - (d) All activities undertaken in relation to the ETCART route shall be in accordance with the Construction Agreement between the applicant and the Council.
- 4. All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- 5. A comprehensive stormwater discharge levy (FC45) of \$2,167.92 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 2 of 4.7001 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Works Consultancy Construction (or equivalent) Cost Index.

 A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$41,560.63 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 2 of 4.7001 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

7. A wastewater contribution of \$5,446.24 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 2 of 4.7001 ha. (Smales Road Sewer - Ref FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

- 8. A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of Lot 32, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of Lots 32, 33, 34, 35 and 50. From the projected northern boundary of Lot 51 south to the projected southern boundary of Lot 51.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

9. Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 11. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
- 12. Street lighting facilities shall be supplied and installed on all new roads in accordance with Chapters 7 and 9 of the District Plan and the MANARC standards.
- 13. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
27	22.75	
41	22.97	
42	23.05	
43	23.20	
44	23.30	Unit facing Road 1
44	23.38	Unit facing Road 8
58	23.68	
85	23.40	
86	23.30	

Lot	Minimum Floor Level	Comment
139	22.78	\
140	22.92	
141	23.00	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of title of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

14. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- 15. (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the

applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.

(c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)					
PERIOD	Monday - Saturday Sunday and Public I			Monday - Saturday Sunday and Public Ho		Holidays
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}
0700-1800	60	75	85	45	50	65
1800-2200	45	50	65	40	45	65
2200-0700	35	40	65	35	40	65

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."
- 16. Lot 502 within Stage 2, shall be vested as road in the Manukau City Council and the road shall be formed and sealed across the full frontage of Lot 58.
- 17. Lots 404 to 405 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 404 to 405 to prevent any access from the relevant lots to the adjoining arterial roads.

- 18. A reserves contribution of \$400,410 (including GST) being 6% (plus GST) of the aggregate assessed current market value of Lots 27-51, 53-58, 85-90, 96 and 136-147 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 2 of the subdivision, whichever is the sooner.
- All lots shall comply with the subdivisional requirements of the District Plan including all lots associated with the redesign of the Road 3 cul-de-sac head.
- 20. Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.
- Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and

All conditions shall be fully complied with, Stage 1 (SP6326) shall be completed and released, the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

ADVICE NOTES

The applicant is advised as follows:

- 1. That the Council's Land Information Register will record any consent notices pursuant to Conditions 3(b), 15, 16 and 19 of Stage 1 and conditions 2(b), 13 and 17 of Stage 2.
- 2. The specified minimum floor levels in this consent may be varied by the approval of Council's Manager Resource Consents & Compliance. Any variation required must be requested at the time of the site variation intended (not retrospective) and should include a detailed specific engineering design in accordance with the provisions of the District Plan.
- That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- 4. That it will be the applicant's responsibility to satisfy all requirements of the Inland Revenue Department in respect of Goods and Services Tax including any requirements that may be made in respect of proposed public services and land to vest in the Council. Such requirements must be satisfied before a "Section 224" certificate will be issued.
- 5. The applicant is to liaise with Council regarding the co-ordination of subdivisional constructions works and the construction of ETCART.
- 6. Clause 6.B.6.1 of Council's Engineering Quality Standards Manual (carriageway acceptance) in respect to Council carrying out Benkleman Beam tests at no cost to the developer has been amended to the extent that the cost of this work shall now be borne by the developer.
- 7. That although the proposed lots do not contain any known archaeological sites, it is possible that unrecorded sites may exist on the lots. Pursuant to the Historic Places Act 1993 it is unlawful for any person to destroy, damage or modify an archaeological site unless an authority has been obtained from the NZ Historic Places Trust. Failure to obtain consent may result in a fine of up to \$100,000. The Trust must be consulted prior to development to ensure that the provisions of the Act are observed. Should the applicant, or any subsequent purchaser, uncover an archaeological site during development, the Trust must be consulted.
- 8. Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rates specified in conditions 7 (stage 1) and 6 (stage 2) then these rates will be amended accordingly, if this occurs prior to the Section 224 release.
- 9. Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.

10. The engineering plans for the upgrading of Chapel Road have not been required before granting this resource consent application because the applicant has indicated that arrangements have been made to have this work doe as part of the subdivision works for the property on the eastern side of Chapel Road (Howick Parklands).

Whatever arrangements are made by the applicant for the execution of this work, it must be completed before issue of the 224 certificate.

REASONS FOR DECISION

- 1. The proposal is generally in accordance with the Land Use approval for Concept Subdivision dated 14 September 1999.
- 2. No submissions have been identified against the proposed zoning of the land to Main Residential in the Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau City Transitional District Plan and sections 104, 105 and 405 of the Resource Management Act 1991.
- 4. The proposed subdivision was considered as a controlled activity, as the proposed allotments comply with all relevant requirements of the Transitional and Proposed District Plans.
- 5. All identifiable adverse effects resulting from the development will be avoided, remedied, or mitigated by the provisions in the District Plans and the above conditions of consent.

COSTS

- The deposit of \$562.50 already paid will be deducted from the total costs.
- 2. That in addition to the consent charge for the above subdivision, and further pursuant to Section 36(1)(c) of the Resource Management Act, an engineering administration, compliance and supervision charge, relating to the engineering conditions of the Resource Consent will be applicable together with administration charges relating to the release of the subdivision as fixed by determining all reasonable and actual costs incurred by the Council. The actual charges incurred in the Council's field monitoring of the engineering works will be determined at the completion of works and will be payable prior to release/completion. The applicant will be advised of the charges as they fall due.

OBJECTION

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Please note that from 1 October 1999 the Council requires a deposit fee of \$450 (inclusive GST) to accompany any objection relating to valuation figures, financial contributions and the provision of works associated with the provision of infrastructure. (Minute No. 1455/99).

Any such objection may incur the reasonable costs of processing the objection above and beyond the deposit fee (Sec 36(3) of the Act).

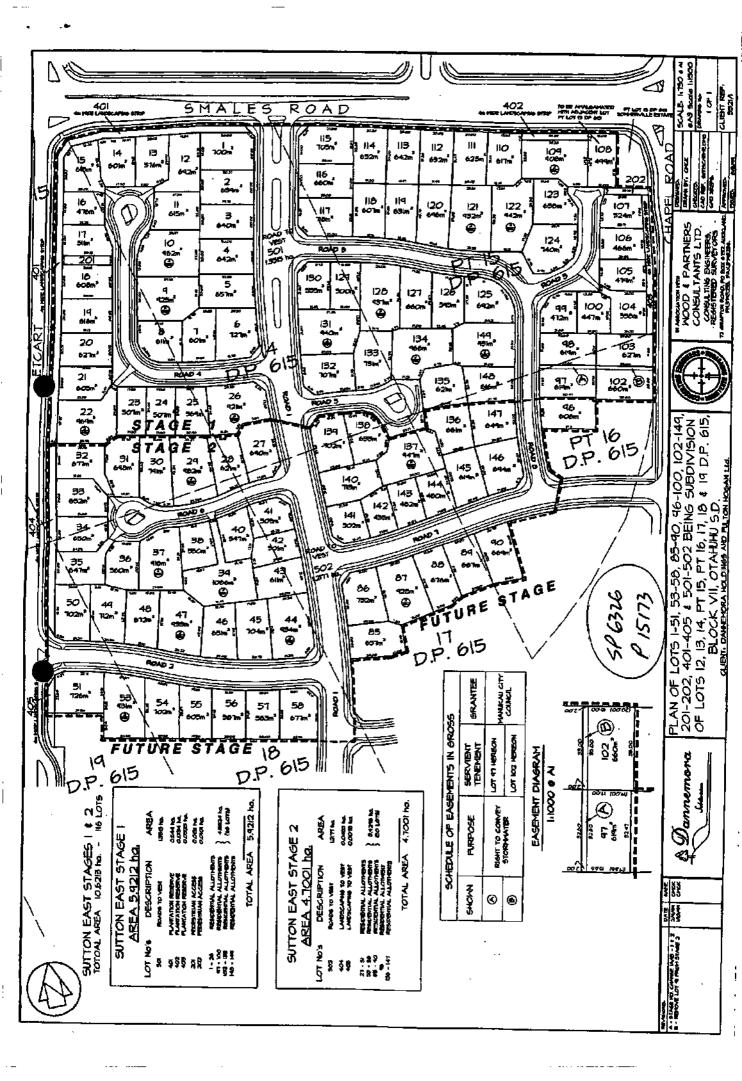
Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

Ulh

Robert Chieng
Leader - Resource Consents
RESOURCE CONSENTS & COMPLIANCE UNIT

1021



MANUKAU CITY COUNCIL

APPLICATION FOR RESOURCE CONSENT NOT REQUIRING NOTIFICATION CONSIDERED UNDER DELEGATED AUTHORITY

Dannemora Holdings Ltd & Fulton Hogan Ltd Subdivision of Sutton East Block Stage 1 Proposal 15173, SP 6326 474 East Tamaki Road Otara

1.0 DESCRIPTION OF THE PROPOSAL

Consent is sought for a subdivision of 116 freehold lots (in two stages) from the 3 existing underlying certificates of title including the upgrading of Smales Road, Chapel Road and ETCART frontages. The land is generally level, being partially filled pursuant to a previous land modification consent. The land is zoned Future Development (Stage 1) in the Transitional District Plan and Main Residential in the Proposed District Plan.

2.0 REASONS FOR THE APPLICATION

Pursuant to Section 405 of the Resource Management Act 1991 the proposed subdivision is deemed to be a non complying activity in respect of the Transitional District Plan. Furthermore, the proposal is deemed to be a controlled activity in respect of the Proposed District Plan.

3.0 PLAN PROVISIONS

(a) Relevant Provisions (include objectives and policies)

Chapter 5 (General Rules & Provisions); Chapter 9 (Subdivision); Chapter 13 (Residential); Chapter 15 (Public Open Space)

(b) Assessment Criteria

9.5.1:9.12.1:13.15

(c) Conditions the Plan requires to be imposed

The District Plan requires all new allotments created by subdivision to be fully serviced to an urban residential standard.

4.0 STATUTORY CONSIDERATIONS

Part II, Sections 104, 105, 108, 220 and 405.

5.0 AFFECTED PERSONS' APPROVALS (SECTION 94 OF THE ACT)

The attached Section 94 assessment report shows that no persons are considered adversely affected by the proposal.

Accordingly, the application is being processed on a non-notified basis.

6.0 ASSESSMENT OF THE APPLICATION

6.1 Assessment criteria of the District Plan

The effects of the general proposal were considered previously for a concept subdivision and land modification consent (SP 6198) granted 14 September 1998.

The proposed allotments conform with the local topography and have suitable frontage and access. Further necessary earthworks for the construction of the allotments has been approved as a Land Modification consent previously.

The proposed allotments fulfil the intentions of the District plan, and the disposal of sewage and stormwater has been adequately addressed. The Council's infrastructure has been designed to accommodate subdivision at this density.

The development will not compromise amenity values, and is consistent with the objectives and policies of the plan.

6.1.1 Evaluation under Manukau Transitional District Plan

The application has been assessed against the provisions of Part 6. No provision was made for subdivision in the Future Development (Stage 1) zone of the Transitional District Plan, therefore a non-complying consent is required. The lots comply with the performance standards pursuant to Rule 9.5.2.1 of the Transitional District Plan.

A requirement for a reserve contribution has been considered in accordance with the provisions of Part 6: Development and Subdivision. The application creates additional residential allotments. Therefore, in accordance with Rule 6.3.20.5(a), a reserves contribution will be imposed as a condition of this consent.

All engineering requirements have been assessed as a Restricted discretionary Activity.

6.1.2 Evaluation under Manukau Proposed District Plan

The proposal has been assessed against the Rules and provisions of Chapters 5, 7, 9 and 13.

Pursuant to Rule 9.5.1.1(b)(i), the subdivision has been assessed as a Controlled Activity The lots comply with the Rules 13.15.1.1 and 13.15.2.1 of the Proposed District Plan.

The proposed fee simple subdivision will create additional allotments. As discussed above, a reserve contribution will be imposed as a condition of consent in accordance with Rule 15.15.2.3.3.1.

All engineering requirements have been assessed and approved as a Restricted Discretionary Activity.

6.2 Objectives and Policies

The proposed subdivision is consistent with the objectives and policies of Chapter 9 which seek to enable subdivision provided that the environmental qualities and character of the area are preserved, and any adverse effects are avoided, remedied or mitigated.

The objectives of the residential zones seek to promote diversity and choice of lifestyle options and maintain and enhance the pleasantness and aesthetic qualities of the City. The Plan's policies promote residential development which encourages energy efficiency and subdivision diversity, while maintaining a high level of amenity and open space.

The proposal also achieves Chapter 15's objectives and policies to provide public open space areas through development, and to maintain and enhance the amenity values of these areas.

6.3 Section 104 of the Act

All actual or potential effects have been considered, as have all relevant regulations. All relevant provisions of the Plans have been considered as outlined above, and there are no designations or heritage orders affecting the site.

The land is zoned Future Development Stage 1 in the Transitional District Plan. The land in this zone is intended to remain unsubdivided until the programmed transition to appropriate urban zoning is undertaken.

No submissions have been identified against the proposed zoning of the land to Main Residential in the Manukau Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.

6.4 Part II of the Act

The proposed subdivision is consistent with the Act's purpose of sustainable management, and does not compromise any of the matters described in Section 5(2). The proposed subdivision also recognises and provides for the listed matters of national importance and the subdivision is not considered to be inappropriate for the same reason.

The proposed subdivision does not compromise any of the other matters listed in Section 7, and the Treaty of Waitangi has been taken into account in determining the application.

6.5 Section 105

Section 105(2A) of the Act states that, in the case of an application for a non-complying activity, Council must not grant consent unless satisfied that the adverse effects on the environment will be minor or the activity will not be contrary to the objective and policies of either the Transitional or Proposed District Plans.

As outlined above, I am satisfied that the adverse effects on the environment resulting from the granting of subdivision consent will be no more than minor. The threshold test comprised in Section 105 of the Act is therefore satisfied.

7.0 RECOMMENDATION

That resource consent for the above proposal has been granted under delegated authority as a non-complying and controlled activity pursuant to the provisions of the Transitional and Proposed District Plans, and Sections 104, 105 and 108 of the Resource Management Act 1991, subject to the following conditions being complied with to the satisfaction of, and at no cost to the Council.

8.0 CONDITIONS & ADVICE NOTES

 That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.

STAGE 1 - Residential Lots 1-26, 97-100, 102-135, 148 and 149 (66 Residential lots)

- 2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:
 - (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
 - (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
 - (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
 - (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
 - (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- 3. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.
 - A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.
- 4. (a) All new roads and accessways shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 1 with Smales Road, including construction of footpaths and berms.

- (d) The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road.
- (e) All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
- (f) Road upgrading works shall be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for these works shall be submitted for approval by the Manager – Resource Consents & Compliance.

- All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- 6. A comprehensive stormwater discharge levy (FC45) of \$2,731.15 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

7. A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$52,358.21 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

A wastewater contribution of \$6,861.19 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 1 of 5.9212 ha. (Smales Road Sewer - REF FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

 A Water Supply Contribution of \$68,348.25 including GST shall be paid to Manukau City Council.

The current contribution rate shall be adjusted annually until paid based on the previous years' Opus Construction Cost Index (or equivalent).

The applicant is advised that this contribution is based on \$120.00 + GST per lineal meter on Smales Road and East Tamaki Road frontages – 540m (340m and 200 m on Smales Road and East Tamaki Road respectively) less \$4046 +GST being the cost of the physical works (170m of 50 mm diameter at \$23.80 per linear metre), the applicant has proposed to carry out on East Tamaki Road frontage. (Reference Wood and Partner's facsimile dated 22/10/99) (Water Supply Road Frontage -Ref. FC5).

- A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 22, including the length of frontage to ETCART of lots 15, 16, 17, 201, 18, 19, 20, 21, and 22.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

(b) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of Lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of Lot 108 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109 and 108.

This contribution has been assessed at \$440.00 plus GST per metre of road frontage. This contribution has been adjusted for the work required in condition 4(d).

11. Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- 12. An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 13. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
 - (d) The existing overhead services located along the Chapel Road frontage shall be relocated underground unless advice has been received from the relevant utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.

- 14. Street lighting facilities shall be supplied and installed on all new roads, Smales Road and Chapel Road in accordance with Chapters 7 and 9 of the District Plan and the MANARC Standards.
- 15. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
3	23.00	
4	22.85	
5	22.74	
6	22.60	
7	22.50	
8	22.35	
9	21.85	<u> </u>
10	21.75	
11	21.75	
16	21.75	
17	21.75	
18	21.75	
19	21.80	
20	21.90	
21	22.00	
22	22.06	
23	22.20	
24	22.30	
25	22.40	
26	22.50	Unit facing Road 4
26	22.62	Unit facing Road 1
97	25.75	
98	25.75	
99	23.89	
102	26.35	
103	26.35	
117	22.79	
118	22.95	
119	23.11	
120	23.27	
121	23.47	
122	23.58	
124	23.63	
125	23.63	
126	23.35	
127	23.20	
128	23.03	
129	22.83	
130	22.71	
131	22.60	
132	22.48	
148	24.18	
149	24.03	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

16. (a) As Lots 97 and 102 are subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents shall be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

(b) The following minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for those lots adjoining this flow path have been resolved with the Council.

Lot	Minimum Floor Level
97	25.75
98	25.75
102	26.35
103	26.35

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

(c) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing or in accordance with specific design, in terms of the parameters in the District Plan and approved by the Council's Manager - Consents & Compliance.

This condition shall be complied with on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act.

17. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall

either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- 18. (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)							
PERIOD	Mone	day - Satui	rday	Sunday and Public Holida				
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}		
0700-1800	60	75	85	45	50	65		
1800-2200	45	50	65	40	45	65		
2200-0700	35	40	65	35	40	65		

(d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."

19. Lots 401 to 403 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager - Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 401 to 403 to prevent any access from the relevant lots to the adjoining arterial roads.

- Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (District Land Registrar Ref A.634788).
- 21. (a) Lot 501 shall be vested as road in the Manukau City Council.
 - (b) Lot 201 and 202 shall be vested as Local Purpose (Accessway) in the Manukau City Council and constructed and fenced in accordance with the approved drawings referenced E7/15173 by Council.
- 22. A reserves contribution of \$501,984.00 (including GST) being 6% (plus GST) of 64/65 x the aggregate assessed current market value of Lots 1-26, 97-100, 102-107, 109-135, 148 and 149 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 1 of the subdivision, whichever is the sooner.
- 23. All lots shall comply with the subdivisional requirements of the District Plan.
- 24. Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.
- 25. Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and

All conditions shall be fully complied with the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

STAGE 2 - Residential Lots 27-51, 53-58, 85-90, 96 and 136-147 (50 Residential lots)

- All works required to provide access and servicing to Stage 2 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:
 - (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
 - (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).

- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's approved field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 3. (a) All new roads shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 2 with ETCART, including construction of footpaths and berms.
 - (d) All activities undertaken in relation to the ETCART route shall be in accordance with the Construction Agreement between the applicant and the Council.
- 4. All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- 5. A comprehensive stormwater discharge levy (FC45) of \$2,167.92 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 2 of 4.7001 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Works Consultancy Construction (or equivalent) Cost Index.

6. A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$41,560.63 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 2 of 4.7001 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

7. A wastewater contribution of \$5,446.24 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 2 of 4.7001 ha. (Smales Road Sewer - Ref FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

- 8. A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of Lot 32, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of Lots 32, 33, 34, 35 and 50. From the projected northern boundary of Lot 51 south to the projected southern boundary of Lot 51.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

 Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- 10. An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 11. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
- 12. Street lighting facilities shall be supplied and installed on all new roads in accordance with Chapters 7 and 9 of the District Plan and the MANARC standards.
- 13. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
27	22.75	
41	22.97	
42	23.05	
43	23.20	
44	23.30	Unit facing Road 1
44	23.38	Unit facing Road 8
58	23.68	
85	23.40	
86	23.30	
139	22.78	
140	22.92	
141	23.00	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of title of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

 A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- 15. (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)							
PERIOD	Mone	day - Satu	day	Sunday and Public Holiday				
	L ₉₅	L ₁₀	L _{max}	L ₉₅	Lio	L _{max}		
0700-1800	60	75	85	45	50	65		
1800-2200	45	50	65	40	45	65		
2200-0700	35	40	65	35	40	65		

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."
- 16. Lot 502 within Stage 2, shall be vested as road in the Manukau City Council and the road shall be formed and sealed across the full frontage of Lot 58.
- 17. Lots 404 to 405 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 404 to 405 to prevent any access from the relevant lots to the adjoining arterial roads.

18. A reserves contribution of \$400,410 (including GST) being 6% (plus GST) of the aggregate assessed current market value of Lots 27-51, 53-58, 85-90, 96 and 136-147 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 2 of the subdivision, whichever is the sooner.

- 19. All lots shall comply with the subdivisional requirements of the District Plan including all lots associated with the redesign of the Road 3 cul-de-sac head.
- 20. Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.
- 21. Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and

All conditions shall be fully complied with, Stage 1 (SP6326) shall be completed and released, the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

REASONS FOR THE DECISION

- 1. The proposal is generally in accordance with the Land Use approval for Concept Subdivision dated 14 September 1999.
- 2. No submissions have been identified against the proposed zoning of the land to Main Residential in the Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- 3. The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau City Transitional District Plan and sections 104, 105 and 405 of the Resource Management Act 1991.
- 4. The proposed subdivision was considered as a controlled activity, as the proposed allotments comply with all relevant requirements of the Transitional and Proposed District Plans.
- 5. All identifiable adverse effects resulting from the development will be avoided, remedied, or mitigated by the provisions in the District Plans and the above conditions of consent.

ADVICE NOTES

- 1. That the Council's Land Information Register will record any consent notices pursuant to Conditions 3(b), 15, 16 and 19 of Stage 1 and conditions 2(b), 13 and 17 of Stage 2.
- The specified minimum floor levels in this consent may be varied by the approval of Council's Manager - Resource Consents & Compliance. Any variation required must be requested at the time of the site variation intended (not retrospective) and should include a detailed specific engineering design in accordance with the provisions of the District Plan.
- 3. That a Health and Safety Control Programme agreed to by the Council will be required prior to:

- (a) any construction involving places of work controlled by the Council.
- (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- 4. That it will be the applicant's responsibility to satisfy all requirements of the Inland Revenue Department in respect of Goods and Services Tax including any requirements that may be made in respect of proposed public services and land to vest in the Council. Such requirements must be satisfied before a "Section 224" certificate will be issued.
- 5. The applicant is to liaise with Council regarding the co-ordination of subdivisional constructions works and the construction of ETCART.
- 6. Clause 6.B.6.1 of Council's Engineering Quality Standards Manual (carriageway acceptance) in respect to Council carrying out Benkleman Beam tests at no cost to the developer has been amended to the extent that the cost of this work shall now be borne by the developer.
- 7. That although the proposed lots do not contain any known archaeological sites, it is possible that unrecorded sites may exist on the lots. Pursuant to the Historic Places Act 1993 it is unlawful for any person to destroy, damage or modify an archaeological site unless an authority has been obtained from the NZ Historic Places Trust. Failure to obtain consent may result in a fine of up to \$100,000. The Trust must be consulted prior to development to ensure that the provisions of the Act are observed. Should the applicant, or any subsequent purchaser, uncover an archaeological site during development, the Trust must be consulted.
- 8. Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rates specified in conditions 7 (stage 1) and 6 (stage 2) then these rates will be amended accordingly, if this occurs prior to the Section 224 release.
- 9. Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.
- 10. The engineering plans for the upgrading of Chapel Road have not been required before granting this resource consent application because the applicant has indicated that arrangements have been made to have this work doe as part of the subdivision works for the property on the eastern side of Chapel Road (Howick Parklands).

Whatever arrangements are made by the applicant for the execution of this work, it must be completed before issue of the 224 certificate.

Date:	1/12/99	in Patchard
	7	Consent Co-ordinator
Date:	1/12/99	Ou.
		Team Leader - Resource Consents

Pursuant to Section 7.3.3 of the Delegations Register (Minutes 10897/96), the above application has been considered under Delegated Authority and has been determined as a non-notified resource consent (state activity status).

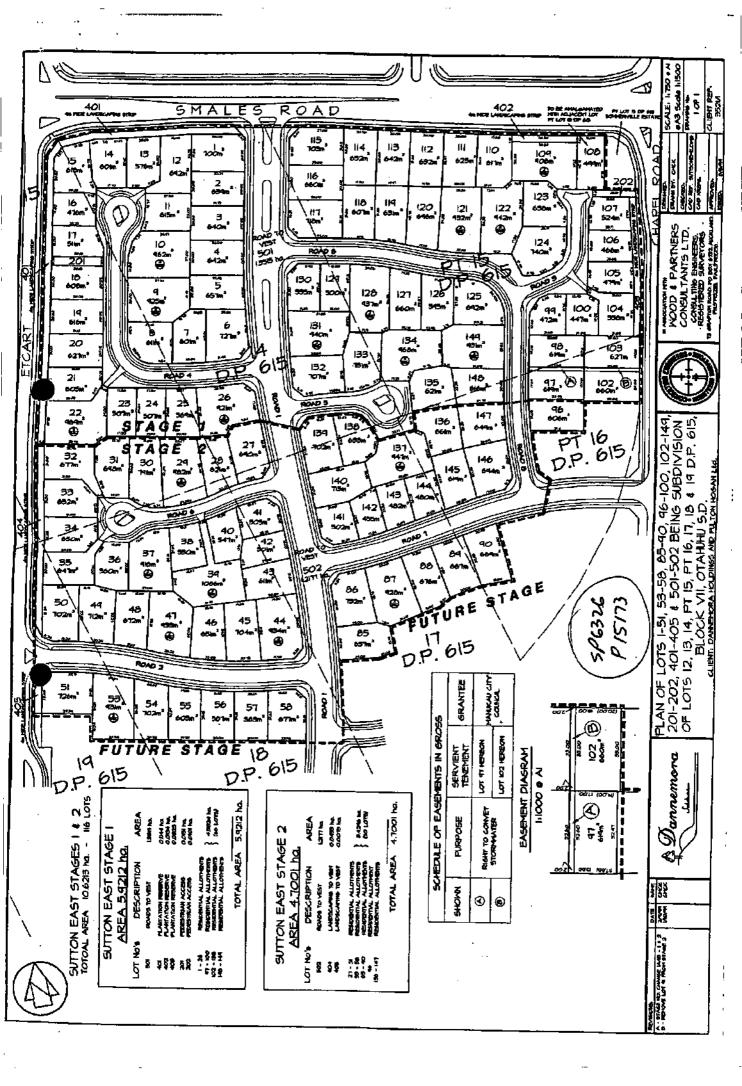
Consent is hereby granted in accordance with Part II and sections 104, 105 and 108 of the Resource Management Act 1991.

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Mike Pritchard, Consent Co-ordinator		/ /	
DECISION			
Recommendation adopted under Delegated Authority			
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15173 Danemora Sutton East Report MP.dec

Robert Chieng, Team Leader - Resource Consents



MANUKAU CITY COUNCIL RESOURCE CONSENT APPLICATION SITE VISIT RECORD NON-NOTIFICATION/ NOTIFICATION REPORT AND ASSESSMENT REPORT

1. REFERENCES:

Sulton East. Block.

15173 SP6326

474 EAST TAMAKI ROAD, 12/08/99

DANNEMORA HOLDINGS LTD & FULTON HOGAN

LTD

MAIN RESIDENTIAL

PRIVATE BAG

H112629

ELLERSLIE

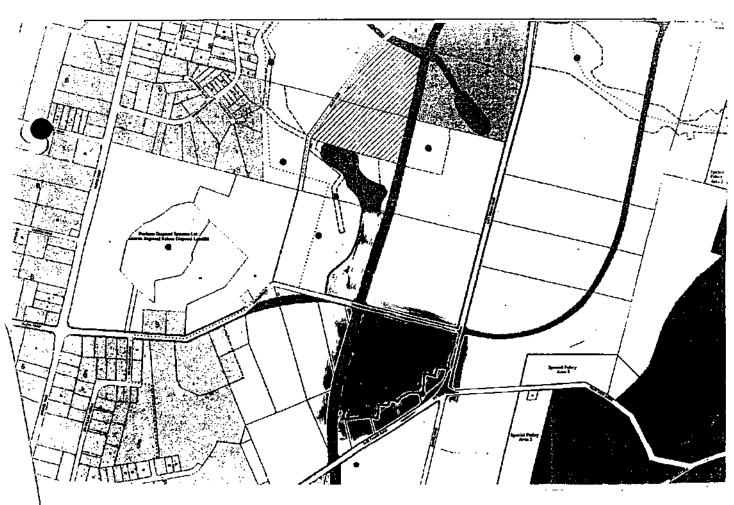
\$562.50

Subdivision

116 LOT RESIDENTIAL SUBDIVISION SUTTON EAST STAGE 1 & 2

Michael Pritchard .

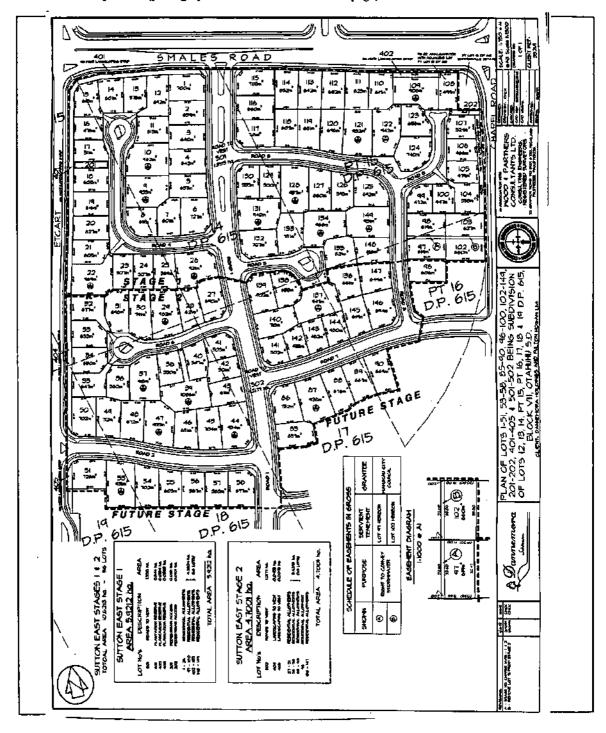
LOCATION



2. SITE VISIT RECORD:

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Bowled area area area ren Persons who may be aff	djacent, in the second	the vicinity new E who onth aast	y, including TCART Future being acres	to west susdended Chape): I land for M L Rd	sidahal Sh.U

Sketch of the subject site (photographs should be attached to this page):



SIGNED:	m Putchard	Date::	13_	/ 8	/99	
	Concept Co-ordinator		,		7	

- 3. **CONSENT** DETERMINATION AS TO WHETHER A RESOURCE APPLICATION SHOULD BE NOTIFIED OR NON NOTIFIED UNDER SECTION 94 OF THE RESOURCE MANAGEMENT ACT 1991
 - REFERENCES: (2)

15173.

SP6326

474 EAST TAMAKI ROAD

OTARA :

12/08/99

DANNEMORA HOLDINGS LTD & FULTON HOGAN

MAIN RESIDENTIAL.

PRIVATE BAG

H112629

\$562.50

ELLERSLIE

Subdivision

116 LOT RESIDENTIAL SUBDIVISION SUTTON EAST STAGE 1 & 2; vi

Michael Pritchard

Sutton East Block.

CONTROLLED/DISCRETIONARY/NON-COMPLYING ACTIVITY WHERE THE DISTRICT PLAN DOES NOT PROVIDE FOR NON-NOTIFICATION

EFFECTS ASSESSMENT: (b)

If any element of the application requires consent as a discretionary/non-complying activity, undertake an analysis of all of the effects of the proposal.

Possible Effects	Magnitude of Effect (1)	Extent of Effect (2)	Mitigation/Neighbours <u>Consent/</u> Other Comments (3)
Flora and fauna	NIL		
Landscape	LN-	A58	change from avail to when.
Water bodies	NIL		
Site stability	40	UP	
Shadowing/Sunlight	NIL		
Ргічасу	NIL		
Visual	L N.	ASB	? chang from reval to subam.
Amenity/Character	LN	ASS	
Noise	LN	7 5	7 only during
Smell	LN	45	Construction shase.
Pollution	in	45	J
Infrastructure	LP	wp.	improving infrashustine
Traffic and Parking	-		
Cultural	-		
Socio-economic	LP.	up	party additional house
Dominance of buildings	LN	MSB	lown devicty hong well result pondy receive funds for pakes ate
Open space	4.6	ASS	pondy receive funds for pakes ele
Other (specify)			

Overall, the adverse effects are made/no more than minor.

(c)

(d) OR

(e)

Ke	y:			1				
(1)	State magnitude	of effects as:			(2)	State extent of ef	fects as:	
		High Posi	tive: I	HP		Wholly Within P	roperty	WP
		Low Posit	ive: I	LP		Affecting abuttin	g sites	AS
	No Effect:	NIL		ŀ		Affecting abutting	g sites & beyond	ASB
		Low Nega		LN		(if there is no eff not enter item in	ect on item in [1],	then do
		High Neg	anve: 1	HN		not enter item in	[4])	
(3)	If there are any adv				ther th	ey can be mitigate	ed or whether adv	ersely
		No.						
	ERSELY AFFEC	·					Constalati	
rei	son: (owner/occup	ner)	Addre	ess:			Consent obtain	ned
TOY:	Application.	Non-Notifica				•	Activity Subdivis	ion
				· ·				
(ii)	Leaving the above						ist in relation to the	ne
		<i>₩</i> 0 ·						
(iii)	Comments							
		· -						
		· <u>-</u>						
(iv)	Conclusion	· -						
(iv)	Conclusion	That the	4 4		cole	an shadd	<u>.</u>	
iv)	Conclusion	76ml 44	4 4	y le	cah	an should	de.	

(I)	SPE	ECIAL CIRCUMSTANCES			
	Do any special circumstances exist in relation to the application that require the application to be notified?				
	(i)	Comments			
		No			
(g)	CO	NCLUSION: (add/delete as necessary)			
	(i)	Taking into account the effects of the proposal, the adverse effect on the environment of the activity for which consent is sought will be entered more than minor.			
	(ii)	Written approval has not been obtained from the persons who may be adversely affected to the granting of this resource consent.			
	(iii)	Special circumstances requiring notification unist/do not exist.			
(h)	RE	COMMENDATION:			
	(i)	That for the reasons set out above, this application be processed without notice, pursuant section 94 of the Act, or			
	(ii)	That for the reasons set out above, this application be processed with notice, pursuant to section 93 of the Act.			
SIG	NED:	•			
		Date: 29 / 11 / 99.			
Con	sent Co-	-ordinator / / /			
TO EX	oteto n	·			
	cision	dation adopted under Delegated Authority			
		Date: 1/12/99.			
Tea	m Leade	er - Resource Consents			

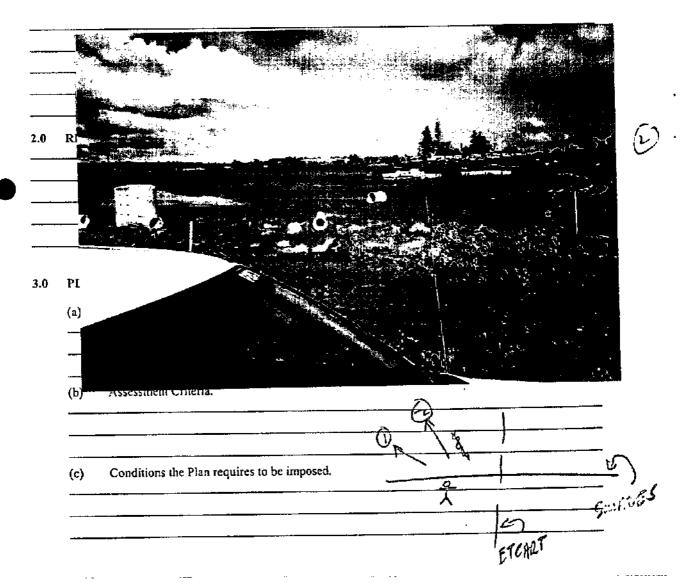
Date:	Consent Co-ordinator	Consent Co-ordinator	
		- -	
Date:	Ì		
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Consent is the same of the sam		w .	
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Chairperson or Deputy Chairperson of the	ne .		
Community Board (where appropriate)		জ	
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ETKART

Small.



1.0 DESCRIPTION OF THE PROPOSAL





Environmental Services

	Privete Beg 76917	
To:	mr J Neill Manukau City	
	New Zealand	
Company:	Road net. DX EP75557	
	Fax (09) 262-5168	
Fax No:	7 63 36 o /. (09) 262-5109	
From:	Mike Pritchad. (5874) Email: @manukau.govl.nz	
Date:	17 /12 / 99. No of Pages: 2.	
Subject:	Sutton Block East. 5P 6326 P.15173	
John.		/
	Thank you for your lette dared 13/1	1/99
	Thank you for your letter dated 13/1 This consent was granted. 1/12/99.	
	nd	

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.



13 December 1999

The Manager
Building and Resource Services
Manukau City Council
Private Bag 76917
MANUKAU CITY 1730

RoadNet Services New Zealand First Floor, Parkview Tower,

First Floor, Parkview Tower,
Cnr Davies Avenue/Putney Way, Manukau City
PO Box 76-561, Manukau City
Telephone: 0-9 263 3600
Facsimile: 0-9 263 3601

Endorsed

Date

ATTENTION ALAN PAYNE/MIKE PRITCHARD

Dear Alan and Mike

RESOURCE CONSENT: SUTTON BLOCK EAST - STAGES 1 & 2

PROPOSAL NUMBER: 15173

RoadNet Services New Zealand have been engaged by Manukau City Council as Road Network Managers for this area.

Thank you for the documentation and plans received 8 December 1999 relating to Sutton Block East Stage 1 and 2 Subdivision.

Generally we are satisfied with these plans.

There are however a number of minor points that need attending to:

- Some of the traffic islands will need RG-17 'Keep Left' signs and AW-5 'Diverge' signs.
- 2 Both Te Irirangi Drive and Chapel Road are designates with a higher speed than the subdivision road. All subdivision roads that join the main roads will need RG-1 '50km/hr' speed restriction signs and the appropriate speed on the reverse side. The speed of both main roads is not determined as yet.
- 3 Faux brick is not an acceptable alternative to cobblestone paving as described in the MANARC Standards. Please replace these ones with cobblestone pours.
- Traffic Management for the project will be very important where subdivision roads join both Te Irirangi Drive and Chapel Road. Please have Traffic Management Plans submitted to RoadNet before construction commences.

Yours sincerely

JOHN NEILL

Manager Traffic Engineering

g:\otara-manurewa\road\easttamaki_6081\474brs_dec99.doc



13 December 1999

The Manager
Building and Resource Services
Manukau City Council
Private Bag 76917
MANUKAU CITY 1730

ATTENTION ALAN PAYNE/MIKE PRITCHARD

RoadNet Services New Zealand

First Floor, Parkview Tower, Cnr Davies Avenue/Putney Way, Manukau City

PO Box 76-561, Manukau City Telephone: 0-9 263 3600 Facsimile: 0-9 263 3601

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JOHN NEILL

Manager Traffic Engineering

If Kill.

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Environmental Services

		Private Bag 76917
To: /	Mr D. Wood	Manukau City
		New Zealand
Company:	Wood & Ptnrs.	DX EP75557
	379 32 36	Fax (09) 262-5168
Fax No:	2// /2/0,	(09) 262-5109
From:	Mike Pritchard.	Email:@manukau.govt.nz 5874,
Date:	/7. / /2 / 99	Z
Subject:	Sutton Block East.	5P6326 P15173.
Don		
_	tached is copy of a	letter from Roadnet.
А	e. the above subdivi	5101.
	Q	

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.



13 December 1999

The Manager Building and Resource Services Manukau City Council Private Bag 76917 MANUKAU CITY 1730

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RoadNet Services New Zealand

First Floor, Parkview Tower,

Cnr Davies Avenue/Putney Way, Manukau City

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JOHN NEILL

Manager Traffic Engineering

g:\otara-manurewa\road\easttamaki_6081\474brs_dec99.doc

Initials Date



Environmental Services

	Private Bag 76917
To: Mr Du Wood.	Manukau City
Company: Wosa & Ptnrs	New Zealand
Company: 20088 E 77773	DX EP75557
3793236.	Fax (09) 262-5168
FAX NO.	(09) 262-5109 ail:@manukau.govt.nz
From: Mike Pritchard	
Date: 12/99	
Subject: Dannemora Suffor East: 5/6326 P	15173.
Don attached is a copy of your dated 9/11/99. We the subdi	•
of the above land.	
I am finishing the final G	nsent
in terms of our comments ((attacked)
written on your fox.	
Please cheek I tem 18 5/age	2.

Ail the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

DIL WOOD MIRENZ, ENZIS, R.S. FIII I. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.L.S. D. W. WILLIAMS B.SLIRV., M.N.Z.I.S.) I, GARDINER B.E, M.I P.E.N.Z M. G. WILLIAMS B.SURV. M.N.Z.I.S.



Our Ref: DM/SuttonE/RC

09 November 1999

The Leader Resource Consents Environmental Services Manukau City Council Private Bag 76-917 MANUKAU CITY

FAX: AUTO 14

ATTENTION: MR MIKE PRITCHARD

Dear Mike

RE: DANNEMORA SUTTON EAST SUBDIVISION CONSENT SP 6326 (PROPOSAL № 15173)

Thank you for the copy of the draft consent for the above stage of Dannemora. As requested we make the following recommendations/suggestions.

STAGE 1

Item 7 -- Stormwater Treatment Contribution

You are aware of progress on the pond design, and the possible involvement of the Auckland Regional Council. Dannemora would make an objection to the present wording if this is carried through to the actual consent.

Item 9 - Water Supply Contribution

Dannemora made an objection to the Sayes 4 consent regarding the amount of \$120/m contribution, and stating that it considered the amount should be \$60/m for the reasons outlined in that objection. Dannemora would make a similar objection to the figure of \$120/m in this consent.

ttom 10(b) We note that no decision has yet been made as regards the upgrading requirements in

Page 1 of 2

front of lot 108. Dannemora advises that if the frontage to lot 108 is included in the upgrading charge, it would make an objection to that item.

— Budley to actual as the file net a second

Item 13(d)

Stage 1 has frontage to Chapel Road. As such there should be a condition similar to 11(d) on Stage 2 referring to removal of overhead services. Similarly item 11(d) in Stage 2 can be deleted.

Agree on Stage 2

Item 22

01/

We await the Reserve Contribution amount from Quotable Values.

STAGE 2

Item 5

There is some confusion as to the inclusion of lot 91. It was finally agreed that it be deleted from the consent. The plan accompanying the subdivision consent inadvertently included lot 91, and the area of $949m^2$ is also included in the total area of 4.7950 ha. This total area should be 4.7001 ha, i.e. excluding lot 91. We include a further copy of the amended drawing which should form part of the consent deleting lot 91 and having a total area of 4.7001 ha. The discharge levy should be amended to reflect this total area.

Itom 6

As previously indicated Dannemora would object to this wording for the stormwater contribution levy. As for item 5, the area should be amended to 4.7001 ha.

Item 7

As for item 5 the area should be amended to 4.7001 ha.

Item 11(d)

There are no lots on Stage 2 with frontage to Chapel Road. As indicated under item 13(d) in Stage 1, item 11(d) should be deleted.

Han L Stage 1.

Item 18

There are problems with the lots to be assessed for Reserve Contribution. These should be Lots 27-56, 51, 53-58, 85-90, 125-147. We await Quotable Values assessment of the values for these lots.

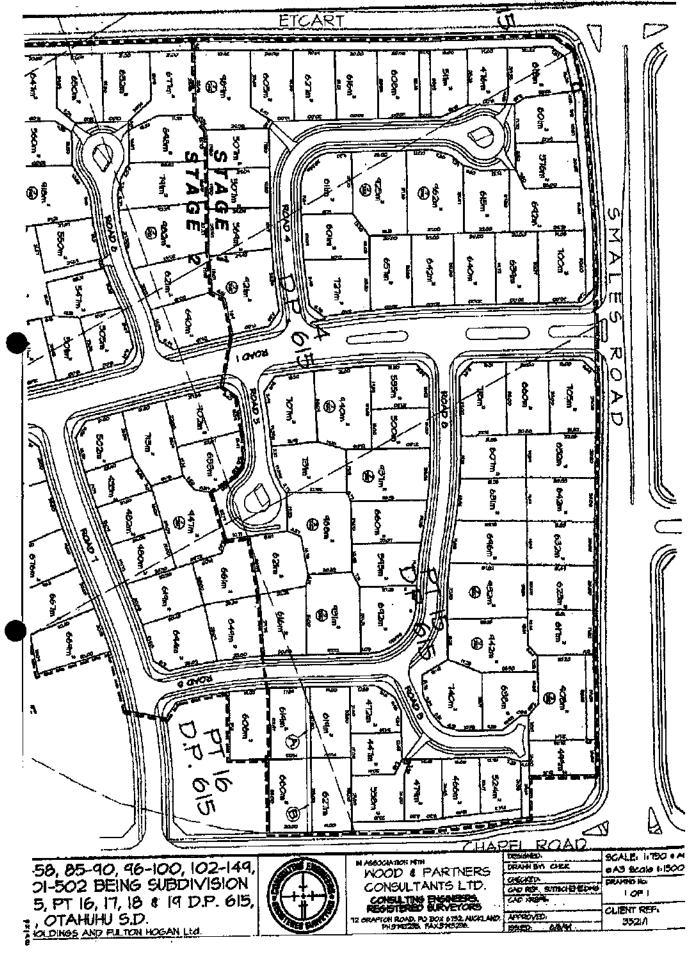
We trust that we can receive the full Consent as soon as possible.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD

Director



OF LOIS 12, 13, 14, PF 15, PT 16, 17, 15
BLOCK VIII, OTAHUHU S
CLIENTI DANNEMORA HOLDINGS AND PUT

, Life and

From:

Howard Wright

To:

1, 1

Steve Dudley

Subject:

Fwd: Dannemora Concept Subdivision for Sutton East P14693 SP 6198

Steve

Please advise Mike Pritchard if we can dispense with the road frontage contribution to lot 108 as discussed in the attached.

This is now urgent and Mike would like your response by noon!!!

Mike.

This is the 4th luni Steve

has been e-mailed on two-

matter. Duejonail attached.

If no response by noon

Send out with 188 mil. tolang

Hw

1/12/99

From:

Howard Wright

To:

Steve Dudley

Date:

Friday, 1 October 1999 1:58pm

Subject:

Dannemora Concept Subdivision for Sutton East P14693 SP 6198

Steve

Dannemora have lodged an objection to our draft condition 4(f) of this consent in that they do not see a contribution being required to the ugrading of Smales Road across the frontages of Pt Lot 15 DP 615 (the Summerville Estate property) or the adjoining lot108 which has been sold by Dannemora to Council? and the Summerville Estate?

For reference our conditions say;

4(f) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of pt lot 15 DP 615 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109, 108 and pt lot 15 DP 615. This contribution shall be based on a through road standard.

- The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road. The value of this work shall be deducted from the contribution required in Condition 4(f).
- All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.

I note the clause is backed into a previous aggreement with Dannemora which may overide their objection in respect to the frontage of lot 108.

Please discuss this matter with Chris and advise me as soon as possible.

Thanks

Howard



				Private Bag 7591	7
To:	Mr D	. Wood.		Menukau Cit	у
		<i>O</i> •		New Zealan	ď .
Company:	Wood	E Phors.		DX EP7555	7
	70.0	70.74		Fax (09) 262-516	8
Fax No:	377	3236.		(09) 262-510	9
	44.4.	Polchard.		Email:@manukeu.govi.n	Z
From:	pure	Inchara.	***************************************		
Date:	17/11/99) No of Dog	3		
Dale.	fininginalish	No or Pag	8S:		
Subject:	Даннешога	Sutton East.	474 ETRd. 0,	tara 5/6926	P 15173
Don			the OVNZ.		
	giving	assessed	values for	the	

the above subdivision.

w

DW - Please want of Dame values.

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.

Your ref: SP6326 P15173 Our ref: 36510/22400 (Quotable) Value
New Zealand

17 November 1999

RECEIVED

17 NOV 1999

17 NOV 1999

M. C. C.

BUILDING PRINCES

RESOURCE SERVICES

Fee: \$1000.00 (excl GST)

The City Manager Manukau City Council Private Bag MANUKAU CITY

Attention: Mr M. Pritchard

re: RESERVE CONTRIBUTION VALUATION - DANNEMORA HOLDINGS LTD & FULTON HOGAN LTD, 474 EAST TAMAKI ROAD (SUTTON BLOCK EAST) OTARA

Further to your instructions of the 2 November 1999, I have inspected the above property to assess a current market value for reserve contribution purposes in accordance with the subdivision consent provisions of the Resource Management Act 1991, and report as follows.

LEGAL DESCRIPTION

Lots 12,13, 14, Pt 15, Pt 16, 17, 18 & 19 DP 615

BLK VII, OTAHUHU S.D.

ZONING

Residential 2 in Manukau City's Operative District Plan. Under the Proposed District Plan publicly notified 1 August 1995 the land is zoned Main

Residential.

DATE OF VALUATION

16 November 1999

VALUATION SP6326 P15173

Current representative average values for (as single household unit lots)

1. Lots 1-6, 27, 41-43,58, 85, 86,116-117, 130, 132, 139-141

\$116,000

2. Lots 26, 44, 131

\$136,000

3. Lots 7, 8, 11, 23-25, 28, 30, 31, 36, 38, 40, 96-100, 118-120,

123-127, 129, 133, 135, 136, 138, 147, 148

\$117,000

4. Lots 9, 10, 29, 37, 39, 121, 122, 128, 134, 137, 149

\$137000



Your ref: SP6326

5.	Lots 45, 46, 48, 49, 54-57, 88-90, 142-146	\$116,000
6.	Lots 47, 53, 87 90 - not included in subdu	\$136,000
7 .	Lots 15-21, 32-35, 50, 51	\$109,000
8.	Lot 22	\$130,000
9.	Lots 12-14, 104-107	\$104,000
10.	Lots 102, 103, 110-115	\$105,000
11.	Lot 109	\$127,000

In accordance with your instructions this abbreviated report has been prepared for reserve contribution purposes only.

The values are inclusive of G.S.T., if any.

S.H. Lee

Senior Valuer





		Private Bag 76917
To:	Mr D Wood	Manukau City
		New Zealand
Company:	Wood EPturs.	DX EP75557
	379 3236·	Fax (09) 262-5168
Fax No:	77776	(09) 262-5109
From:	Mike Pritch and.	Email:@manukau.govt.nz
Date:	5 /// 99 No of Pages: 16	incl. coversheet.
	λ. / // Γ	2:

Subject: Dannemora. Sulfon East 474 ET Rd
5P 6326. P 15173

Don

Draff copy of subdure for above land

w

Sat 6/11
Howard P14 = a/n 10 was succorrect.

I have raxed correction to Don.

I Given Stephanic that page to

alter and return to you for

Insertion into this diaf

m.

All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.

5 November 1999

Wood and Partners Consultants Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr D Wood

Dear Sin

DECISION ON AN APPLICATION FOR A SUBDIVISION RESOURCE CONSENT

Applicant:

Dannemora Holdings Ltd & Fulton Hogan Ltd (Sutton East Block Stage 1

and 2)

Application:

Resource Consent for Subdivision of the existing three parcels comprised

in C'sT 55A/1478, 43A/930 and 129/12 into 117 fee simple lots in 2 stages

(Controlled Activity)

Location:

474 East Tamaki Road, East Tamaki

MCC Reference:

SP6326 (Proposal No. 15173)

Legal Description:

Lots 12, 13, 14, 17, 18 and 19 and Pt Lots 11, 15 and 16 DP 615

Zone:

Residential 2 (Operative Manukau District Plan)
Main Residential (Proposed Manukau District Plan)

I wish to advise that resource consent for the above proposal has been granted under delegated authority as a Controlled Activity pursuant to the provisions of the Council's Operative Transitional District Plan and Proposed District Plan, and Sections 104, 105 and 108 of the Resource Management Act 1991 subject to provision being made for the compliance with the following conditions to the satisfaction of and at no cost to the Council.

1. That pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.

STAGE 1 - Residential Lots 1-26, 97-100, 102-135, 148 and 149 (66 Residential lots)

2. All works required to provide access and servicing to Stage 1 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:

Reference: SP6326, Proposal 15173 Direct Dial: 262-8900, extn 5874 Enquiries to: Mike Pritchard Direct Facsimile: 262-5168

- (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
- (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
- (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's appointed field officer.
- (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
- (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.
- 3. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- (a) All new roads and accessways shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 1 with Smales Road, including construction of footpaths and berms.
 - (d) The applicant shall construct the footpaths and berms on Smales Road between its intersection with ETCART and its intersection with Chapel Road.
 - (e) All activities undertaken in relation to ETCART and Smales Road shall be in accordance with the Construction Agreement between the applicant and the Council.
 - (f) Road upgrading works shall be required at the applicants cost, along the full subdivisional frontage of Chapel Road. This will involve works (on one half the road only) to increase the width of Chapel Road (including grade correction as required) to that of regional arterial roads standard as defined in Section 9.14.6.5.2 and appendix two of the Proposed District Plan.

Engineering design plans for these works shall be submitted for approval by the Manager – Resource Consents & Compliance.

- 5. All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- 6. A comprehensive stormwater discharge levy (FC45) of \$2,731.15 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

7. A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$52,358.21 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 1 of 5.9212 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

8. A wastewater contribution of \$6,861.19 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 1 of 5.9212 ha. (Smales Road Sewer - REF FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

 A Water Supply Contribution of \$68,348.25 including GST shall be paid to Manukau City Council.

The current contribution rate shall be adjusted annually until paid based on the previous years' Opus Construction Cost Index (or equivalent).

The applicant is advised that this contribution is based on \$120.00 + GST per lineal meter on Smales Road and East Tamaki Road frontages – 540m (340m and 200 m on Smales Road and East Tamaki Road respectively) less \$4046 +GST being the cost of the physical works (170m of 50 mm diameter at \$23.80 per linear metre), the applicant has proposed to carry out on East Tamaki Road frontage. (Reference Wood and Partner's facsimile dated 22/10/99) (Water Supply Road Frontage -Ref. FC5).

- 10. A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of lot 15, south to the projected southern boundary of lot 22, including the length of frontage to ETCART of lots 15, 16, 17, 201, 18, 19, 20, 21, and 22.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.



(b) A contribution toward the construction of Smales Road for the frontage length specified as follows:

From the projected western boundary of lot 15, east to the projected eastern boundary of Lot 1 including the length of frontage to Smales Road of lots 15, 14, 13, 12 and 1. From the projected western boundary of lot 115 east to the projected eastern boundary of Lot 108 including the length of frontage to Smales Road of lots 115, 114, 113, 112, 111, 110, 109 and 108.

(NB: The obligation in respect to the Lot 108 frontage is being reviewed and will be decided upon prior to the final consent).

This contribution has been assessed at \$440.00 plus GST per metre of road frontage. This contribution has been adjusted for the work required in condition 4(d).

11. Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 13. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
- 14. Street lighting facilities shall be supplied and installed on all new roads, Smales Road and Chapel Road in accordance with Chapters 7 and 9 of the District Plan and the MANARC Standards.
- 15. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
3	23.00	
4	22.85	
5	22.74	
6	22.60	
7	22.50	
8	22.35	
9	21.85	

Lot	Minimum Floor Level	Comment
10	21.75	
11	21.75	
16	21.75	
17	21.75	
18	21.75	
19	21.80	
20	21.90	
21	22.00	
22	22.06	-
23	22.20	
24	22.30	:
25	22.40	
26	22.50	Unit facing Road 4
26	22.62	Unit facing Road 1
97	25.75	
98	25.75	
99	23.89	-
102	26.35	
103	26.35	
117	22.79	
118	22.95	***
119	23.11	
120	23.27	
121	23.47	
122	23.58	
124	23.63	:
125	23.63	
126	23.35	
127	23.20	
128	23.03	
129	22.83	
130	22.71	
131	22.60	
132	22.48	
148	24.18	
149	24.03	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- (b) (i) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing.
 - (ii) The floor levels or site development constraints shall not be varied unless the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.



Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of titles of the respective lots and recorded on Council's Land Information Register.

Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

16. (a) As Lots 97 and 102 are subject to an overland flowpath as determined by approved engineering drawings a "right to drain water" easement shall be created over the land in favour of the Manukau City Council.

The easement documents shall be prepared by the City Solicitor at the applicants expense and registered on the relevant certificates of title and shall include a proviso that no buildings, structures or filling shall be placed within the easement areas, that no other works are to occur thereon except as specifically approved by the Council; and that the approved constructed levels and profile of the overland flowpaths shall not be adversely affected in any way. Suitable plans shall be submitted by the applicant for inclusion into the easement documents showing as-built levels along the route, a long section and typical cross section (including design flow levels) for the easement area together with suitably located benchmarks with levels shown in the Lands & Survey Auckland Datum, 1946.

(b) The following minimum floor level restrictions or site development constraints designed to mitigate the effects of the estimated 1% AEP flood for those lots adjoining this flow path have been resolved with the Council.

Lot	Minimum Floor Level
97	25.75
98	25.75
102	26.35
103	26.35

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

(c) All buildings on lots affected by the above shall be constructed with the minimum floor level or other site development constraint in accordance with the foregoing or in accordance with specific design, in terms of the parameters in the District Plan and approved by the Council's Manager - Consents & Compliance.

This condition shall be complied with on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificate of title of the relevant lots in accordance with Section 221 of the Act.

17. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall

either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

- 18. (a) Prior to commencement of construction works, an environmental management plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:
 - (i) the method of dust control
 - (ii) the method of vegetation disposal (burning not permitted)
 - (iii) identification of any noxious plants
 - (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
 - (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
 - (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.
 - (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)					
PERIOD	Monday - Saturday		Sunday and Public Holida		Holidays	
	L ₉₅	Ł ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}
0700-1800	60	75	85	45	50	65
1800-2200	45	50	65	40	45	65
2200-0700	35	40	65	35	40	65

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."
- 19. Lots 401 to 403 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 401 to 403 to prevent any access from the relevant lots to the adjoining arterial roads.

 Lot 108 hereon shall be transferred to the owner of Pt Lot 15 DP 615 (CT 128/151) and one Certificate of Title issued to include both parcels (District Land Registrar Ref A.634788). Proposal 15173

DRAFT

- 21. (a) Lot 501 shall be vested as road in the Manukau City Council.
 - (b) Lot 201 and 202 shall be vested as Local Purpose (Accessway) in the Manukau City Council and constructed and fenced in accordance with the approved drawings referenced E7/15173 by Council.
- 23. All lots shall comply with the subdivisional requirements of the District Plan.
- 24. Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.
- 25. Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and

All conditions shall be fully complied with the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

STAGE 2 - Residential Lots 27-51, 53-58, 85-90, 96 and 136-147 (50 Residential lots)

- 1. All works required to provide access and servicing to Stage 2 of the overall subdivision (being SP6326) shall be undertaken including the applicable works detailed on Wood and Partners Consultants Ltd approved plans, reference E7/15173 (sheets 1-37 inclusive) subject to the following conditions:
 - (a) All materials, workmanship and testing shall be in accordance with Manukau City Council engineering quality and MANARC standards. Please contact Jackie Wilkie of this office (phone 262-8900 extension 5877) 48 hours prior to commencement of these works to arrange for the pre-construction meeting.
 - (b) All construction work shown on the attached plans shall be supervised by an engineering representative appointed by the owner (refer to MCC Engineering Quality Standards, clause 1.A.3).
 - (c) On completion of work, as-built plans and a completion certificate, in accordance with the Council's Quality Assurance Manual, shall be forwarded to the Council's approved field officer.
 - (d) All works on existing sanitary sewers, stormwater and watermains shall be carried out by a Manukau City Council approved licensed contractor at the applicant's expense.
 - (e) A Traffic Management Plan addressing the temporary diversion of traffic during the works shall be submitted for the approval of the Manager, Roadnet (phone 263-3600) at least two weeks prior to the works commencing. An application form is enclosed.

- 2. (a) A satisfactory foundation completion report shall be submitted for all lots.
 - (b) For any lot for which the foundation completion report recommends specific engineering investigation and design or other additional works beyond the scope of NZS 3604:1990 at building consent stage, the development of such lots shall be undertaken generally in terms of the recommendations in that report.

A consent notice shall be registered on the certificate of title of the relevant lots in accordance with Section 221 of the Act to require compliance with the foundation requirement on a continuing basis.

- 3. (a) All new roads shall be fully constructed with stormwater control, including the provision of street landscaping.
 - (b) Vehicle crossings shall be constructed for all lots where because of the width of the property frontage, the logical position of the vehicle crossing has been predetermined.
 - (c) The applicant shall construct at no cost to the Council all works required to intersect Road 2 with ETCART, including construction of footpaths and berms.
 - (d) All activities undertaken in relation to the ETCART route shall be in accordance with the Construction Agreement between the applicant and the Council.
- 4. All traffic signs and markings shall be installed in accordance with the "Transit NZ Manual".
- 5. A comprehensive stormwater discharge levy (FC45) of \$2,211.69 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$410 + GST per hectare for the total area of Stage 2 of 4.7950 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Works Consultancy Construction (or equivalent) Cost Index.

6. A stormwater treatment contribution for the Tamaki/Point View stormwater quality ponds (FC3) of \$42,399.79 including GST shall be paid to the Council.

The applicant is advised that the contribution has been calculated at \$7,860 + GST per hectare for the total area of Stage 2 of 4.7950 ha.

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).

A wastewater contribution of \$5,556.21 including GST shall be paid to Council.

The applicant is advised that the contribution has been calculated at \$1,030 + GST per hectare for the total area of Stage 2 of 4.7950 ha. (Smales Road Sewer - REF FC139).

The current contribution rate shall be adjusted annually until paid, based on the previous years Opus Construction Cost Index (or equivalent).



- 8. A Roading Upgrade contribution shall be paid to Manukau City Council for:
 - (a) The construction of ETCART for the frontage length specified as follows:

From the projected northern boundary of Lot 32, south to the projected southern boundary of lot 50, including the length of frontage to ETCART of Lots 32, 33, 34, 35 and 50. From the projected northern boundary of Lot 51 south to the projected southern boundary of Lot 51.

This contribution has been assessed at \$490.00 plus GST per metre of road frontage.

 Adequate provision shall be made for the disposal of stormwater, wastewater and the provision of a water supply.

This involves extending the existing public systems to and within the lots to provide each building / allotment area with individual connection points in accordance with the approved engineering drawings referenced E7/15173 by Council to the satisfaction of the Manager - Resource Consents & Compliance.

- An adequate natural gas supply reticulation system shall be installed to provide a suitably located service to each lot within the subdivision.
- 11. (a) Underground power and telephone services shall be installed within all new roads to provide a suitably located service connection to each lot within the subdivision. The cabling shall make provision for the serving of any adjoining distribution area.
 - (b) Satisfactory arrangements shall be put in place to confirm a continued electrical supply.
 - (c) Suitable easements or road boundary alignments set back from the projected road boundaries shall be provided as necessary for any above-ground electrical transformer, telephone switching or gas distribution facilities that will be required to service the subdivision.
 - (d) The existing overhead services located along the Chapel Road frontage shall be relocated underground unless advice has been received from the relevant utility operators confirming that either:
 - (i) They are prepared to relocate the services underground and that arrangements have been made with the applicant for the work to be carried out, such agreement to be to the satisfaction of the Council; or
 - (ii) They are not prepared to consider underground services in the area due to certain circumstances acceptable to the Council.
- 12. Street lighting facilities shall be supplied and installed on all new roads in accordance with Chapters 7 and 9 of the District Plan and the MANARC standards.
- 13. (a) The following minimum floor level restrictions or site development constraints to mitigate the effects of the estimated 1% AEP flood as identified by the applicant are to be established.

Lot	Minimum Floor Level	Comment
27	22.75	
41	22.97	
42	23.05	
43	23.20	
44	23.30	Unit facing Road 1
44	23.38	Unit facing Road 8
58	23.68	
85	23.40	
86	23.30	
139	22.78	
140	22.92	
141	23.00	

All levels are in terms of the Lands & Survey Auckland Datum, 1946.

11

The levels are in accordance with the approved engineering plan referenced E7/15173 sheet 32 by Council.

- All buildings on lots affected by the above shall be constructed with the (b) minimum floor level or other site development constraint in accordance with the foregoing.
 - The floor levels or site development constraints shall not be varied unless (ii) the variations are in accordance with specific engineering design and approved by Council's Manager - Resource Consents & Compliance in terms of the Council's District Plan and associated engineering performance standards.

Compliance with this requirement shall be on a continuing basis and shall be registered as a consent notice at no cost to the Council on the certificates of title of the respective lots and recorded on Council's Land Information Register.

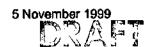
Suitable benchmarks in Lands and Survey Auckland 1946 Datum shall be established to enable future buildings to be constructed accordingly.

The above information (floor levels and benchmarks) shall be shown on a suitable plan for inclusion in the consent notice.

14. A landscaping plan shall be provided to the requirements of the Manager - Resource Consents & Compliance for approval.

The street trees, traffic islands and berm gardens shall be planted in accordance with the approved landscaping plans and maintained by the applicant for a period of one year (excepting the berm gardens which shall be for two years) from the date of the Section 224 certificate for the subdivision. At the end of this period, the applicant shall either arrange for the land owners having frontage to the berm gardens to take over the ongoing maintenance of this planting at no cost to the Council or to remove the gardens and reinstate the areas involved in grassed berm.

Prior to commencement of construction works, an environmental management 15. plan shall be submitted to the Manager, Environmental Protection Services, detailing the following measures for the subdivision and the monitoring of compliance with those standards during the course of the works:



- (i) the method of dust control
- (ii) the method of vegetation disposal (burning not permitted)
- (iii) identification of any noxious plants
- (iv) the method of noise control so demonstrating compliance with the requirements of Rule 5.18.3.6 of the Proposed District Plan
- (v) the level of monitoring and recording of any problems or complaints and the mitigating measures taken.
- (b) The applicant shall provide details of the level of communication with neighbouring property owners and identification of the liaison person. Also in this regard the applicant is advised to ensure that, before commencement of the development, the owners of all adjoining properties are notified in writing advising them of the development in general, its expected duration, the times at which it will be undertaken, and the name of a responsible person with whom neighbours can liaise if the need arises.
- (c) Any noise from construction work (as defined in Chapter 18 of the Proposed District Plan) emanating from the site shall comply with the requirements of rule 5.18.3.6 of the Proposed District Plan. These requirements are reproduced here for your information:

TIME	NOISE LEVEL (dBA)					
PERIOD	Mone	Monday - Saturday Sunday		Sunday a	and Public Holidays	
	L ₉₅	L ₁₀	L _{max}	L ₉₅	L ₁₀	L _{max}
0700-1800	60	75	85	45	50	65
1800-2200	45	50	65	40	45	65
2200-0700	35	40	65	35	40	65

- (d) The noise levels shall be measured and assessed in accordance with NZS 6803p:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work."
- 16. Lot 502 within Stage 2, shall be vested as road in the Manukau City Council and the road shall be formed and sealed across the full frontage of Lot 58.
- 17. Lots 404 to 405 shall be vested as Road and planted at no cost to Council. A landscape planting plan shall be submitted to the satisfaction and approval of the Manager Manukau Leisure. The plantings shall be low maintenance species, densely planted and not exceeding 2.5 metres in height and where adjoining, compatible with the landscape planting proposed for ETCART.

A consent notice in accordance with Section 221 of the Act shall be registered on the certificates of title of the relevant lots which share a common boundary with Lots 404 to 405 to prevent any access from the relevant lots to the adjoining arterial roads.

- 18. A reserves contribution of \$______ (including GST) being 6% (plus GST) of the aggregate assessed current market value of Lots 53-58, 85-90, 96 and 136-147 (as single household unit lots) shall be paid within two years or prior to the issue of the Section 224 certificate for Stage 2 of the subdivision, whichever is the sooner.
- 19. All lots shall comply with the subdivisional requirements of the District Plan including all lots associated with the redesign of the Road 3 cul-de-sac head.
- 20. Full legal and physical access shall be provided to all lots (including provision of services) prior to the issue of the 224 certificate for each stage of the subdivision.



- 21. Before the Council will execute the survey plan pursuant to Section 223 of the Act;
 - (a) all bulk earthworks shall be completed; and
 - (b) a contract for all other works shall be let and construction commenced; and

All conditions shall be fully complied with, Stage 1 (SP6326) shall be completed and released, the Land Transfer plan number notified to the Council and a copy of the survey plan (showing co-ordinates) shall be supplied before a certificate is issued pursuant to Section 224 of the Act.

ADVICE NOTES

The applicant is advised as follows:

- 1. That the Council's Land Information Register will record any consent notices pursuant to Conditions 3(b), 15, 16 and 19 of Stage 1 and conditions 2(b), 13 and 17 of Stage 2.
- 2. The specified minimum floor levels in this consent may be varied by the approval of Council's Manager Resource Consents & Compliance. Any variation required must be requested at the time of the site variation intended (not retrospective) and should include a detailed specific engineering design in accordance with the provisions of the District Plan.
- That a Health and Safety Control Programme agreed to by the Council will be required prior to:
 - (a) any construction involving places of work controlled by the Council.
 - (b) release of the subdivision under bond or refundable deposit which will create places of work controlled by the Council with respect to the deferred work.
- 4. That it will be the applicant's responsibility to satisfy all requirements of the Inland Revenue Department in respect of Goods and Services Tax including any requirements that may be made in respect of proposed public services and land to vest in the Council. Such requirements must be satisfied before a "Section 224" certificate will be issued.
- 5. The applicant is to liaise with Council regarding the co-ordination of subdivisional constructions works and the construction of ETCART.
- 6. Clause 6.8.6.1 of Council's Engineering Quality Standards Manual (carriageway acceptance) in respect to Council carrying out Benkleman Beam tests at no cost to the developer has been amended to the extent that the cost of this work shall now be borne by the developer.
- 7. That although the proposed lots do not contain any known archaeological sites, it is possible that unrecorded sites may exist on the lots. Pursuant to the Historic Places Act 1993 it is unlawful for any person to destroy, damage or modify an archaeological site unless an authority has been obtained from the NZ Historic Places Trust. Failure to obtain consent may result in a fine of up to \$100,000. The Trust must be consulted prior to development to ensure that the provisions of the Act are observed. Should the applicant, or any subsequent purchaser, uncover an archaeological site during development, the Trust must be consulted.

- 8. Council is currently reviewing the contribution rate applicable to Financial Contribution FC3 (at the applicants request). Should this result in the contribution rate being reduced to less than the rates specified in conditions 7 (stage 1) and 6 (stage 2) then these rates will be amended accordingly, if this occurs prior to the Section 224 release.
- 9. Each building/allotment is required to be individually metered for water supply. Please note that the application for a water meter is a separate application and the installation of a water connection is not part of this consent.
- 10. The engineering plans for the upgrading of Chapel Road have not been required before granting this resource consent application because the applicant has indicated that arrangements have been made to have this work doe as part of the subdivision works for the property on the eastern side of Chapel Road (Howick Parklands).

Whatever arrangements are made by the applicant for the execution of this work, it must be completed before issue of the 224 certificate.

REASONS FOR DECISION

- 1. The proposal is generally in accordance with the Land Use approval for Concept Subdivision dated 14 September 1999.
- 2. No submissions have been identified against the proposed zoning of the land to Main Residential in the Proposed Reviewed District Plan. The Main Residential zone has therefore been given greater weight. The intended lot sizes and configuration are generally in accordance with the subdivisional rules of the Main Residential zone of the Proposed Plan.
- The effect of the consent is such that it will not be contrary to the provisions, objectives and policies of the Manukau City Transitional District Plan and sections 104, 105 and 405 of the Resource Management Act 1991.
- 4. The proposed subdivision was considered as a controlled activity, as the proposed allotments comply with all relevant requirements of the Transitional and Proposed District Plans.
- 5. All identifiable adverse effects resulting from the development will be avoided, remedied, or mitigated by the provisions in the District Plans and the above conditions of consent.

COSTS

- The deposit of \$562.50 already paid will be deducted from the total costs.
- 2. That in addition to the consent charge for the above subdivision, and further pursuant to Section 36(1)(c) of the Resource Management Act, an engineering administration, compliance and supervision charge, relating to the engineering conditions of the Resource Consent will be applicable together with administration charges relating to the release of the subdivision as fixed by determining all reasonable and actual costs incurred by the Council. The actual charges incurred in the Council's field monitoring of the engineering works will be determined at the completion of works and will be payable prior to release/completion. The applicant will be advised of the charges as they fall due.

. ._..

5 November 1999

HOMICK 4 Fewisham Street We Joyce Elaine Murphy

Dear Madam

Applicant:

DECISION ON AN APPLICATION FOR A LAND USE RESOURCE CONSENT

Ms Joyce Elaine Murphy

Restricted Discretisers Activity (development steederd my

Application:
Restricted Discretionary Activity (development standard modification) to legitimise existing lean-to structure on east wall of dwelling infringing side

yard

Legal Description: Lot 52 DP 82661

Zoning: Main Residential (Proposed District Plan)

Proposal No.: 15673

I wish to advise that consent for the above application was granted on 5 November 1999 under delegated authority and pursuant to Sections 104, 105 & 108 of the Resource Management Act 1991 subject to the following conditions being completed to the satisfaction of Council and at no cost to the Council:

General

- I hat pursuant to Section 36 of the Resource Management Act 1991, this consent (or any part thereof) shall not be exercised until such time as all charges in relation to the receiving, processing and granting of this Resource Consent are paid in full.
- 2. That the existing lean-to structure as shown on the plans submitted by the applicant numbered 15673 by Council shall not be added to or altered in a manner which would make it more non-complying without obtaining a resource consent from Council.

KEASONS FOR DECISION

- 1. That the application merits a consent pursuant to Sections 104 and 105 of the Resource Management Act 1991 and satisfies the rules of the Operative Transitional District Plan and Manukau Proposed District Plan.
- 2. The existing illegal lean-to structure has no more than minor effects on the two adjoining neighbours who have given their approval for its being legitimised.

Enguiries to: Robert Chan Direct Dial: 262-5210

Direct Facsimile: 262-5168

DRAFT

Within fifteen working days of receipt of this decision the applicant may lodge an objection to the decision pursuant to Section 357 of the Resource Management Act 1991 which will be considered by the Hearings Committee. Any such objection shall be made by notice in writing to the Council setting out the reasons for the objection.

Should you wish to enter into any further correspondence or enquiries relating to this application could you please ensure that you include the file reference at the foot of page one of this letter.

Yours faithfully

Robert Chieng
Leader - Resource Consents
RESOURCE CONSENTS & COMPLIANCE UNIT

1021

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.I.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



Our Ref: SUTTON/E/RC

The Team Leader
Environmental Services
Manukau City Council
Private Bag 76-917
Manukau City
AUCKLAND

ATTN: MIKE PRITCHARD

RECEIVED

0 5 NOV 1999

M.C.C.

BUILDING & LICENSE AND CERS.

10 September 1999

77

1001 in For York from

Dear Mike

RE: DANNEMORA SUTTON EAST - RESOURCE SUBDIVISION CONSENT

We have inadvertently included Lot 91 on the above Resource Consent Subdivisional Plan recently submitted to you. You will recall that we deleted Lot 91 from the Land Use Consent plans as it may be affected by the street widening shown on the District Plan.

We enclose herewith an amended copy of our Resource Consent Subdivision Plan deleting Lot 91 as requested.

Yours faithfully

WOOD & PARTNERS CONSULTANTS LTD

D.L. WOOD Director

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Your ref: SP6326 P15173

Our ref: 36510/22400



I: :CEIVED 18 NOV 1999

> r.,, J.J. (f) CENTRAL REGISTRY

Fee: \$1000.00 (excl GST)

The City Manager Manukau City Council Private Bag MANUKAU CITY

17 November 1999

Attention: Mr M. Pritchard

re: RESERVE CONTRIBUTION VALUATION - DANNEMORA HOLDINGS LTD & FULTON HOGAN LTD. 474 EAST TAMAKI ROAD (SUTTON BLOCK EAST) **OTARA**

Further to your instructions of the 2 November 1999, I have inspected the above property to assess a current market value for reserve contribution purposes in accordance with the subdivision consent provisions of the Resource Management Act 1991, and report as follows.

LEGAL DESCRIPTION

Lots 12,13, 14, Pt 15, Pt 16, 17, 18 & 19 DP 615

BLK VII, OTAHUHU S.D.

ZONING

Residential 2 in Manukau City's Operative District Plan. Under the Proposed District Plan publicly notified 1 August 1995 the land is zoned Main

ENLEBED

Residential.

DATE OF VALUATION

16 November 1999

VALUATION SP6326 P15173

Current representative average values for (as single household unit lots)

✓ 1.- Lots 1-6, 27, 41-43,58, 85, 86,116-117, 130, 132, 139-141 **√(∞)\$116,000**

√2. Lots 26, 44, 131 **(3)** \$136,000

73. Lots 7, 8, 11, 23-25, 28, 30, 31, 36, 38, 40, 96-100, 118-120, 123-127, 129, 133, 135, 136, 138, 147, 148

(32) \$117,000

/ 4. Lots 9, 10, 29, 37, 39, 121, 122, 128, 134, 137, 149 **√(□).\$137000**.



∕ 5.	Lots 45, 46, 48, 49, 54-57, 88-90, 142-146	~ (16) \$116,000
∕ 6.	Lots 47, 53, 87, 91 not welnded in sub de	(4) \$136,000
~7 .	Lots 15-21, 32-35, 50, 51	(١>) \$109,000
∕8.	Lot 22	(') \$130,000
	Lots 12-14, 104-107	(7) \$104,000
/ 10.	Lots 102, 103, 110-115	<i>(³)</i> \$105,000
/ 11.	Lot 109	(1) \$127,000

In accordance with your instructions this abbreviated report has been prepared for reserve contribution purposes only.

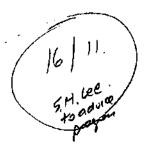
The values are inclusive of G.S.T., if any.

S.H. Lee

Senior Valuer

2 November 1999

Quotable Value NZ Ltd Registered Valuers PO Box 62-666 AUCKLAND



Dear Sirs

SP6326: DANNEMORA HOLDINGS LIMITED AND FULTON HOGAN LTD, 474 EAST TAMAKI ROAD, OTARA - SUTTON BLOCK EAST - PROPOSAL 15173

The attached plan SP6326 shows a proposed subdivision of the above land.

Would you please supply for reserve contribution assessment purposes the following current values for lots as shown on the attached plan SP6326 (as single household unit lots).

Average value for Lots 1- 6, 27, 41-43, 58, 85, 86, 116, 117, 130, 132, 139-141. (a) (b) Average value for Lots 26, 44, 131. 136,000 Average value for Lots 7, 8, 11, 23-25, 28, 30, 31, 36, 38, 40, 96-100, 118-120, 123-127, (c) 17,000 129, 133, 135, 136, 138, 147, 148. Average value for Lots 9, 10, 29, 37 and 39, 121, 122, 128, 134, 137, 149. 137,000 //6,000 (e) Average value for Lots 45, 46, 48, 49, 54-57, 88-90, 142-146. Average value for Lots 47, 53, 87(91) 136,000 (f) Average value for Lots 15-21, 32-35, 50, 51. <u>/09,000</u> (g) Individual value for Lot 22. (h) 130,000 Average value for Lots 12-14, 104-107. Average value for Lots 102, 103, 110-115. (i)، ۲۰۵۲

The land is zoned Residential 2 in the Manukau Operative District Plan and Main Residential in the Proposed District Plan.

All lots will be serviced to normal urban standards.

Individual value for Lot 109.

Please quote Purchase Order No. 320340 in your account.

Yours faithfully

(k) <u>حوه (دا</u>

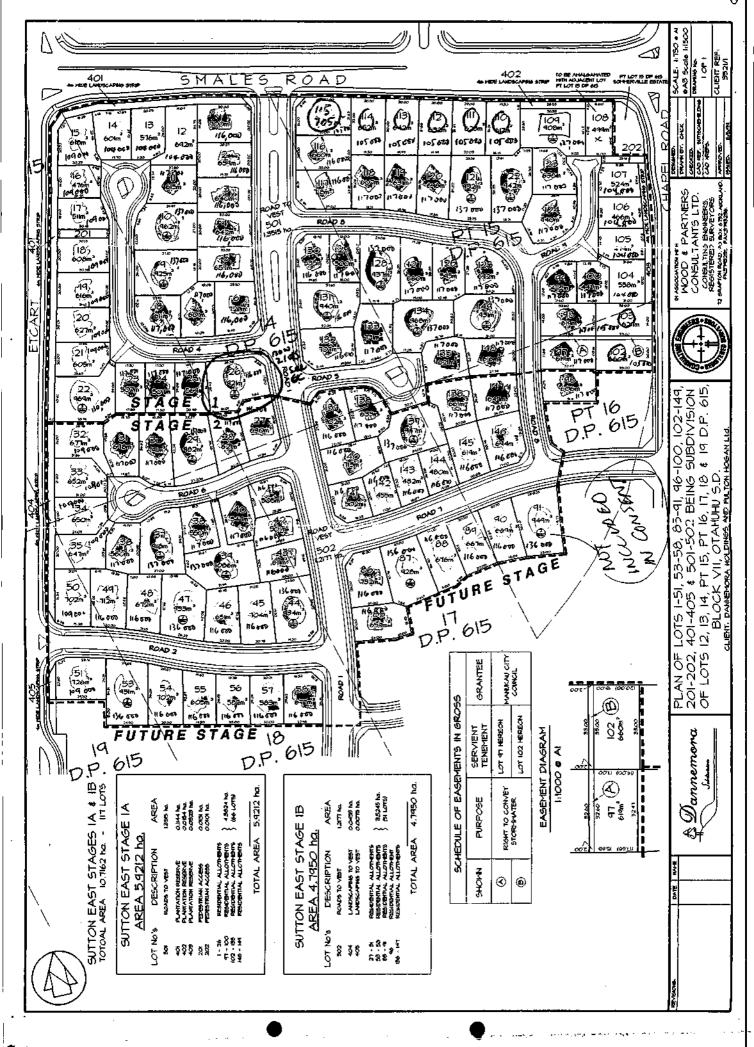
Robert Chieng
Team Leader - Resource Consents
RESOURCE CONSENT & COMPLIANCE UNIT

1021

Enquiries to: Mike Pritchard

Reference: SP6326, Proposal 15173

Direct Facsimile: 262-5163 Direct Dial: 262-8900, ext 5874



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FILE COPY

27 October 1999

Wood & Partners Ltd. PO Box 6752 Wellesley Street Auckland

Attention:

John Gardiner

Dear Sir,

Landscaping Plans In Support Of Resource Consent Application

Applicant:

Dannemora Holdings Ltd

Application:

RESOURCE CONSENT FOR SUBDIVISION

Location:

474 East Tamaki Road

(Sutton Block East Stages 1 & 2)

MCC Proposal No:

15173

The Landscaping Plan submitted as part of this application is not acceptable to Council.

In order to facilitate the granting of this consent, a condition will be imposed requiring the submission of an acceptable plan rather than requiring it to be provided at this stage. The intent of the landscaping plan provided has allowed us to access the effect the intended landscaping will have.

This does not imply that it is acceptable to submit landscaping plans after the granting of a consent.

The following comments are given to assist you to produce a landscaping plan that is acceptable to Council.

- 1. The landscaping plan must be clear in the spacing, size and species proposed. This includes the necessity to use a code for each plant type that is readable on a black and white photocopy.
- 2. The landscaping plan must comply with Council's landscaping proposals for ETCART for landscaping in the ETCART area. A copy of this report may be obtained from Council (Refer to Manukau City Council Contract 97/39 - ETCART Landscaping Design Report Addendum To ETCART Design Report) - produced by Manukau Consultants Ltd.)
- 3. Confirm that the Pittosporum plantings at the entrance to the subdivision on Smales Road do not infringe the sight-lines at this intersection.

Enquiries to:

Mike Pritchard

.....

Direct Telephone:

09 262 8900 extn. 5874

Reference: SP 6326Y Proposal 15173

Direct Facsimile

09 262-5168

- 4. The street tree plantings are generally acceptable, and mostly relate to MCC planting recommendations for this area. However some changes are required;
 - Silver Birch are not an acceptable street tree. These could be removed, or replaced by *Hymenosporum* or *Sophora microphylla*, both of which are small trees specified in the MCC Planting Policy.
 - Both the Claret Ash and the Melia are too wide for planting in the walkways. These
 could also be substituted by Hymenosporum or S. microphylla, and the numbers
 reduced to lessen shading on neighbouring properties.
 - Leptospermum "Copper Sheen" require regular shaping to maintain the form of the tree. This is more than would be provided by Council street tree maintenance, therefore these trees will need to be replaced by a tree recommended in the MCC Planting Policy for this area, e.g. Albizzia or Hymenosporum
 - The number of street trees is too high in some places, particularly where the trees are evergreen, and the shading on neighbouring properties would be extensive.

Stage 1a – Reduce the numbers of Magnolias at the entrance to the residential road to 4, and place these so that only 1 tree is due north of section 26. Reduce the Magnolia numbers on the bend to 3 or 4, and place the trees so that section 125 is not overly shaded.

Stage 1b - Reduce Magnolias from 6 to 4, and place these to reduce impact on section 146 & the house opposite. Reduce the Titoki on the corner from 6 to 4, and locate these to consider the shading on sections 86 & 87.

 The group of 3 Melia at the end of a cul-de-sac on the Stage 1b plan are too crowded. One option would be to remove these and add an extra street tree instead.

Rather than wait for the 224 process, you may wish to take the opportunity of having the landscaping plan approved as a change of condition when you apply for the changes to the layout of the road intersections on the ETCART road.

Yours faithfully,

Mike Pritchard Resource Management Subdivision Officer Resource Consents & Compliance

ALEX O. PARTON

M.N.Z.I.S., Dip T.P., M.N.Z.P.I.

TOWN PLANNING CONSULTANT

RECEIVED

2 6 OCT 1999

M.C.C. <u>Central registr</u>y

22 October 1999

Mr A. P. O'Connor Senior Advisor Transportation Environmental Services Building & Resources Department Manukau City Council Private Bag 70917 MANUKAU CITY

Dear Tony

RE: EDGE TREATMENT OF ETCART - SUTTON EAST BLOCK

Just a short note to thank you for your prompt attention and reply to my letter of 12 October regarding the above.

All of your suggested 'requirements' appear sensible from my client's viewpoint apart from perhaps one small aspect regarding the suggested marking of the centreline of the slip road. While I can see the merit in marking the southern end of the slip road, I query whether it is necessary on the northern section, as this can only be used for one way (south bound) traffic. What are your thoughts?

Once again many thanks for your prompt assistance.

Yours sincerely

A. O. Parton,

M.N.Z.I.S., Dip T.P., M.N.Z.P.I.

15 October 1999

Mr O A Parton PO Box 49-034 MT ROSKILL SOUTH

Dear Alex

EDGE TREATMENT OF ETCART - SUTTON BLOCK EAST

Further to your letter of 12 October 1999, I can confirm my initial acceptance of the Option 2 concept. This concept has been canvassed with Chris Freke and Roadnet, and we would suggest the following be incorporated in the engineering plans at Subdivision stage:

- (1) That a centre line be marked on the slip road.
- (2) That the southern exit point ape a high angle slip lane (70°) as much as possible.
- (3) That appropriate signage directing traffic from ETCART to Road 8 (sic).
- (4) That the slip lane be configured for "left in", "left out" only.

I have also appraised Alan Payne of this potential change to the plans he is currently processing.

Give me a call if you need any elaboration on the above.

Yours sincerely

A P O'Connor

Senior Transportation Advisor ENVIRONMENTAL SERVICES

PS: I note some confusion appears to exist between Road No 8 and Road No 2. I believe we are discussing Road No 2 off ETCART.

ALEX O. PARTON

M.N.Z.I.S., Dip T.P., M.N.Z.P.I.

TOWN PLANNING CONSULTANT

12 October 1999

The Senior Advisor Transportation Building & Resources Department Manukau City Council Private Bag 70917 MANUKAU CITY

ATTENTION: Tony O'Connor

Dear Tony

RE: EDGE TREATMENT OF ETCART - SUTTON BLOCK EAST

Further to our preliminary meeting on Friday 1 October - I enclose two plans showing alternative ways of treating the eastern edge of ETCART as follows:

Option 1

Option 1 shows the layout that has already been approved between Smales Rd and road no. 8. The plan provides for the ETCART frontage to be landscape planted for a 4m depth and the adjoining lots to be served by internal roading.

Option 2

Option 2 is the alternative that we discussed at our meeting. It provides for the extension of the future service road in a northerly direction across road no. 8 and the shortening of culde-sac no. 6. The advantages of option 2 are as follows:

- it reduces the total number of 'intersections' off and onto ETCART from 4 to 2,
- · it reduces the length of reverse lotting,
- it provides an alternative means of egress for the properties fronting onto the service road. (They will have the option of egressing via road number 8 as well as directly onto ETCART).

It is envisaged that the length of the service road south of road no. 8 would accommodate 2 way traffic from the fronting properties to enable them a choice of exit options.

The purpose of forwarding the plan to you at this stage is to seek confirmation that the proposal will be acceptable (and in fact more acceptable than option 1). The reason I am

seeking this assurance is that Dannemora is currently in the process of carrying out the engineering design of road numbers 6 and 8 and the associated lot servicing etc. in accordance with its current land use consent.

In order to implement the changes proposed in option 2 - Dannemora will require to change the layout at the time of subdivision consent. The company would not wish to proceed down this course however (including the preparation of detailed engineering design plans) if there was any risk of the Council not accepting the revised layout.

If you are able to indicate that the roading layout is acceptable, then this will allow Dannemora to proceed with the detailed engineering design work, and application for subdivision consent in reasonable confidence.

Your early confirmation that option 2 is acceptable would therefore be most appreciated.

Yours sincerely

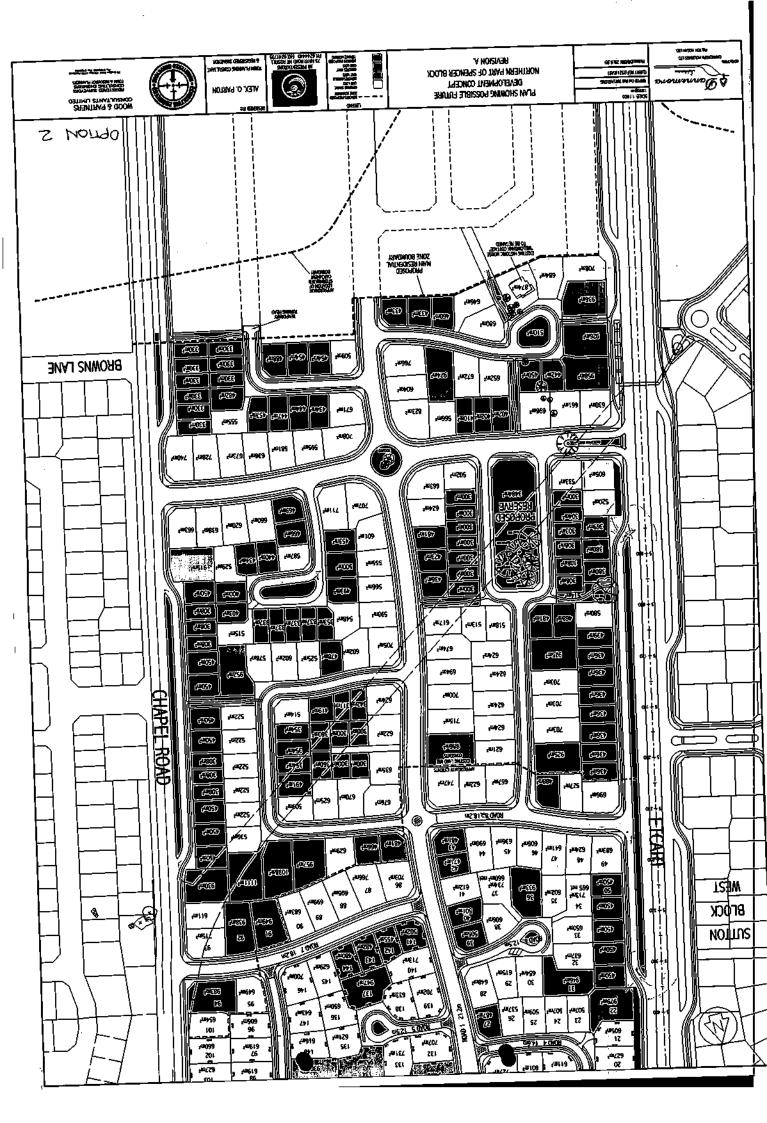
A. O. Parton.

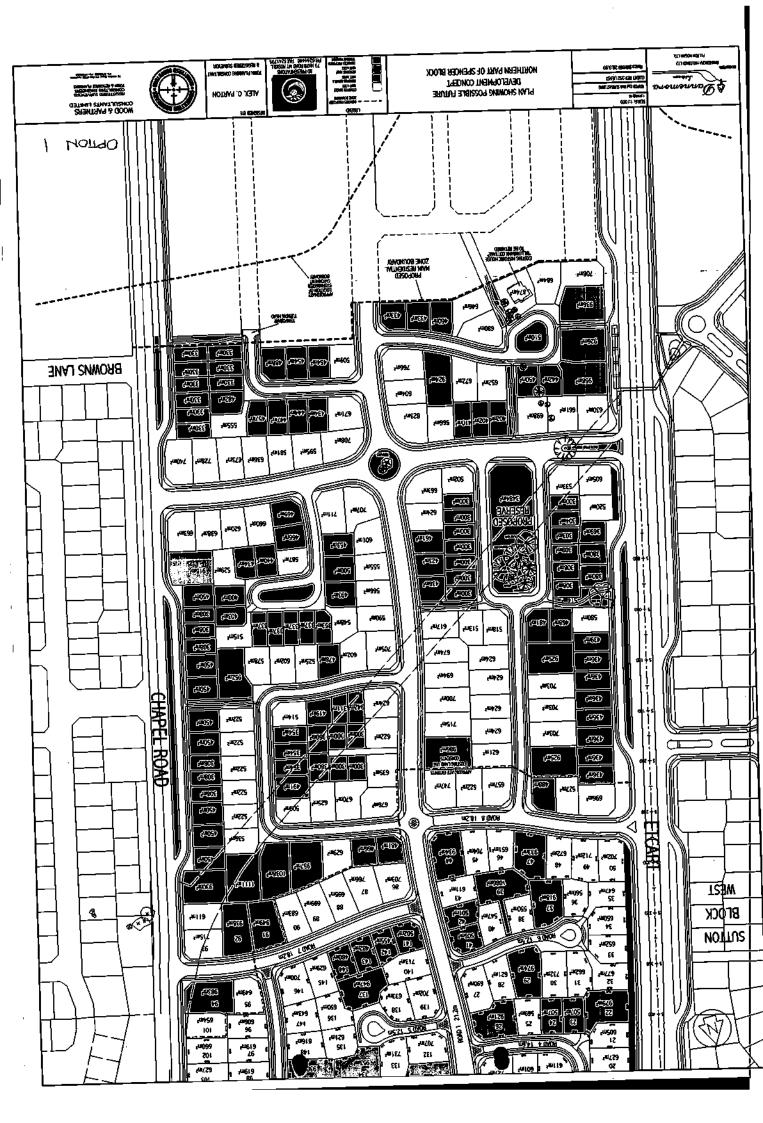
M.N.Z.I.S., Dip T.P., M.N.Z.P.I.

incl.

Don Wood, Wood & Partners CC.

Harold Joyce, Fulton Hogan







plans

ENVIRONMENTAL SERVICES

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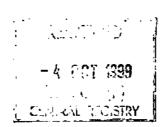
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Our Ref: Sutton/E/LA

30 September 1999

Manukau City Council Private Bag 76-917 Manukau City AUCKLAND

ATTENTION: MR MIKE PRITCHARD

Dear Mike

RE: SP 6198 SUTTON BLOCK

Please find enclosed a copy of the Auckland Regional Council's Soil Conservation Consent for the above subdivision as required by Condition 2a of the Land Use Consent.

If you have any queries please call.

Yours faithfully WOOD & PARTNERS CONSULTANTS LTD

JOHN GARDINER

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Director

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Auckland **Regional** Council

Vodalone House 21 Pitt Street

Private Bag 92 012

Auckland New Zealand

x CP 28 008 Pitt St

tel 64 9 379 4420

tax 64 9 366 2155

File Ref: C512/10/14218

Fulton Hogan Limited/Dannemora Holdings Limited c/- Wood & Partners Consultants Limited PO Box 6752
Wellesley Street
Auckland

Attention: John Gardiner

22 September 1999

Dear Sir

APPLICATION FOR RESOURCE CONSENT - RESOURCE MANAGEMENT ACT 1991

APPLICATION

Applicant:

Fulton Hogan Limited/Dannemora Holdings Limited.

Application Number:

Sc22839 and Lu22995.

Details of Application:

Land Use Consent is sought to undertake an approximately total of 52 hectares of earthworks associated with the development of a residential subdivision. Works are to include the piping of two sections of existing

watercourses.

Site Location:

Sutton Block, East Tamaki Road, East Tamaki.

DECISION

The Manager, Land and Water Quality considered the above application and resolved to grant the Resource Consent in accordance with the conditions of the attached Consent document.

APPEAL PROCEDURES

You may appeal the Council's decision to the Environment Court under Section 120 and 121 of the Resource Management Act 1991. This must be done within 15 working days of receiving this letter.

For further information please contact this office.

Yours faithfully

l Mayhew Manager

Land &/Water Quality

Michael Parsonson

Soil Conservator

Land & Water Quality

your servironment is our concern

SUBJECT: Application Numbers 22839 and 22995 by Fulton Hogan Limited/Dannemora

Holdings Limited for Consent to Carry out Earthworks and Works Within a

Watercourse at Sutton Block, East Tamaki

FROM: Soil Conservator

FILE:

C512/10/14218

Auckland Regional Council

TO:

Section Manager

DATE:

22 September 1999

Land & Water Quality

(This report is confidential until it has been considered and is not to be construed as Council policy until adopted).

1. <u>APPLICATION</u>

1.1 Site Name: Sutton Block.

1.2 Applicant: Fulton Hogan Limited/Dannemora Holdings Limited.

1.3 Location: Sutton Block; corner of East Tamaki Road and Smales Road,

East Tamaki. Map reference NZMS 260 R11 804 712 (refer to Appendix A of this report for location map). TA: Manukau

City Council.

1.4 Proposal: Land use consent is sought to undertake an approximately total

of 52 hectares of earthworks associated with the development of a residential subdivision. Works are to include the piping of

two sections of existing watercourses.

2. NOTIFICATION

The proposed activity is a restricted discretionary activity in accordance with the provisions of the Proposed Regional Plan: Sediment Control (dated September 1995).

Approximately 37ha of the 52ha covered under this Resource Consent application have been covered under previous earthworks consents issued by the Auckland Regional Council over the past three years (these consents have now expired). Approximately 35ha of the block was covered under Land Use Consent Sediment Control No. Sc11762 which was notified. Two submissions were received, one in support and one opposed on the basis of insufficient information. Subsequent consultation resulted in the opposing party supporting the proposed development. The works proposed under this application are in accordance with those previous consented. Furthermore, discussions have been held with the applicant regarding methodologies for limiting the areas to be opened up at any one time. Both the immediate upstream and downstream properties are owned by the applicant.

Consequently, it is confirmed that pursuant to Section 94(2) of the Resource Management Act 1991 and clause 5.4.3.3 of the Proposed Regional Plan: Sediment

Control (dated September 1995), the application for earthworks was not notified as written approval has been obtained from every person that the ARC considers may be adversely affected by the granting of this resource consent and the adverse effect on the environment will be minor, provided appropriate measures are undertaken a subsequently discussed in this report.

The proposed works within the watercourses are innominate in they are not covered by any statutory plan. Consequently, a resource consent is be required for such works under Section 13 of the Resource Management Act 1991.

Pursuant to Section 94(3) of the RMA, this application was not notified as written approval has been obtained from every person that ARC considers may be adversely affected by the granting of this resource consent and the adverse effect on the environment is considered to be minor.

Affected parties from whom written consent has been obtained is as follows:

- Huakina Development Trust
- Ngati Paoa Whanau Trust Board

3. <u>DESCRIPTION</u> OF PROPOSAL

The Sutton Block is a 52ha parcel of formally pastoral land located between Smales Road and East Tamaki Road, East Tamaki. Specifically, Smales Road forms the northern boundary of the block and East Tamaki Road forms the eastern and southeastern boundaries. To the west lies the W Stevenson & Sons Limited East Tamaki Quarry and a concrete plant operated by Firth Certified Concrete Limited.

The property is transected north/south by the ETCART route which is currently under construction. Approximately one third of the block lies to the east of ETCART, with cleanfilling undertaken over the past two earthworks seasons having raised this formally low lying area up to the levels of Smales and East Tamaki Roads. An existing sediment retention pond is centrally located, immediately to the east of ETCART. The land to the west falls from the highest point, formally the flanks of the quarried out volcanic cone of Te Puke O Tara, towards the east and north-east at gradients of up to 1 in 12, easing to very low gradients adjacent to ETCART and Smales Road.

Approximately 4ha of the north-east section of the area to the west of ETCART has also been partially filled during the 1998/99 earthworks season, with two existing sediment retention ponds being located either side of a watercourse (see below), adjacent to Smales Road.

Other than the ETCART route, the block is covered in either original pasture or grass sown at the end of the 1998/99 earthworks season. The only other significant vegetation is a stand of mature macrocarpa trees which is located approximately 100m from the western corner of the block.

Two sections of open watercourse presently cross the property. Both these channels have been previously modified by farm drainage works. A perennial channel enters the site from a road culvert located on the south-eastern boundary, and continues for a distance of approximately 300m before discharging into a piped stormwater system installed under previous consents. Approximately half way along the western side of the ETCART boundary, an ephemeral watercourse extends northwards, discharging through a new culvert under Smales Road. Vegetation within both these channels is dominated by exotic grasses and weeds.

As indicated above, a significant part of the block has been earthworked under existing Land Use Consents during the past few earthworks seasons. The applicant now intends to finish the development of the site over the next two years. During the 1999/2000 season it is intended to undertake approximately 50,000m³ of earthworks to the east of ETCART (Sutton East) in order to complete drainage, form roads and minor recontouring of the land surface. In addition, it is intended to commence cut to fill works to the west of ETCART (Sutton West), which will comprise the working of approximately 250,000m³ of material over the next two seasons.

It is intended that drainage works will commence on Sutton East upon receipt of the appropriate consents, with other works to follow.

The applicant has requested a consent expiry date of 30 April 2001. It is recommended that an expiry date for Land Use Consent: Sediment Control be set at 31 May 2002 to allow for contingencies.

3.1 Erosion and Sediment Control Measures

Sutton East

As most of the Sutton East site is at, or near final grade, the main stormwater line will be installed prior to any other works being undertaken. Areas of disturbance will be limited to the corridor required to install the line. Any sediment laden runoff from these works may be diverted to the existing sediment ponds or treated by other appropriately sized earth bunds. The upstream end of the perennial watercourse will be diverted into the new stormwater line via a temporary stabilised channel.

The next step will be to install the second main drainage line, parallel to the first but to the west of proposed Road 1. This road will form the final overland flow path through the site and with the main drainage installed, sediment laden runoff from the balance of the works may be treated by breaking up the site into a series of subcatchments, all draining to earth bunds which in turn, will discharge into the nearest drainage manhole.

Works will continue with the completion of drainage, the gulleting of road alignments and the filling of the eastern open watercourse and existing sediment retention pond.

As the site is presently stabilised and the proposed works are isolated, stripping is to be kept to a minimum. To that end, the applicant has provided a plan indicating those areas which may be immediately reinstated on completion of drainage installation (approximately one third of the site). It is recommended as a special condition of

consent that limits of disturbance (LODs) be marked on the site and that all parties working the be made aware that once drainage is completed, these areas are to remain undisturbed.

It is the intention that the roads in the northern part of this site will be stabilised by the end of 1999, as may be some of the roads through the central section. In the interim, flow paths along exposed gullets will be broken up with earthbunds, decanting to adjacent drainage manholes. Other than Road 1, completion of works in the southern corner of the site may be deferred until the 2000/01 season.

Sutton West

It is proposed to work Sutton West in two stages. The lower area (approximately 20ha) will be worked, taking most of the cut from the central ridge. Sediment laden runoff from this area will be diverted into one of four sediment retention ponds, with each pond sized to service catchments of approximately 5ha. During works, contour drains will be employed to break up flow paths across the exposed site. Once bulk earthworks are complete, drainage will continue through the 9.5ha section of this stage adjacent to Smales Road. On completion of drainage, areas not designated for road alignments will be topsoiled and grassed. Meanwhile, the balance of Stage 1 will be topsoiled and grassed as soon as bulk earthworks are completed. Topsoil bunds will be used to break up flowpaths across the completed areas. Prior to the commencement of works, a topsoil bund will be placed along the western boundary of the stage, thus diverting cleanwater runoff from the 11.4ha section of the Sutton West block.

Once Stage 1 bulk works are completed, drainage lines will be installed up to the Stage 2 (western) area. Two sediment retention ponds will service Stage 2, with each pond discharging directly into one of the newly placed stormwater lines. Again, contour drains will be employed to break up flow paths. Minimal cleanwater catchment enters this section of the site. On completion of bulk earthworks, Stage 2 will be topsoiled and grassed. No civil works are planned for this stage at present. It is likely that Stage 2 will not be undertaken until the 2000/02 season. However, if commenced during the 1999/2000 season, the site will be stabilised by 30 April 2000 and will not be worked again until 1 October 2000.

General

All erosion and sediment controls will comply with the minimum requirements of Auckland Regional Council Technical Publication No. 90 "Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region", March 1999 (TP90), except where a higher standard is required. As flowpaths to the ponds exceed 200m in length and/or exceed 10% slope, each pond will be sized to the 3% criteria (i.e. 300m³ per 1.0ha of contributing catchment). Existing ponds in Sutton West will be upgraded to TP90 standard.

3.2 Other Resource Consents Needed

Subdivision Consent is currently being sought from Manukau City Council (MCC). The discharge of stormwater is covered under a Comprehensive Discharge Permit held

by Manukau City Council. No other ARC consents are thought to be required to undertake the proposed works.

4. EVALUATION

In accordance with Section 104 of the Resource Management Act, the Regional Council shall, subject to Part II of the Act, have regard to the following relevant matters when considering this application.

4.1 Assessment of Effects on the Environment

Utilising the Universal Soil Loss Equation (USLE), the applicant provides the following estimates for sediment yield from the site, both prior to construction and during construction:

	Pre-construction During construction		
Sutton East	1.13t/ha/yr	0.42t/ha/yr (7.58t total)	
Sutton West	4.92t/ha/yr	0.84t/ha/yr (22.62t total)	

The parameter values used in the calculations are considered to be within realistic ranges for the subject site (see applicants report for details).

The above values indicate that while slopes within Sutton West are no more than moderate, they result in a doubling of the likely sediment yield per unit area from that part of the property. It should be noted that the calculations are based on a sediment control efficiency of 70%. While this is considered realistic, to achieve such efficiency, sediment control measures must be maintained to the minimum standard specified in Auckland Regional Council Technical Publication No. 90 "Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region", March 1999 (TP90). If not, efficiencies can fall rapidly, and significantly greater levels of sediment may be discharged from the site.

All discharge from the site drains under Smales Road, via an 1800mm diameter culvert or a 2050mm diameter pipeline, and enters a tributary of the Upper Power Substation arm of the Pakuranga Creek.

Of the 600ha catchment of the Upper Power Substation arm of Pakuranga Creek, approximately 350ha is in pasture. The remainder is in relatively mature industrial and commercial development (approximately 50ha), recently built small lot development (approximately 150ha) and more mature larger lot size urban development (approximately 50ha).

Currently, and for the preceding few years, it is estimated that between 70-80 homes are under construction at any one time. If it is assumed that at any one time the area of exposed soil on a residential building site of 700m² is in the order of 200-300m² then the cumulative total is approximately 2ha. Currently none of these building sites have

any form of sediment control so it can be assumed that the sediment yield from these sites will be in the order of 100 tones per annum.

The more mature commercial, industrial and residential development can be expected to produce between 0.24t/ha/yr and 0.4t/ha/yr (taking into account the large lot sizes and unsealed surfaces of some access roading on the steeper hillslopes), an average of approximately 0.3t/ha/yr. A similar amount could also be expected from the recently developed residential areas (garden development, etc). Estimates of sediment discharge from individual lot construction activities are in excess of 100t/yr. Consequently, the current 'background' sediment discharge can therefore be estimated to be in the order of 400t/yr. Prior to development, the catchment would have yielded sediment volumes in the vicinity of 300t/yr. To this total must be added sediment yield from secondary works associated with the completion of civil works in the Sayes/Kellaway Blocks (>10ha), Armstong Block Stage 2 (approx. 3ha at present) and Fowler Block Stage 2 (approx. 3ha at present). Yield from these activities is not quantified but is thought to be in the same order as that produced from individual lots. As a result, the present background sediment yield from the catchment is likely to be in excess of 400 t/yr.

The marine receiving environment is a low energy tidal system where suspended particulate is likely to be the dominate human induced environmental impact. The marine ecosystems found in this environment can be expected to have adjusted and be robust under high suspended solid concentrations, however, cumulative discharges of sediment from the catchment are likely to cause significant adverse effects in the short term.

There will be short term smothering of benthic zone organisms and an increase in discoloration of the water column. These impacts are greater when combined with sediment discharges from other consented and permitted earthwork activities within the catchment.

These effects may last for some time after the end of the earthworks season depending on catchment flows and tidal flushing effects. Sediment concentrations will reduce further down the estuary through tidal mixing and dilution effects from relatively 'clean' stormwater discharges from more mature urban developments beyond the head of the estuary. However, sedimentation may be high in the lower estuary depending on flood event and tides. Sediment concentrations can be expected to be further reduced beyond this arm of the estuary because of better tidal flushing closer to the open sea.

Whilst it can be argued that the discharge from the site will eventually be reduced to approximately 50% of the current sediment discharge rate (urban sediment yields compared to pastoral, Auckland Regional Council Technical Publication 69), thereby reducing detrimental impacts in the receiving environment, some short term increases in sediment yield is inevitable. The increased discharge of stormwater pollutants may also off-set any potential gains made by reduced sediment yield.

The Tamaki Estuary has been identified as an Area of Significant Conservation Value (ASCV) in the Proposed Regional Plan: Coastal. A Coastal Protection Area within this ASCV, approximately 2.5 kilometres downstream of the confluence of the Pakuranga Stream with the coastal marine area has been identified as the Pakuranga

Creek Roost. This area is a roosting site for hundreds of wading birds that feed within the Tamaki Estuary and is associated with three other Coastal Protection Areas further down the Estuary. The whole of the Tamaki Estuary is a regionally important wildlife habitat. Reduction of the life supporting capacity of the waters of the Tamaki Estuary through high sediment discharge will have a detrimental effect on the food chain on which the wading birds are dependant. What effect the estimated sediment discharge from the proposed development will have on these feeding grounds which are some kilometres away would be purely a subjective assessment. However sediment discharges into this arm of the Tamaki Estuary have been occurring for a number of years and to date no information has been produced that indicates the spread of substantially diluted sediments into the middle and lower reaches of Tamaki Estuary is having a detrimental effect on the life supporting capacity of these areas, or on the populations of coastal birds.

In addition to the 52ha earthworks proposed in the this application, approximately 35ha of bulk earthworks are proposed to be undertaken on other blocks within the catchment over the next few earthworks seasons (Fowler Block, Athy Block and Spencer Block). Consequently, unless consideration is given to the overall increase in sediment discharge from the catchment, significant further cumulative degradation of the receiving environments is likely to occur. It has been noted that sediment discharge from earthworks associated with previous development has substantially altered the receiving environments. Consequently, it is considered that sedimentation of these environments can only be kept at 'sustainable levels' through a catchment budget approach coupled to a thorough knowledge of recovery rates of the marine benthic zones. As the limitations on available data precludes a quantitative estimate of sustainable levels of sediment input, a precautionary approach is recommended. Therefore, in order to minimise the total area of bare surface at any one time, the following are recommended as special conditions of consent (similar conditions will be recommended for other developments within the catchment):

1. The combined total area of earthworks undertaken on Sutton East and Sutton West shall not exceed 22ha at any one time. In order to maintain this limit, cut to fill operations shall be carried out such that completed areas are progressively stabilised.

Further to the above staging conditions, it is recommended that the following conditions also be required:

- 2. All sediment retention ponds shall be sized to the 3% criteria (i.e. 300m³ per 1.0ha of contributing catchment).
- 3. At the time of initial stripping, appropriately sized bunds be formed to ensure that all sediment laden discharge is diverted to one or other of the sediment retention ponds. These bunds must be checked and maintained daily.

As indicated in Section 3 of this report, the proposed works incorporate the filling of two sections of open watercourse. The western most section has a length in excess of 400m in the form of a straight, modified farm drainage channel. This section is dominated by pasture and weed species and is now ephemeral, with most of its catchment either having been, or about to be diverted into piped drainage systems

associated with the ETCART project. The easternmost section of channel, which enters the property from the south-eastern boundary, continues for a distance of approximately 300m before discharging into an existing piped system. This channel has also been modified in the past, and is also dominated by pasture and weed species but is more likely to be classed as perennial, with a catchment of approximately 50ha of predominantly pastoral land. However, the applicant holds a current Land Use Consent: Sediment Control (No. 21698) under which the all reaches of this watercourse are to be filled as part of the development of the Spencer and Athy Blocks. These upstream reaches have been heavily grazed stock damaged, and are less incised (less modified) than the subject reach. Furthermore, at the time of issue of consent No. 21698, the upstream reaches were deemed to be ephemeral. As a result, while Auckland Regional Council (ARC) does not condone the piping or in-filling of existing watercourses, in this instance very little tangible benefit may be gained by retaining the 300m of open channel lying to the east of ETCART. Consequently, it is recommended that Land Use Consent: Works Within a Watercourse or Lake be granted to undertake the proposed works.

Consultation has been undertaken with Tangata Whenua, namely Huakina Development Trust and Ngati Paoa Whanau Trust Board during applications made for earlier consents covering most of the subject block. At that time, written confirmation was received from both those parties that they did not oppose the subject development. As mentioned in above, the subject development is in accordance with that covered under those earlier consents.

An archaeological survey of the site was undertaken on behalf of the applicant by Bioresearches. The subsequent report has been reviewed by an ARC archaeologist, confirming that only one site of significance was found on the property; that being a dry stone wall located on the north-western boundary. The applicant has confirmed that this wall will not be affected by the proposed development. It is recommended that the protection of this wall be confirmed in a special condition of consent. It is further recommended as a special condition of consent that in the event of contractors uncovering archaeological remains (e.g. shell, middens, hangi or ovens, pit depressions, defensive ditches, artifactual material or human bones) work is to cease in the vicinity of the discovery and the Archaeologist, Auckland Regional Council is to be contacted so that the appropriate action can be taken before any work may recommence there

In summary, it is considered that, provided the applicant meets the requirements set out in the Special Conditions proposed for the resource consent, the operation will have employed the best practical option to minimise sediment discharge from the site and that it is unlikely that any culturally significant site will be adversely affected.

4.2 Proposed Auckland Regional Policy Statement

Pursuant to Section 104 (1)(d) of the Resource Management Act 1991 regard must be had to the proposed Auckland Regional Policy Statement (PARPS).

Section 8 - Water Quality of the PARPS contains objectives, policies and methods which address among other things the effects of the discharge of elevated levels of sediment on water quality in the Region. In particular, Policy 8.4.7.3 states:

"all land disturbance activities which may result in elevated levels of sediment discharge shall be carried out so that the adverse effects of such discharges are avoided, remedied or mitigated."

For the reasons detailed in Section 4.1 of this report, the proposed land disturbance activity is considered to be consistent with the relevant objectives and policies of the Policy Statement.

Appendix B of the PARPS 'Areas of Significant Natural Heritage' has been consulted with respect to this site and it is noted that the proposal does not impact on any significant natural heritage sites.

4.3 Proposed Regional Plan: Sediment Control (dated September 1995)

Pursuant to Section 104 (1)(d) of the Resource Management Act 1991 regard shall be had to the relevant objectives, policies and rules contained in the Proposed Regional Plan: Sediment Control, dated September 1995 (PRPSC).

The earthworks activity and the discharge of sediment laden runoff generated by the activity is identified as a restricted discretionary activity in the PRPSC.

Objective 5.1.1 of the PRPSC seeks to "maintain or enhance the quality of water in waterbodies and coastal waters", and 5.1.2 seeks to "sustain the mauri of water in waterbodies and coastal waters, ancestral lands, waahi tapu and other taonga".

Policy 5.2.1 of the PRPSC states:

"Land disturbance activities which may result in the generation and discharge of elevated levels of sediment will be required to employ methods which avoid, remedy or mitigate adverse effects on the quality of the water in the waterbodies and coastal waters".

For the reasons detailed in Section 4.1 of this report, the proposed land disturbance activity and the discharge of sediment laden runoff generated by the activity are considered to be consistent with these objectives and policies specified in 5.1.1, 5.1.2, 5.2.1, 5.2.2, 7.1.1, and 7.1.2 of the PRPSC.

4.4 New Zealand Coastal Policy Statement

Pursuant to Section 104 (1)(c) of the Resource Management Act 1991 regard must be had to any New Zealand Coastal Policy Statement (NZCPS). The Policy Statement provides guidance to local authorities in management of the coastal environment. The following is a precis of the policy direction of the NZCPS:

- Protection of characteristics of the coastal environment of special value to the Tangata Whenua should be carried out in accordance with Tikanga Maori.

Adverse effects of use or development in the coastal environment should as far as practicable be avoided. Where complete avoidance is not practicable, the adverse effects should be mitigated and provision made for remedying those effects, to the fullest extent practicable.

For reasons detailed in above in Section 4.1 of this report, the proposed land disturbance activity is considered to be consistent with the policy direction in the NZCPS.

4.5 Proposed Regional Plan: Coastal

Pursuant to Section 104 (1)(d) of the Resource Management Act 1991 regard shall be had to the relevant objectives, policies and rules in the Proposed Regional Plan: Coastal (PRPC).

The discharge of sediment laden runoff from the proposed activities could potentially discharge into the Tamaki Estuary, which is an area identified as being an Area of Significant Conservation Value in the PRPC. Chapter 19 of the PRPC contains objectives, policies and rules by which to assess an application for the discharge of contaminants (including sediment) to the coastal marine area.

It is considered that subject to conditions that are proposed to be included as part of this consent the discharge generated by the proposed activity will be consistent with objectives 19.3.1 and 19.3.2 and policies 19.4.1, 19.4.2 and 19.4.3 of the PRPC.

5. CONCLUSION

Having assessed the proposal in terms of the relevant matters detailed in Section 104 of the Resource Management Act 1991 it is considered that the operation will employ the best practicable option to minimise sediment discharge from the site. It is considered that subject to the imposition of the recommended conditions of consent, any adverse effects of the proposed activity on the environment will be minor and will not be contrary to the objectives and policies of the Proposed Regional Plan: Sediment Control (dated September 1995) and the Proposed Regional Plan: Coastal.

6. <u>RECOMMENDATIONS</u>

It is recommended that the consent be granted subject to the conditions stated on the consent document appended to this report (including the Council's Standard Conditions).

The reasons for recommending this decision are:

- That subject to compliance with the proposed conditions of consent, the proposed activity will have no more than a minor adverse effect on the environment, and

That the proposed activity is not contrary with the relevant objectives, policies and rules in the Proposed Regional Plan: Sediment Control (dated September 1995) and does not conflict with any relevant matters under Part II of the Resource Management Act 1991.

Signed by Processing Officer:

lr\sep\14218

AUCKLAND REGIONAL COUNCIL

RESOURCE CONSENT

Granted Pursuant to the Resource Management Act 1991

LAND USE CONSENT: SEDIMENT CONTROL NO. 22839

CONSENT HOLDER:

Fulton Hogan Limited/Dannemora Holdings Limited

FILE REFERENCE

14218

CONDITIONS OF CONSENT

Date of Expiration of Consent:

31 May 2002.

Date of Lapsing of Consent

30 September 2001.

Purpose of Consent:

Land use consent is sought to undertake an approximately

total of 52 hectares of earthworks associated with the

development of a residential subdivision.

Site Location:

Sutton Block; corner of East Tamaki Road and Smales

Road, East Tamaki. Map reference NZMS 260 R11 804 712 (refer to Appendix A of this report for location map).

Territorial Authority:

Manukau City Council.

SPECIAL CONDITIONS OF CONSENT

- 1. That erosion and sediment control measures shall be carried out in accordance with those described in Land Use Consent: Sediment Control Application No. C512/10/Sc22839 and the accompanying Wood & Partners Consultants Limited Sediment Control Plans, supporting documents and specifications; except where those documents are superseded by the following special conditions of consent. Any amendments that may affect the performance of erosion and sediment control measures on site, shall be approved by the Manager, Land and Water Quality, Auckland Regional Council in writing prior to construction.
- 2. The combined total area of earthworks undertaken on the areas known as Sutton East and Sutton West shall not exceed 22ha at any one time. In order to maintain this limit, cut to fill operations shall be carried out such that completed areas are progressively stabilised. If the grantee requires an area in excess of 22ha to be worked, specifically for the purpose of drying fill material or obtaining suitably dry fill material, then written approval for this must be sought and obtained from the Manager, Land and Water Quality, Auckland Regional Council prior to extending that limit.

- 3. All areas not directly subject to secondary works (i.e. service installation and roading) on the area known as Sutton East shall be progressively stabilised by grass cover, straw mulching or other approved method.
- 4. That a report detailing the total areas of earthworks open, inclusive of any proposed stabilisation, be submitted to the Manager, Land and Water Quality, Auckland Regional Council on a monthly basis from the time of commencement of earthworks. The report shall detail compliance with Special Condition 2 of this consent.
- 5. That all "cleanwater" runoff from stabilised surfaces including catchment areas above the site shall be diverted away from earthwork areas via a stabilised system, so as to prevent surface erosion. Specific reference is made to the area known as Sutton West, where all cleanwater runoff from Area B shall be diverted away from Area A via appropriate diversion bunds or stabilised runoff diversion channels.
- 6. That no vegetation removal or earthworks be undertaken between 30 April and 1 October in any year, without the prior written approval of the Manager, Land and Water Quality, Auckland Regional Council.
- 7. That limits of disturbance (LODs) be marked on the site and that all parties working there be made aware that once works is completed in any area, that area shall remain undisturbed. LODs shall be marked at the commencement of works and shall also be marked around areas where works have been completed.
- 8. That all sediment laden runoff from the site shall be treated by sediment control measures, as described in the consent application or modified under Special Condition 1 above. These structures are to be constructed in accordance with best practice, be operational before bulk earthworks commence and be maintained to perform at full operational capacity until the site has been adequately secured against erosion (whether by vegetative means, paving, or otherwise).
- 9. That all perimeter controls shall be operational before bulk earthworks begin. Specifically, appropriately sized bunds must be employed to ensure that all sediment laden discharge is diverted to one or other of the sediment retention ponds. These bunds must be checked and maintained daily.
- 10. That all sediment retention ponds shall be constructed to the 3% criteria (i.e. 300m3 per 1.0ha of contributing catchment). All ponds shall be designed in full compliance with the minimum design standards detailed in Auckland Regional Council Technical Publication No. 90 "Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region", March 1999 (TP90).
- 11. That all other erosion and sediment control measures shall also be constructed and maintained in accordance with TP90, except where a higher standard is contained in the documents referred to in Condition 1 above, in which case this higher standard shall apply.
- 12. That the Team Leader, Sediment Management, Auckland Regional Council shall be informed in writing 2 weeks prior to any works commencing; then again once erosion

and sediment control measures have been constructed, prior to bulk earthworks commencing; and again before erosion and sediment control measures are removed.

13. That the consent holder shall submit a certificate signed by an appropriately qualified and experienced engineer to certify that the erosion and sediment controls have been constructed in accordance with the erosion and sediment control plan as specified in special condition 1 of this consent, prior to bulk earthworks commencing. Certified controls shall include sediment control ponds, diversion channels/bunds, and check dam structures. This requirement shall also apply to sediment retention facilities that are constructed during the site development. In which case, the "as-built" shall be submitted within 7 days following the completion of construction of the sediment retention facility.

Information supplied shall include:

- i) Contributing catchment area
- ii) Retention volume of structure
- iii) Shape of structure
- iv) Position and design of inlets and outlets
- v) Stabilisation of structure
- vi) Confirmation of Compliance with TP90 as detailed in Special Conditions 10 and 11 of this consent.
- 14. That the site shall be stabilised against erosion as soon as practicable and in a progressive manner as earthworks are finished over various areas of the site. Revegetation is to be completed by 30 April in the year of earthworks construction in accordance with measures detailed in TP90, unless a later date is approved in writing by the Manager, Land and Water Quality, Auckland Regional Council at least two weeks before 30 April.
- 15. That no works shall be undertaken within the immediate vicinity of the dry stone wall located along the north-western boundary of the site, as identified in the Bioresearches report appended to the consent application.
- 16. In the event of contractors uncovering archaeological remains (eg. shell, middens, hangi or ovens, pit depressions, defensive ditches, artifactual material or human bones) work is to cease in the vicinity of the discovery and the Archaeologist, Auckland Regional Council is to be contacted so that the appropriate action can be taken before any work may recommence there.

STANDARD CONDITIONS OF CONSENT

1. The Auckland Regional Council may by serving notice on the consent holder of it's intention to do so at any time within the period commencing one year after the date of the commencement of this consent and expiring six months thereafter, review under section 128 of the Resource Management Act 1991 the conditions of this consent for any of the following purposes.

- i. To deal with any adverse effect on the environment which may arise from the exercise of this consent and which it is appropriate to deal with at a later stage;
- ii. To require the holder of a discharge permit or a coastal permit to adopt the best practicable option to remove or reduce any adverse effect on the environment; or
- iii. To deal with any other adverse effect on the environment on which the exercise of the consent may have an influence.
- 2. The consent holder shall permit the servants or agents of Auckland Regional Council to have access to relevant parts of the property at all reasonable times for the purpose of carrying out inspections, surveys, investigations, tests, measurements and/or to take samples.

ADVICE NOTES

- 1. The expiry date of this consent is 31 May 2002 to allow for contingencies. It is expected however, as stated in the application, that the works will be completed by 30 April 2001.
- 2. The consent holder is referred to Section 125 of the Resource Management Act 1991, which provides for the lapsing of a consent two years after the commencement date, if it is not given effect to within that period. Note that the lapsing date for this consent is specified as 30 September 2001.
- 3. The consent holder is referred to Section 124 of the Resource Management Act 1991, which provides for the exercising of a consent while applying for a new consent for the same activity.
- 4. That the applicant make the Contractor/Consultant associated with the proposed works aware of the Industry Education Course for Plan Implementors/Preparers available through the Auckland Regional Council.

SIGNED AT AUCKLAND FOR AND ON BEHALF OF THE AUCKLAND REGIONAL COUNCIL

I Mayhew Manager

Land & Water Quality

Michael Parsonson
/ Soil Conservator

Land & Water Quality

AUCKLAND REGIONAL COUNCIL

RESOURCE CONSENT

Granted Pursuant to the Resource Management Act 1991

LAND USE CONSENT: WORKS WITHIN A WATERCOURSE OR LAKE NO. Lu22995

CONSENT HOLDER:

Fulton Hogan Limited/Dannemora Holdings Limited

FILE REFERENCE

14218

CONDITIONS OF CONSENT

Date of Expiration of Consent:

31 May 2002.

Date of Lapsing of Consent

30 September 2001.

Purpose of Consent:

Land use consent is sought to undertake the filling and

piping of two sections of existing watercourse.

Site Location:

Sutton Block; corner of East Tamaki Road and Smales

Road, East Tamaki. Map reference NZMS 260 R11 804 712 (refer to Appendix A of this report for location map).

Territorial Authority:

Manukau City Council.

SPECIAL CONDITIONS OF CONSENT

- 1. That erosion and sediment control measures shall be carried out in accordance with those described in Land Use Consent: Works Within a Watercourse or Lake Application No. C512/10/Lu22995 and the accompanying Wood & Partners Consultants Limited Sediment Control Plans, supporting documents and specifications; except where those documents are superseded by the following special conditions of consent. Any amendments that may affect the performance of erosion and sediment control measures on site, shall be approved by the Manager, Land and Water Quality, Auckland Regional Council in writing prior to construction.
- 2. That all "cleanwater" runoff from stabilised surfaces including catchment areas above the site shall be diverted away from earthwork areas via a stabilised system, so as to prevent surface erosion.
- 3. That no vegetation removal or earthworks be undertaken between 30 April and 1 October in any year, without the prior written approval of the Manager, Land and Water Quality, Auckland Regional Council.

- 4. That during works in either of the subject channels or in the vicinity of the channels, flows shall be diverted via a stabilised system, so as to remove upper catchment water from the earthworks area.
- 5 That all machinery shall be kept out of the channels until such time as upstream flows have been diverted.
- 6. That no unstabilised soil shall be deposited within the channels until such time as upstream flows have been diverted.
- 7. That all sediment laden runoff from the area of works be treated by appropriate erosion and sediment control measures constructed an maintain in full compliance with the minimum design standards detailed in Auckland Regional Council Technical Publication No. 90 "Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region", March 1999 (TP90), except where a higher standard is contained in the documents referred to in Condition 1 above, in which case this higher standard shall apply.
- 8. That all perimeter controls shall be operational before works within a watercourse commence.
- 9. That the Team Leader, Sediment Management, Auckland Regional Council shall be informed in writing 2 weeks prior to any works commencing; then again once erosion and sediment control measures have been constructed, prior to works within a watercourse commencing; and again before erosion and sediment control measures are removed.
- 10. That the consent holder shall submit a certificate signed by an appropriately qualified and experienced engineer to certify that the erosion and sediment controls have been constructed in accordance with the erosion and sediment control plan as specified in special condition 1 of this consent, prior to works within a watercourse commencing. Certified controls shall include sediment control ponds, diversion channels/bunds, and check dam structures. This requirement shall also apply to sediment retention facilities that are constructed during the site development. In which case, the "asbuilt" shall be submitted within 7 days following the completion of construction of the sediment retention facility.

Information supplied shall include:

- i) Contributing catchment area
- ii) Retention volume of structure
- iii) Shape of structure
- iv) Position and design of inlets and outlets
- v) Stabilisation of structure
- vi) Confirmation of Compliance with TP90 detailed in Special Condition 7 of this consent.
- 11. That the site shall be stabilised against erosion as soon as practicable and in a progressive manner as works are finished over various areas of the site. Revegetation is to be completed by 30 April in the year of works construction in accordance with

measures detailed in TP90, unless a later date is approved in writing by the Manager, Land and Water Quality, Auckland Regional Council at least two weeks before 30 April.

12. In the event of contractors uncovering archaeological remains (e.g. shell, middens, hangi or ovens, pit depressions, defensive ditches, artifactual material or human bones) work is to cease in the vicinity of the discovery and the Archaeologist, Auckland Regional Council is to be contacted so that the appropriate action can be taken before any work may recommence there.

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 section 128 of the Resource Management Act 1991 the conditions of this consent for
 any of the following purposes.
 - i. To deal with any adverse effect on the environment which may arise from the exercise of this consent and which it is appropriate to deal with at a later stage;
 - ii. To require the holder of a discharge permit or a coastal permit to adopt the best practicable option to remove or reduce any adverse effect on the environment; or
 - iii. To deal with any other adverse effect on the environment on which the exercise of the consent may have an influence.
- 2. The consent holder shall permit the servants or agents of Auckland Regional Council to have access to relevant parts of the property at all reasonable times for the purpose of carrying out inspections, surveys, investigations, tests, measurements and/or to take samples.

ADVICE NOTES

- 1. The expiry date of this consent is 31 May 2002 to allow for contingencies. It is expected however, as stated in the application, that the works will be completed by 30 April 2001.
- 2. The consent holder is referred to Section 125 of the Resource Management Act 1991, which provides for the lapsing of a consent two years after the commencement date, if it is not given effect to within that period. Note that the lapsing date for this consent is specified as 30 September 2001.
- 3. The consent holder is referred to Section 124 of the Resource Management Act 1991, which provides for the exercising of a consent while applying for a new consent for the same activity.

4. That the applicant make the Contractor/Consultant associated with the proposed works aware of the Industry Education Course for Plan Implementors/Preparers available through the Auckland Regional Council.

SIGNED AT AUCKLAND FOR AND ON BEHALF OF THE AUCKLAND REGIONAL COUNCIL

I Mayhew Manager

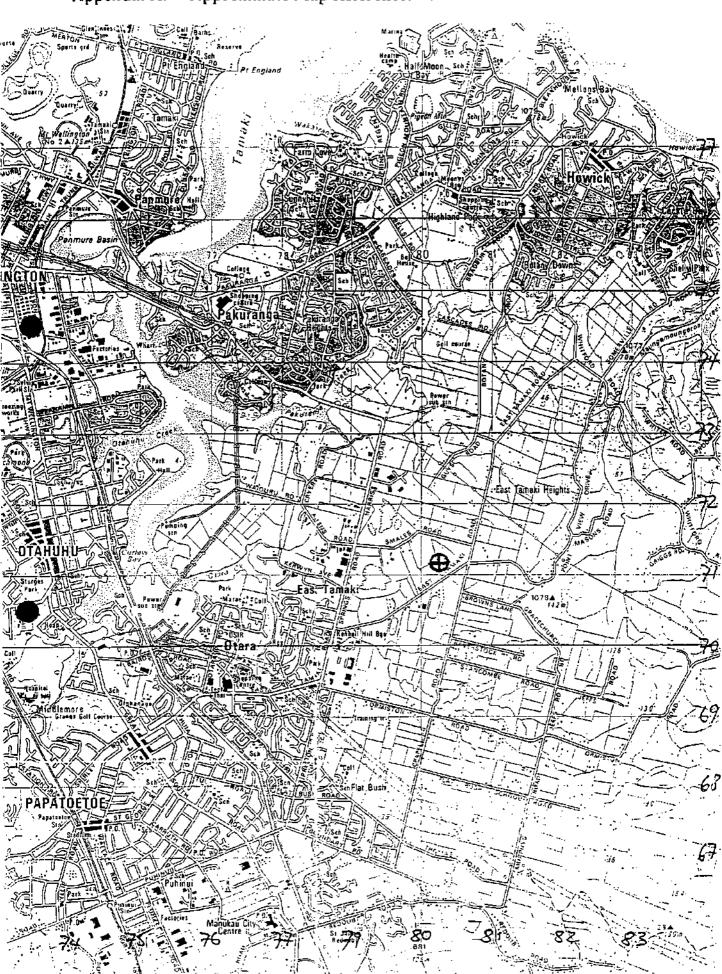
Land & Water Quality

Per:

Mighael Parsonson Soil Conservator

Land & Water Quality

Appendix A. Approximate Map Reference: NZMS 260 RII 804712





BUILDING & RESOURCE SERVICES

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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS:

D. L. WOOD M.I.P.E.N.Z., F.N.Z.I.S., R.S. FIJI T. J. D. JAMES N.Z.C.L.S., B.SURV., M.N.Z.I.S. D. W. WILLIAMS B.SURV., M.N.Z.I.S. J. F. GARDINER B.E., M.I.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.I.S.



Our Ref: 3521/1RC

CC AP 2019.

20 September 1999

The Team Leader - Resource Consents Resource Consents and Compliance Unit Manukau City Council Private Bag 76-917

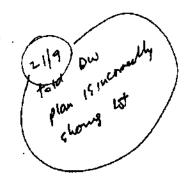
MANUKAU CITY

ATTENTION: MIKE PRITCHARD

RECEIVED

2 0 SEF 1999

M.C.C.
BUILDING A
RESOURCE SERVICES



Dear Mike

RE: SUTTON EAST STAGES 1 AND 2 SP 6326 DANNEMORA SUBDIVISION

In response to your Section 92 request, we provide two new sets of engineering drawings amended to your requirements. We also make the following comments in reply to your request.

- Catchment plans and calculation sheets enclosed.
- The 375ø sewer line has been realigned to a position beneath the footpaths in Roads 1 and 4 as discussed and agreed with Manukau Water on 1 September 1999.
- 3. Manukau Water were okay with the lay position now shown on our drawings at the meeting on 1 September 1999.
- 4-12. Water layout changed.
- 13-14 Attended to.
- The capacity of the flowpath is demonstrated in calculations which are included.
- 16. The cul-de-sac head of Road 3 appears to comply with Manukau City Council Engineering Quality Standards Drawing R3. Can you clarify where the head does not comply.
- 17. Attended to.

18-19 Streetlights will be detailed in the power reticulation drawings once the contract has been awarded. We are still awaiting details from Telecom and Orion.

Yours faithfully WOOD & PARTNERS CONSULTANTS LTD

REGISTERED SURVEYOR

WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS

D. L. WOOD MILPENIZ, ENIZI S., R.S. FIJI T. J. D. JAMES NIZICLIS., BISURY, MINIZIS, O. W. WILLIAMS BISURY, MINIZIS J. F. GARDINER BIE., MILPENIZ, M. G. WILLIAMS BISURY, MINIZIS



FACSIMILE

Our Fax: 09 379 3236

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TO: MAC	
ATTENTION: Mike Pritchard	alan Payne K
FROM: J.G.	
RE: Parklands Sutton	Block

MESSAGE

Please advise by fax if any part of this transmission failed or was misdirected.

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HOWICK FARKLANDS LID

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WOOD & PARTNERS CONSULTANTS LTD

CONSULTING ENGINEERS REGISTERED SURVEYORS TOWN PLANNERS

DIRECTORS: D. L. WOOD MLEEN Z., ENZLS., R.S. FIII T.I. D. IMMES N.Z.C.L.S., B.SURV., M.N.Z.LS. D. W. WILLIAMS B.SURV, M.N.Z.L.S. J. F. GARDINER B.E., M.L.P.E.N.Z. M. G. WILLIAMS B.SURV., M.N.Z.LS.



Our Ref: Sutton East/RC

08 September 1999

Manukau City Council Private Bag 76 917 MANUKAU CITY

ATTENTION: MIKE PRITCHARD/HOWARD WRIGHT/ALAN PAYNE

Dear Sire

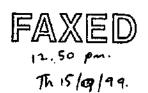
RE: DANNEMORA SUTTON BLOCK

Dannemora and Howick Parklands Limited have recently discussed the bulk drainage servicing issues relating to the Fowler, Sutton and Athy blocks. Both parties are now in agreement that the servicing shall generally be carried out along the lines of Wood & Partners memo to Council on the 5" of August 1999.

For Dannemora (Harold Joyce)

For Howick Parklands (J. Noma)

1 NZ Jeny --





Environmental Services

		Private Bag 76917
To:	Mr J. Gardner.	Manukau City
	Λ.	New Zealand
Company:	Wood EPtrs	DX EP75557
		Fax (09) 262-5168
Fax No:	379 32 36	(09) 262-5109 .
From:	muke Pritchard. Email:	@manukau.govt.nz
Date:	15 9 99 No of Pages: 4.	
Subject:	Dannemara Sutton East Still SP 6326 P1	5173.
	Copy of Sec. 92 for the above - les	Her in mail
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All the material in this message is confidential to the addressee. If the reader is not the intended recipient, please note that you may not use any material in this message nor pass it on to others. Please notify us promptly of your having received this message and return it to us uncopied.

Environmental Services

15 September 1999

Wood & Partners Ltd PO Box 6752 Wellesley Street AUCKLAND

Attention: Mr J Gardiner

Dear Sir

SECTION 92 REQUEST FOR FURTHER INFORMATION - RESOURCE CONSENT APPLICATION FOR THE 117 LOT FEE SIMPLE SUBDIVISION ON THE DANNEMORA PROPERTY AT 474 EAST TAMAKI ROAD, OTARA (SUTTON BLOCK STAGES 1 AND 2 - EAST - PROPOSAL NO. 15173, SP6326)

Further to receipt of the above-mentioned application it has been determined that the following additional information is required pursuant to Section 92 of the Resource Management Act 1991 in order to better understand the nature of the application:

Planning

Further to the requests made at the lodgement meeting on 12 August 1999 and our faxed letter of 25 August 1999, please provide the following additional information to allow us to continue to assess this application:

Wastewater Servicing

- Please submit a catchment plan for the proposed 450 mm wastewater drain with the subcatchments of the 375 mm and 225 mm drains clearly identified and the associated calculations of the capacity and design flows.
- 2 Since service connections will not be permitted directly off the 375 line, there is no advantage in having it run through private property. Where, however, it does pass through private property, the manholes should be located in common areas or public areas. It is our preferred option to run one trunk drain along Road 1 (Lot 302). Please investigate this option and amend your plans accordingly.
 - Please note that consent notices will be placed on the titles of the lots through which the 375 mm wastewater drain passes to the effect that building in close proximity to that drain will not be permitted.
- 3 Please investigate the possibility of placing the proposed 225 mm wastewater drain (line K) under the footpath within the road berm of the ETCART road. Please submit a typical cross-section.

Reference: Proposal 15173, SP6326

Direct Facsimile: 262-5163

Enquiries to: Mike Pritchard Direct Dial: 262-8900, ext 5874 Proposal 15173, SP6326 Wood & Partners Ltd 15 September 1999

4 Please note that financial contributions are payable for wastewater servicing for this development.

Water servicing

- Some major amendments are required for the proposed reticulation as discussed recently with John White of Manukau water. This includes installing a 200 mm main along Road 1.
 - Although it is not relevant for this application, it is to be noted that a 200 mm main will be required through Sutton Block West and Athy Block. This will be dealt with under the respective applications.
- The ETCART road is the boundary of the water supply districts and therefore sluice valves are required on the reticulation to separate across the boundary.
- 7 A watermain is not required along the ETCART road from Smales Road up to the intersection with Road 2. The watermain from this intersection southwards may be 150 mm.
- A watermain is not required along East Tamaki Road from the Smales Road intersection southwards, except for a 100 mm or a 50 mm main to service lots 101 to 103, which may be extended from the watermain in Road 7.
- 9 Please note that a financial contribution based on Smales Road and East Tamaki Road frontages will be payable. The physical works on watermain to be carried out on East Tamaki Road will be considered as part of the contribution. Please submit to Manukau Water a cost estimate for this section for approval.
- 10 Please amend your plan so that the section of watermain in Road 4 up to the first fire hydrant is shown as 150 mm. A 100 mm watermain can only serve one fire hydrant.
- 11 The watermain in Road 6 at the cul-de-sac end has been drawn through the private property. Please correct this.
- 12 Swap the positions of the peet valve and the fire hydrant in Road 5 opposite lot 133.

Stormwater

- Please detail your proposal for the connection of the 1050 mm and 1500 mm pipes at junction 1/4.
- 14 Please show the required grade on the detail drawings of overland flowpaths.
- 15 The shape of the overland flowpath near Lots 17 & 18 as shown in the calculations and in the cross-section drawing conflicts with the shape shown near the twin 1350 mm inlets.
 - Please demonstrate that the capacity of the overland flowpath adjacent to the twin 1350 mm intakes is adequate.

Proposal 15173, SP6326 Wood & Partners Ltd 15 September 1999

Roading

- 16 Please amend the detail of the cul-de-sac head for road 3 so that:
 - (i) The details of the turning head are as per Manukau City Council Engineering Quality Standards drawing R3.
 - (ii) The footpath remains clear of the carriageway.
- 17 Please show a concrete edge strip on the edges of the concrete block paving shown, and provide details of that edging.
- 18 Please detail the type of streetlights proposed for your development.
- 19 No setbacks have been shown for transformers, above ground telecommunications switching stations or for valve stations for gas reticulation. Please confirm that no transformers, above ground telecommunications switching stations or valve stations are necessary for this development, or amend your plans to show the required sites for these purposes. The above sites shall be in private property.

All additional information should be sent in the first place to Mike Pritchard who will if required circulate the information to the appropriate Council officer.

Please note the processing of the application will only be commenced upon receipt of all the requested information to the Council's satisfaction.

Yours faithfully

2

Howard Wright
Acting Team Leader - Resource Consents
RESOURCE CONSENTS AND COMPLIANCE UNIT

1021

ENVIRONMENTAL SERVICES

KOTUKU HOUSE

INTER-OFFICE MEMO

TO:

Mike Pritchard

FROM:

Alan Payne

DATE:

14 September 1999

Applicant:

Dannemora Holdings Ltd

Application:

RESOURCE CONSENT FOR SUBDIVISION

Location:

474 East Tamaki Road

consent

(Sutton Block East)

MCC Proposal No: 15173

Please request the following so that we can complete the engineering assessment of

this resource

application.

(filed a

O:\WPDATA\ALANPAYN\15173REQ.DOC)

Further to the requests made at the lodgement meeting on 12 August 1999 and our faxed letter of 25 August 1999, please provide the following additional information to allow us to continue to assess this application:

Wastewater Servicing

- Please submit a catchment plan for the proposed 450 mm wastewater drain with the sub-catchments of the 375 mm and 225 mm drains clearly identified and the associated calculations of the capacity and design flows.
- Since service connections will not be permitted directly off the 375 line, there is no advantage in having it run through private property. Where, however, it does pass through private property, the manholes should be located in common areas or public areas. It is our preferred option to run one trunk drain along Road 1 (Lot 302). Please investigate this option and amend your plans accordingly.
 - Please note that consent notices will be placed on the titles of the lots through which the 375 mm wastewater drain passes to the effect that building in close proximity to that drain will not be permitted.
- Please investigate the possibility of placing the proposed 225 mm wastewater drain (line K) under the footpath within the road berm of the ETCART road. Please submit a typical cross-section.

4 Please note that financial contributions are payable for wastewater servicing for this development.

Water servicing

- Some major amendments are required for the proposed reticulation as discussed recently with John White of Manukau water. This includes installing a 200 mm main along Road 1.
 - Although it is not relevant for this application, it is to be noted that a 200 mm main will be required through Sutton Block West and Athy Block. This will be dealt with under the respective applications.
- 6 The ETCART road is the boundary of the water supply districts and therefore sluice valves are required on the reticulation to separate across the boundary.
- 7 A watermain is not required along the ETCART road from Smales Road up to the intersection with Road 2. The watermain from this intersection southwards may be 150 mm.
- A watermain is not required along East Tamaki Road from the Smales Road intersection southwards, except for a 100 mm or a 50 mm main to service lots 101 to 103, which may be extended from the watermain in Road 7.
- 9 Please note that a financial contribution based on Smales Road and East Tamaki Road frontages will be payable. The physical works on watermain to be carried out on East Tamaki Road will be considered as part of the contribution. Please submit to Manukau Water a cost estimate for this section for approval.
- Please amend your plan so that the section of watermain in Road 4 up to the first fire hydrant is shown as 150 mm. A 100 mm watermain can only serve one fire hydrant.
- 11 The watermain in Road 6 at the cul-de-sac end has been drawn through the private property. Please correct this.
- 12 Swap the positions of the peet valve and the fire hydrant in Road 5 opposite lot 133.

Stormwater

- Please detail your proposal for the connection of the 1050 mm and 1500 mm pipes at junction 1/4.
- 14 Please show the required grade on the detail drawings of overland flowpaths.

15 The shape of the overland flowpath near Lots 17 & 18 as shown in the calculations and in the cross-section drawing conflicts with the shape shown near the twin 1350 mm inlets.

Please demonstrate that the capacity of the overland flowpath adjacent to the twin 1350 mm intakes is adequate.

Roading

- 16 Please amend the detail of the cul-de-sac head for road 3 so that:
 - (i) The details of the turning head are as per Manukau City Council Engineering Quality Standards drawing R3.
 - (ii) The footpath remains clear of the carriageway.
- 17 Please show a concrete edge strip on the edges of the concrete block paving shown, and provide details of that edging.
- 18 Please detail the type of streetlights proposed for your development.
- 19 No setbacks have been shown for transformers, above ground telecommunications switching stations or for valve stations for gas reticulation. Please confirm that no transformers, above ground telecommunications switching stations or valve stations are necessary for this development, or amend your plans to show the required sites for these purposes. The above sites shall be in private property.



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TO:

Wood & Partners Consultants Ltd

ATTENTION:

John Gardiner

FAX NO:

379 3236

FROM:

Mike Pritchard

EXTENSION:

5874

DATE:

25/8/99

PAGES (incl.) 2

Application For Stages 1 & 2 - 474 Chapel Road (Sutton Block East, Proposal 15173)

We have recently had formal advice from Howick Parklands that they do not accept the design philosophy as set out in your memo of 5 August 1999 for the disposal of stormwater from the Athy/Howick Parklands blocks, upstream of the Sutton Block. Since this impacts directly on the size of pipelines that will pass through the Sutton Block, this matter needs to be resolved by you in consultation with Howick Parklands before the application for Stages 1 & 2 of Sutton Block East can be processed.

We are still awaiting the information requested at our meeting on 12 August 1999.

Yours sincerely

25/8:/99. 14/9/99.

Mike Pritchard

Resource Management Surveyor Resource Consents & Compliance Unit

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